

**WINDOW NOTE:**

ALL ANDERSON WINDOW TO HAVE PVC SILL  
3/4" X 4" LEGS & 3/4" 6" TOP WITH RAMS CROWN  
AND FLASHING

**TRIM NOTE:**

ALL TRIM TO BE PVC (KLEER)

**DRIP EDGE NOTE:**

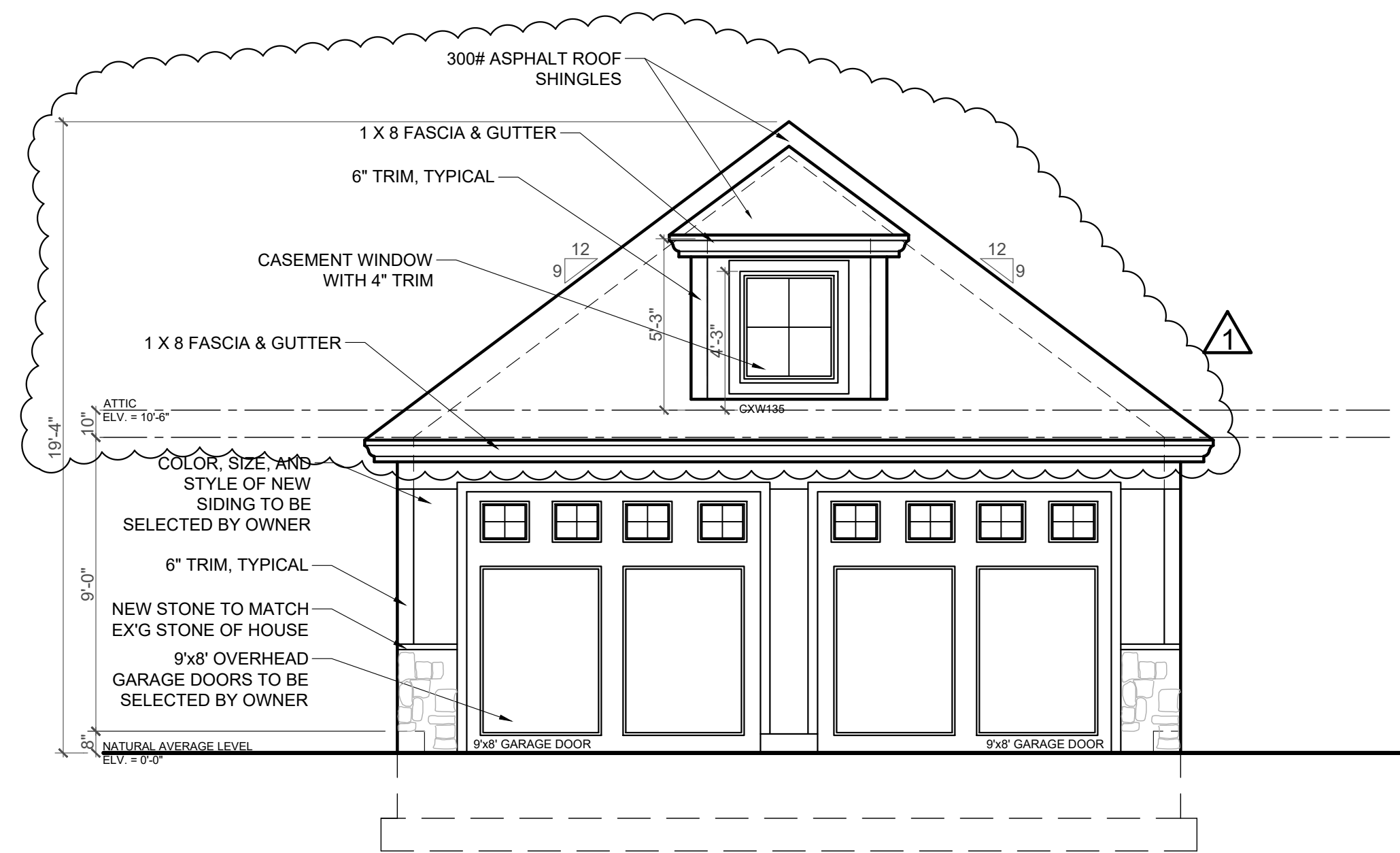
DRIP EDGE TO BE PROVIDED ON EAVES AND  
RAKES ON ALL SHINGLE ROOFS, AS PER  
R905.2.8.5.

**KICK OUT FLASHING:**

KICK OUT FLASHING TO BE PROVIDED ON  
ALL AT ROOF FASCIA TO WALL / ROOF  
INTERFACE. AS PER R905.2.8.3

**NOTE:**

MIN 6" PROTECTION CLEARANCE FROM  
GRADE AS PER SECTION R317.1 NOTE 5  
WOOD SIDING, SHEATHING AND WALL  
FRAMING ON THE EXTERIOR OF A BUILDING  
HAVING A CLEARANCE OF LESS THAN 6"  
FROM THE GROUND OR LESS THAN 2 INCHES  
MEASURED VERTICALLY FROM CONCRETE  
STEPS, PORCH SLABS, PATIO SLABS AND  
SIMILAR HORIZONTAL SURFACES EXPOSED  
TO THE WEATHER



