

ABBREVIATIONS	
ARCH ARCHITECT	JST JOIST
AB ANCHOR BOLT	LAV LAVATORY
A/C AIR CONDITIONER	LBS POUNDS
A.E.F ABOVE FINISHED FLOOR	L.C LINEN CLOSET
ALUM ALUMINUM	MAS MASONRY
BSMT BASEMENT	MAN MANUFACTURER
BLDG BUILDING	MAT MATERIAL
BLK BLOCK	M.O. MASONRY OPENING
CAB CABINET	MAX MAXIMUM
CJ CEILING JOIST	NIC NOT IN CONTRACT
CEM CEMENT	NA NOT APPLICABLE
CER CERAMIC	NTS NOT TO SCALE
CFM CUBIC FT PER MINUTE	OC ON CENTER
CLO CLOSET	PED PEDESTAL
CLG CEILING	PL PLATE
COL COLUMN	POLY POLYETHYLENE
CONSTR CONSTRUCTION	PSI POUNDS PER SQUARE INCH
C.T. CERMAIC TILE	PT PRESSURE TREATED
D DRYER	PVC POLY VINYL CHLORIDE
DIA DIAMETER	REQ'D REQUIRED
DN DOWN	RM ROOM
DW DISH WASHER	RO ROUGH OPENING
DWG DRAWING	SD SMOKE DETECTOR
ELEC ELECTRIC	SEC SECTION
EXT EXTERIOR	SPEC SPECIFICATION
FDN FOUNDATION	SF SQUARE FOOT
FLR FLOOR	STL STEEL
FTG FOOTING	SQ SQUARE
FIN FINISH	SQYD SQUARE YARD
FURN FURNACE	TO TRIMMED OPENING
GAL GALLON	TEMP TEMPERED
GALV GALVANIZED	T&G TONGUE AND GROOVE
GC GENERAL CONTRACTOR	TYP TYPICAL
GFI GROUND FAULT INTERRUPTER	W WASHER
GYPBD GYPSUM BOARD	WC WATER CLOSET
HM HOLLOW METAL	WD WOOD
HW HOT WATER	WOLM WOLMANIZED
INSUL INSULATION	WIC WALK IN CLOSET
IN INCH	WP WATER PROOF
	WWF WELDED WIRE FABRIC

GENERAL CONDITIONS

THESE ARE BASIC BUILDERS PLANS. UNLESS OTHERWISE NOTED, THE FOLLOWING ITEMS SHALL BE PROVIDED BY OTHERS:
 SELECTION OF FINISHES, CABINETS AND HARDWARE.
 DESIGN OF HEATING, PLUMBING AND ELECTRICAL SYSTEMS.
 DESIGN OF LANDSCAPING AND EXTERIOR FEATURES.
 THE CONTRACTOR SHALL APPLY ALL MATERIALS, FIXTURES AND LABOR NECESSARY TO COMPLETE ALL THE WORK NOTED ON THESE PLANS AND AS OTHERWISE REQUIRED. ALL MATERIALS SHALL BE FREE FROM DEFECTS. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER ACCEPTABLE WITH MODERN PRACTICE. THE ARCHITECT LIMITS HIS RESPONSIBILITY IN REGARDS TO THESE DRAWINGS TO DIMENSIONS, SIZE OF STRUCTURAL MEMBERS AND MATERIALS BEFORE PROCEEDING. THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THE BUILDING IS CONSTRUCTED WITH DIMENSIONS, SIZES, OR MATERIALS, THAT DEVIATE FROM THESE DRAWINGS. THE ARCHITECT HAS NOT BEEN HIRED FOR CONSTRUCTION REVIEW, AND