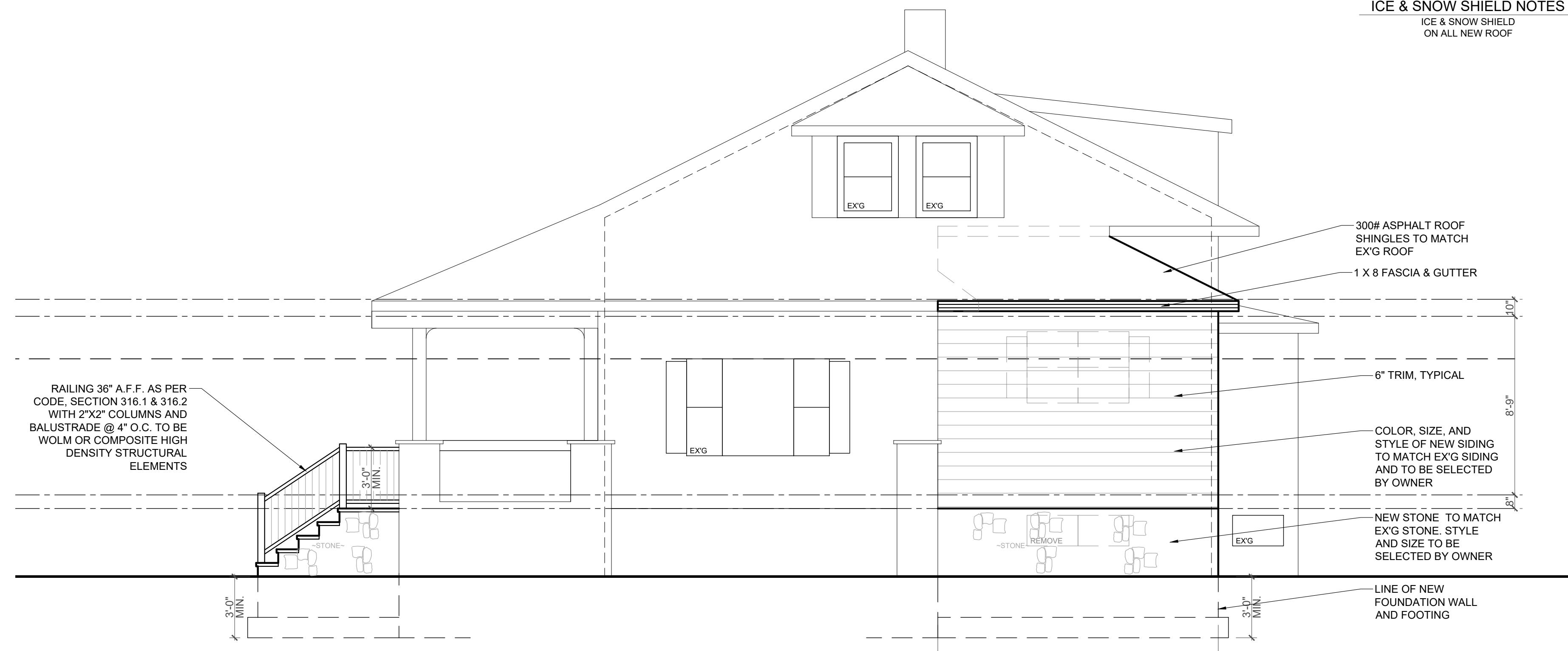
**FRONT ELEVATION**

SCALE: 1/4"=1'-0"



**ICE & SNOW SHIELD NOTES**

ICE & SNOW SHIELD  
ON ALL NEW ROOF



**RIGHT ELEVATION**

SCALE: 1/4"=1'-0"

**GENERAL NOTES**

1. ALL WORK IS TO COMPLY WITH ALL BUILDING CODES AND ZONING ORDINANCES ADOPTED BY THE TOWNSHIP OF WYCKOFF, BERGEN COUNTY, NEW JERSEY
2. BUILDING HEIGHT/RIDGE HEIGHT TO BE VERIFIED BY SITE ENGINEER PRIOR TO CONSTRUCTION. BUILDING HEIGHT MAXIMUM TO BE: 35'-0" AS PER LOCAL ORDINANCE
3. CONTRACTOR IS TO VERIFY ALL CONDITION IN THE FIELD PRIOR TO STARTING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN PLAN OR ITEMS REQUIRING CLARIFICATION BEFORE PROCEEDING WITH CONSTRUCTION
4. JOB SITE IS TO BE KEPT REASONABLY CLEAN AND ALL CONSTRUCTION DEBRIS IS TO BE CARTED AWAY AT THE END OF THE JOB.
5. ALL WORK IS TO BE DONE BY SKILLED MECHANICS IN A WORKMANLIKE MANNER SET STRAIGHT AND PLUMB.
6. ALL MATERIALS USED TO BE OF FIRST QUALITY FREE FROM DEFECTS.
7. ARCHITECT DOES NOT HAVE FIELD SUPERVISION OR CONSTRUCTION ADMINISTRATION RESPONSIBILITIES FOR THIS PROJECT.
8. CONTRACTOR IS TO LOCATE STRUCTURE AND SET ELEVATIONS AND CONTOURS WITH HIS SURVEYOR AND LICENSED PROFESSIONAL ENGINEER.
9. CONTRACTOR TO VERIFY, IN WRITING, IF STRUCTURE DOES NOT COMPLY WITH LOCAL BUILDING HEIGHT CODE DURING CONSTRUCTION AND PRIOR TO CONSTRUCTION OF THE RIDGE.
10. CONTRACTOR AND/OR HOMEOWNER IS REQUIRED TO HAVE BUILDER'S INSURANCE AND HOMEOWNER'S WARRANTY PROGRAM.
11. GIVEN ANY DISCREPANCIES IN SPECIFICATIONS OR MATERIALS CONTRACTOR MUST USE MATERIAL OF SUPERIOR QUALITY.
12. ALL FRAMED WINDOW OPENINGS TO BE VERIFIED WITH BUILDER AND WINDOW SUPPLIER PRIOR TO ORDERING.
13. CONTRACTOR TO INSTALL RAM BOARD AND TAPE ALL JOINTS FLOOR PROTECTIONS
14. CONTRACTOR TO FOLLOW RESCHECK

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ADDITION / RENOVATION FOR:  
MR. LONEGAN (STEVEN)  
726 WYCKOFF AVE  
WYCKOFF, NJ  
BLOCK 216 LOT 10.01

DRAWING TITLE:

ELEVATIONS

PROJECT NUMBER: 19-237 SCALE: 1/4"=1'-0"

DRAWN BY: AG CHECKED BY: SUPV

DATE:

DECEMBER 23, 2019; DECEMBER 26, 2019  
MARCH 12, 2020

ISSUED FOR PERMIT: DECEMBER 27, 2019

DRAWING #

A-1  
1 OF 4

RES  
2019

**CONCRETE & MASONRY NOTES**

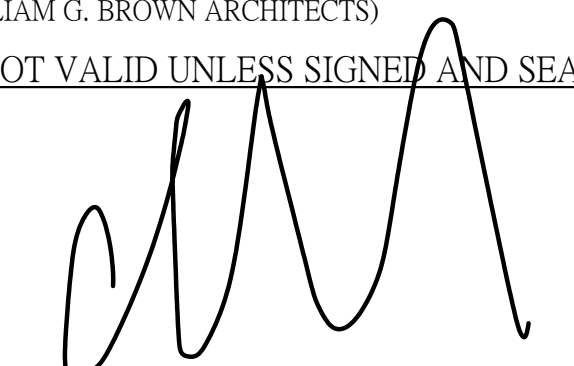
- ALL CONCRETE USED SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AFTER 28 DAYS. ALL FORMS TO BE STRIPPED PRIOR TO BACKFILLING
- STEEL REINFORCING BARS ARE TO BE USED IN FOOTINGS SIZED AND LOCATED AS SHOWN ON PLANS AND BE FREE FORM GREASE, OIL, RUST OR SCALE
- CONCRETE MASONRY UNITS TO BE OF LOAD BEARING TYPE WITH TOP AND BOTTOM COURSES FILLED SOLID. ANCHOR BOLTS TO BE 1/2" DIAMETER AND INSTALLED AT 4'-0" O.C MIN..
- ALL TILE FLOORS TO BE SET IN MUD.
- FOR MARBLE OR STONE SAMPLES: CONTACT STONE 100 OUTWATER LANE GARFIELD PH: 201-546-9660 FAX: 201-546-9698
- LANDINGS OUTSIDE EGRESS DOORS TO HAVE MIN. DEPTH OF 36" IN DIRECTION OF TRAVEL AS PER THE NJ EDITION OF INTERNATIONAL RES. CODE 2015 SECTION R11.3
- CONTROL JOINT SPACING OF 15-25 FT SQUARE RECOMMENDED
- FOUNDATION ANCHORAGE: ANCHOR BOLTS SHALL BE EMBEDDED 7" MIN. INTO FOUNDATION WALL, 6FT APART MAX. AND 12" FROM CORNER AND ENDS OF SECTION OF PLATE/SILL (R403.1.6)
- STEEL MANUFACTURER TO FIELD MEASURE PRIOR TO FABRICATION.
- A RETAINING WALL REQUIRES A FOUNDATION WALL TO HAVE SUPPORT ON BOTH THE TOP AND BOTTOM PRIOR TO BACKFILLING. AS PER SECTION R404.1.1

**STAIR NOTES**

- STAIR SHOP DRAWINGS TO BE PROVIDED TO ARCHITECT PRIOR TO FABRICATION
- STAIRS TO HAVE A MAX. RISER OF 8 1/4" AND A MIN. TREAD OF 9" AS PER R311 AND R311.7.7
- CONTRACTOR TO PROVIDE PULL DOWN STAIR UNIT ON SECOND FLOOR

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ADDITION / RENOVATION FOR:  
 MR. LONEGAN STEVEN  
 726 WYCKOFF AVE  
 WYCKOFF, NJ  
 BLOCK 216 LOT 10.01

DRAWING TITLE:

FOUNDATION PLAN

PROJECT NUMBER: 19-237 SCALE: 1/4" = 1'-0"

DRAWN BY: AG CHECKED BY: SUPV

DATE:

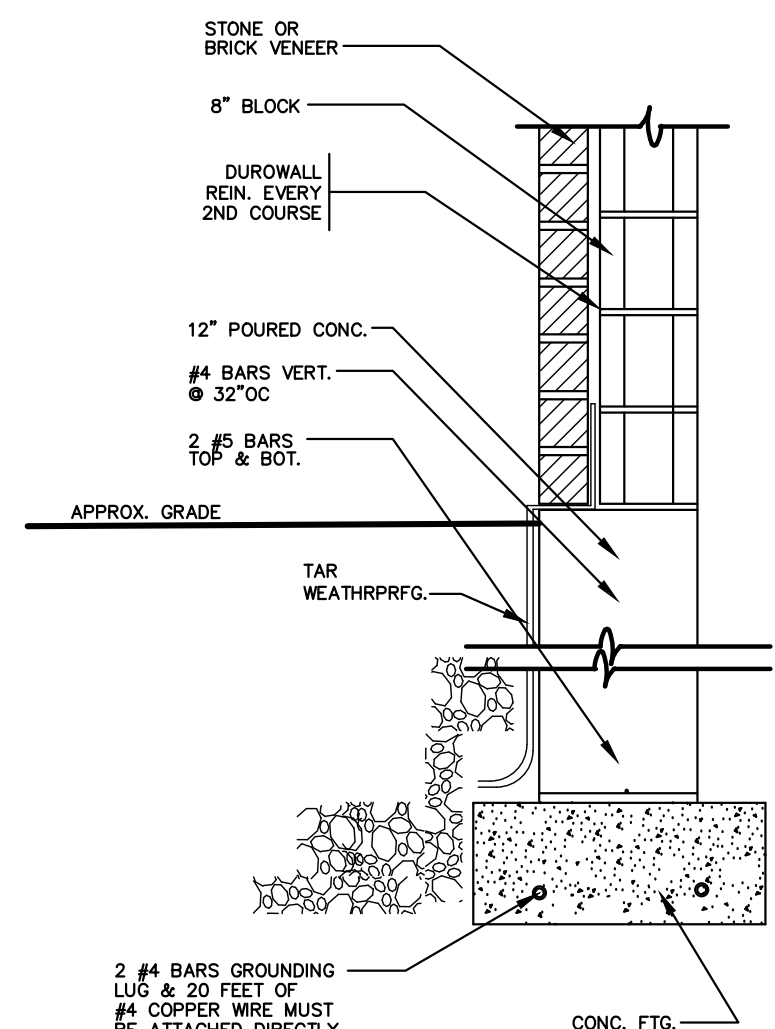
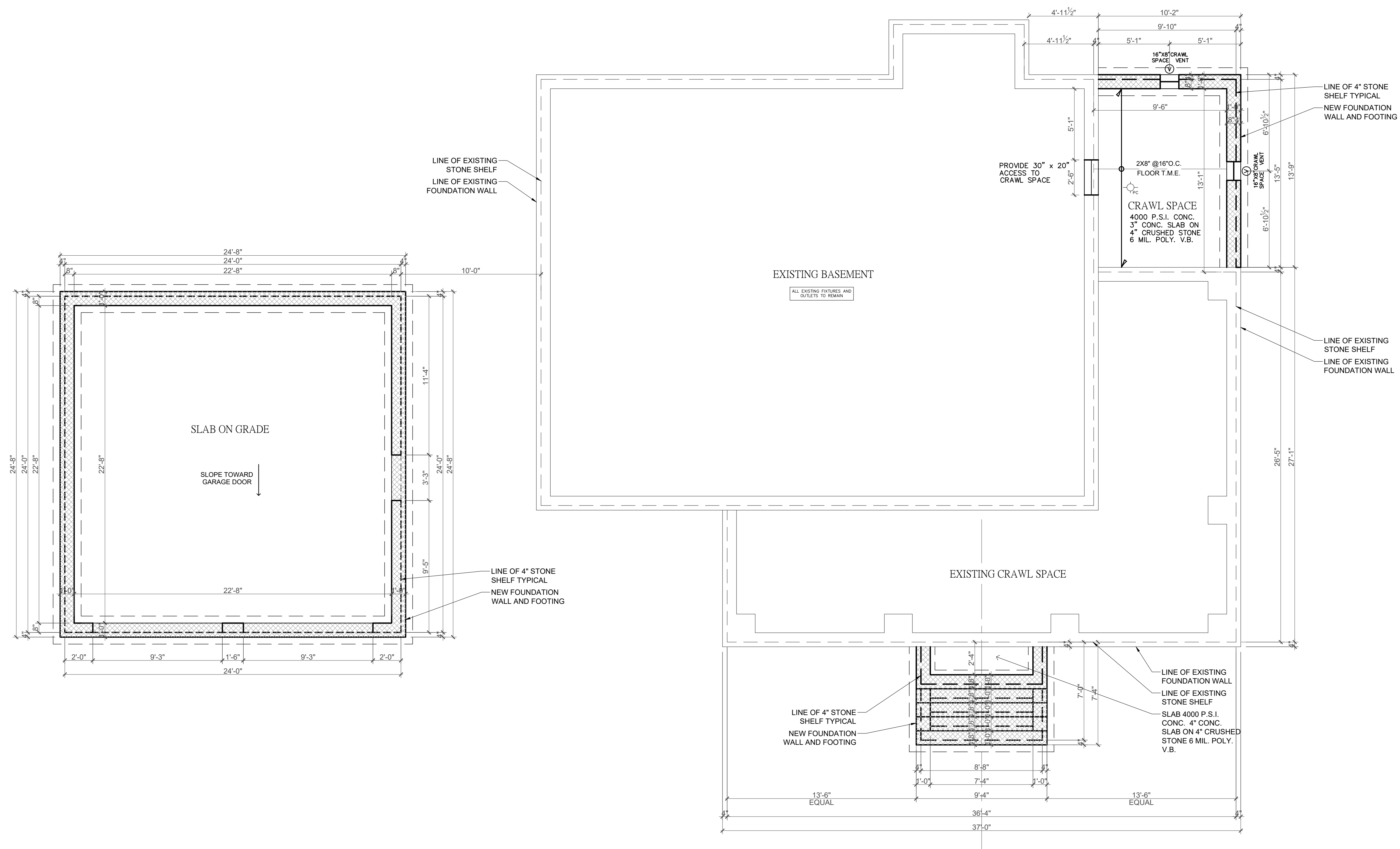
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DRAWING #

A-2  
 2 OF 4

RES  
 2019



TYP. BRICK / STONE VENEER WALL & FTG. DETAIL  
 SCALE: 1"=1'-0"

**INSULATION NOTES:**

- R-20 INSULATION IN 6" EXTERIOR WALLS
- R-30 BATT INSULATION IN ALL FLOORS WHICH INCLUDES BASEMENT
- R-49 CEILING OR RAFTERS OR ADJACENT TO THE EXTERIOR OR TO UNHEATED SPACES
- BASEMENT CEILINGS TO BE 1/2" SHEET ROCK
- R-19 BATT INSULATION IN BASEMENT WALLS

PROVIDE THE FOLLOWING LINTELS OVER ALL OPENINGS IN MASONRY WALLS, INCLUDING MECHANICAL OPENINGS UNLESS OTHERWISE NOTED:

FOR EACH 4" THICKNESS OF MASONRY - 1 ANGLE AS FOLLOWS:

4 X 3 1/2 X 3/8	L	MAX. M.O. 5'-0"
5 X 3 1/2 X 3/8	L	MAX. M.O. 7'-0"
6 X 3 1/2 X 3/8	L	MAX. M.O. 9'-0"

FOR EACH 6" THICKNESS OF MASONRY - 1 ANGLE AS FOLLOWS:

3 1/2" X 5 X 3/8	L	MAX. M.O. 5'-0"
5 X 5 X 3/8	L	MAX. M.O. 7'-0"
5 X 5 X 3/8	L	MAX. M.O. 9'-0"

FOR 4" AND/OR 6" NON-BEARING MASONRY INTERIOR PARTITIONS:

4"	3% X 7% LIGHT-WEIGHT CONCRETE
6"	6% X 7% LIGHT-WEIGHT CONCRETE

ALL LINTELS TO HAVE MINIMUM 8" BEARING EACH END.

SUBMIT THREE SETS OF FABRICATION DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE START OF FABRICATION.

**GRADE DRAINAGE SLOPE:**

LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET, AS PER R401.3.

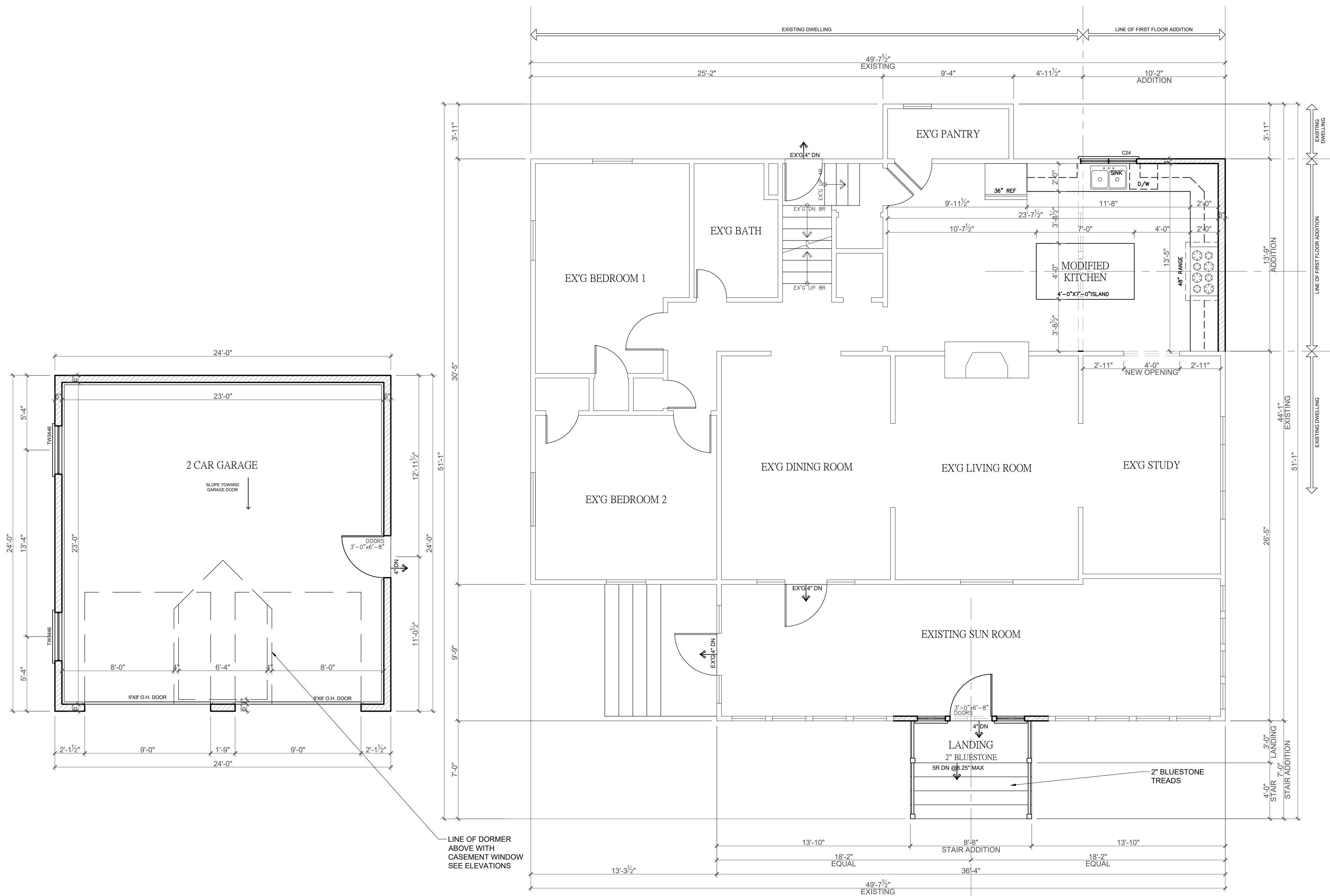
**MASON & GENERAL CONTRACTOR TO CHECK DIMENSIONS ON FIRST FLOOR PLAN DURING THE LAYOUT OF FOUNDATION PRIOR TO CONSTRUCTION.**

**FOUNDATION PLAN**

SCALE: 1/4"=1'-0"

**GENERAL FRAMING LEGEND :**

(Solid line)	= EXISTING CONSTRUCTION TO REMAIN
(Dashed line)	= WALLS ABOVE
(Thick solid line)	= NEW CONSTRUCTION
(Hatched pattern)	= NEW C.M.U. WALL
(Dotted pattern)	= NEW CONCRETE WALL
(Thin solid line)	= NEW BEAM
(Dashed line)	= NEW JOIST MEMBER



**CARPENTRY NOTES**

- ALL FRAMING LUMBER IS TO BE DOUGLAS FIR WITH Fb-1500 PSI AND BE OF STRUCTURAL GRADE.
- ALL DOOR AND WINDOW HEADERS TO BE 2-2"x12" UNLESS NOTED OTHERWISE.
- ALL DOORS LABELED (D) ARE TO BE 2-8"x6-8" SOLID 6 PANEL MASONITE, AS PER CODE, UNLESS OTHERWISE NOTED.
- ALL DOORS LABELED (D-3) ARE TO BE 2-8"x8-0" SOLID CORE 2 PANEL Ovation AS PER CODE, UNLESS OTHERWISE NOTED (1 1/4", 4 HINGES)
- PERIMETER WALLS FRAMING TO BE 2X6 AT 16" O.C WITH SINGLE CONTINUOUS SOLE PLATE AND DOUBLE CONTINUOUS TOP PLATE JOINTS TO BE STAGGERED.
- INTERIOR PARTITION FRAMING TO BE 2X4 AT 16" O.C WITH SINGLE CONTINUOUS SOLE PLATE AND DOUBLE CONTINUOUS TOP PLATE JOINTS TO BE STAGGERED.
- ALL WALLS OVER 8'-0" HIGH ARE TO RECEIVE FIRE BLOCKING AT MIDPOINT.
- SILLS ON BLOCK WALLS TO BE WOLMANIZED.
- WINDOWS AND SLIDING DOORS GLASS DOORS TO BE DONE BY: TOWER WINDOWS 1-800-490-1011
- ALL EXTERIOR WALLS, ROOF OR CEILING TO HAVE FULL-THICK BATT INSULATION.
- WALLS TO BE 6" WHERE ANY 2" OR LARGER HORIZONTAL HOLE IS DRILLED.
- TJI HOLE TO BE DRILLED FOLLOWING MANUFACTURERS CALCULATIONS TJI'S CANT BE NOTCHED.
- CONTRACTOR'S MAY USE TJI'S AS AN ALTERNATE, W/ EQUAL OR GREATER STRENGTH MUST NOTIFY ARCHITECT.
- ALL WOOD FRAMING MEMBERS, INCLUDING SHEATHING, WHICH REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM EXPOSED EARTH SHALL BE OF APPROVED NATURALLY DURABLE AND PRESERVATIVE-TREATED WOOD, INCLUDING LUMBER ON CONCRETE
- FIRE BLOCKING SHALL BE PROVIDED AT WALL/CEILING INTERSECTION FOR BOTH INTERIOR PARTITIONS AND PERIMETER WALL; ALSO HORIZONTALLY EVERY TEN FEET.
- INSULATOR TO INSTALL STYROFOAM BAFFLES WHERE NEEDED FOR VENTING

**ENERGY STAR REQUIREMENTS**

- WHOLE HOUSE THERMAL EFFICIENCY: EPA THERMAL BYPASS INSPECTION CHECKLIST & AIR BARRIER, INSULATION CHECKLIST
- ENERGY EFFICIENT LIGHTING: SEE www.njenergystarhomes.com
  - MECHANICAL VENTILATION SYSTEM: HVAC INTEGRATED WHOLE-HOUSE VENTILATION SYSTEM
  - HIGH EFFICIENCY CENTRAL HEATING AND COOLING SYSTEMS: CENTRAL AIR CONDITIONING SYSTEMS AND HEAT PUMPS MUST BE PROPERLY SIZED PER ACCA MANUAL J
  - AIR TIGHT DUCTWORK: BUILDING CAVITIES MAY NOT BE USED AS DUCTS; THE ENTIRE SYSTEMS MUST BE FULLY DUCTED
  - INSULATION VERIFIED: INSULATION IS INSPECTED PRIOR TO DRYWALL AND ASSESSED A GRADE LEVEL BASED ON INSULATION QUALITY
  - CONTRACTOR TO FOLLOW RESCHECK
  - CONTRACTOR TO COMPLY WITH IECC AND ENERGY SUBCODE, NJAC 5:23-3.18

WILLIAM G. BROWN, ARCHITECTS CALCULATES SQUARE FOOTAGE FROM THE OUTSIDE FRAME LINE DIMENSIONS. GARAGE SQUARE FOOTAGE LINE DIMENSIONS. GARAGE SQUARE FOOTAGE IS NOT INCLUDED IN THE TOTAL LIVABLE SQUARE FOOTAGE. IN ADDITION, STAIRWELLS AND FIREPLACE MASSES ARE ONLY INCLUDED ONCE WITH THE MAIN LEVEL FIGURES

BUILDING DATA			
USE GROUP		R5	
CONSTRUCTION CLASS		VB	
BUILDING AREA			
EX'G BUILDING FOOTPRINT	1,971	SQFT	
NEW BUILDING FOOTPRINT	153	SQFT	
TOTAL BUILDING FOOTPRINT	2,124	SQFT	
EX'G BASEMENT			
NEW BASEMENT	0	SQFT	
EX'G FIRST FLOOR			
NEW FIRST FLOOR	1,702	SQFT	
	134	SQFT	
EX'G SECOND FLOOR			
NEW SECOND FLOOR	0	SQFT	
EX'G LIVABLE SFTG.			
NEW LIVABLE SFTG.	1,702	SQFT	
	134	SQFT	
NEW CONTAINED VOLUME	2,182	CUFT	

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ADDITION / RENOVATION FOR:  
 MR. LONEGAN STEVEN  
 726 WYCKOFF AVE  
 WYCKOFF, NJ  
 BLOCK 216 LOT 10.01

**FIRST FLOOR PLAN**

SCALE: 1/4"=1'-0"

GENERAL LEGEND :	
	= EXISTING CONSTRUCTION TO REMAIN
	= EXISTING CONSTRUCTION TO BE REMOVED
	= NEW CONSTRUCTION
	= NEW C.M.U. WALL
	= NEW CONCRETE WALL

DRAWING TITLE:  
**FIRST FLOOR PLAN**

PROJECT NUMBER: 19-237 SCALE: 1/4"=1'-0"

DRAWN BY: NN / AG CHECKED BY: SUPV

DATE:  
 DECEMBER 23, 2019; DECEMBER 26, 2019  
 MARCH 12, 2020

ISSUED FOR PERMIT: DECEMBER 27, 2019

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**A-3**  
 3 OF 4

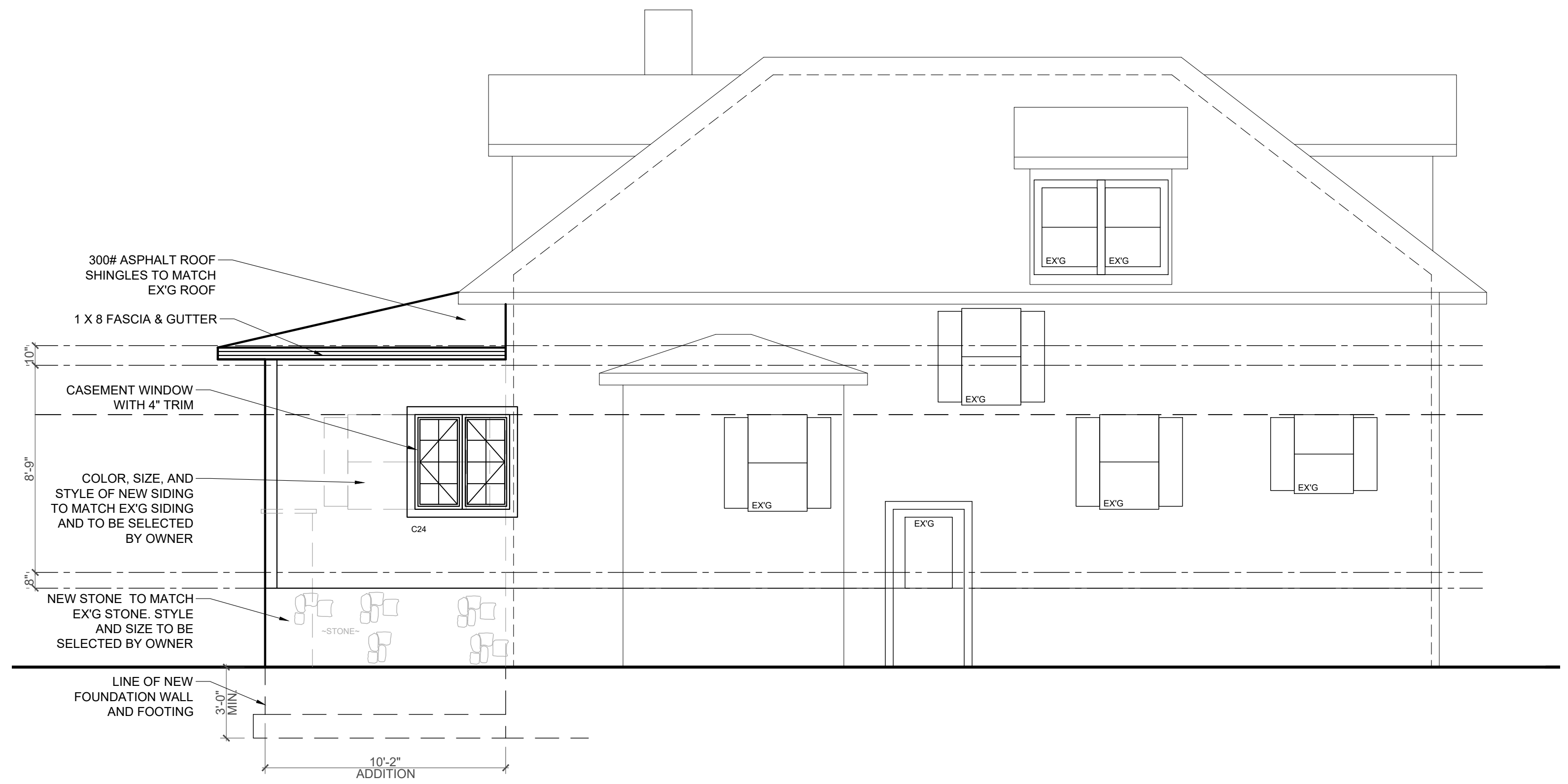
**DRIP EDGE NOTE:**  
 DRIP EDGE TO BE PROVIDED ON EAVES AND RAKES ON ALL SHINGLE ROOFS, AS PER R905.2.8.5.

**KICK OUT FLASHING:**  
 KICK OUT FLASHING TO BE PROVIDED ON ALL AT ROOF FASCIA TO WALL / ROOF INTERFACE, AS PER R905.2.8.3

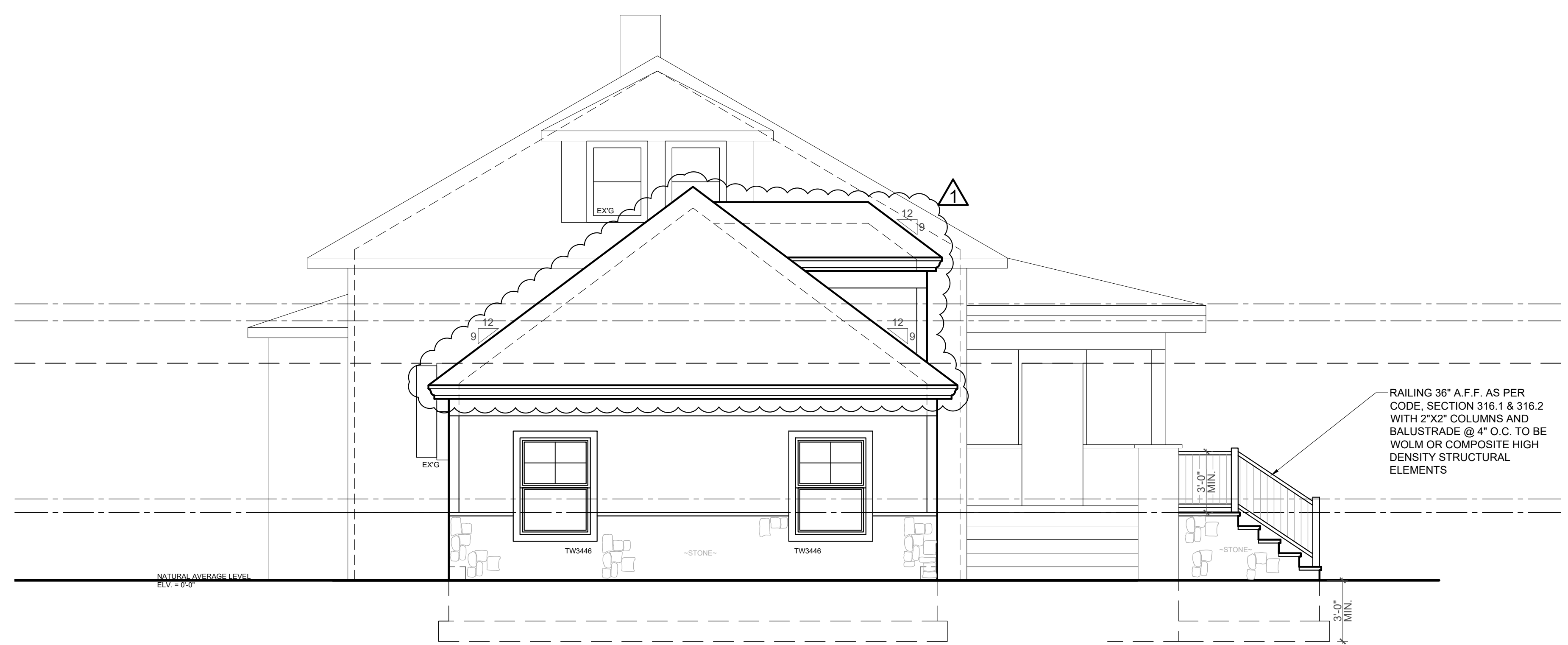
**NOTE:**  
 MIN 6" PROTECTION CLEARANCE FROM GRADE AS PER SECTION R317.1 NOTE 5 WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6" FROM THE GROUND OR LESS THAN 2" INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER

**NOTE:** WINDOW HEAD HT. MAY BE ADJUSTED FOR 8', 9', OR 10' CEILING HEIGHT.

**GRADE DRAINAGE SLOPE:**  
 LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET, AS PER R401.3.



**REAR ELEVATION**  
 SCALE: 1/4"=1'-0"



**LEFT ELEVATION**  
 SCALE: 1/4"=1'-0"

**WINDOW NOTES**

- EG INDICATES AN EGRESS WINDOW AS PER THE N.J. EDITION OF THE INTERNATIONAL RESIDENTIAL CODE-2015
- 1. EGRESS WINDOWS SHALL HAVE NO LESS THAN 5.7 SQFT CLEAR OPENING. THE BOTTOM OF THE CLEAR OPENING SHALL BE NO MORE THAN 44" A.F.F
- 2. WINDOW SUPPLIER TO VERIFY THAT THERE IS AT LEAST ONE EGRESS WINDOW UNIT IN EACH BEDROOM.
- 3. ALL TEMPERED WINDOWS TO BE AS PER THE N.J. EDITION OF THE INTERNATIONAL RESIDENTIAL CODE-2015
- 4. WINDOW HEAD HT. MAY BE ADJUSTED FOR 8', 9' OR 10' CLG HEIGHT.
- 5. CONTRACTOR SHALL NOT ORDER WINDOWS WITHOUT PROVIDING WINDOW MANUFACTURER WITH ALL FLOOR PLANS AND ELEVATIONS TO DETERMINE SIZES, TEMPERING, AND EGRESS REQUIREMENTS AS PER CODE.
- 6. WINDOW SILLS: IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4" DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR. R312.2.1
- 6.1. EXCEPTIONS:
  - 6.1.1. WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE OPENING IS IN ITS LARGEST OPENED POSITION.
  - 6.1.2. OPENINGS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R612.3.
  - 6.1.3. OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
  - 6.1.4. WINDOWS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R312.2.2
  - 6.1.5. ALL NEW WINDOWS MUST BE AT LEAST 24" OVER FINISHED FLOOR R.312.2
- 7. IN ZONE A FLOOD HAZARD AREAS REQUIRE A MINIMUM OF ONE FOOT OF FREEBOARD FOR DWELLINGS AS PER SECTION R322.2.1 IRC 2015

**CHIMNEY NOTE**

MASONRY CHIMNEY OUTLETS SHALL TERMINATE NO LESS THAN 3'-0" FROM THE HIGHEST POINT THAT THE CHIMNEY PENETRATES THE ROOF. CHIMNEY'S SHALL TERMINATE NOT LESS THAN 2'-0" ABOVE ANY PORTION OF THE BUILDING WITH IN 10'-0". AS PER INT. RES CODE 2015 SEC. R100.3

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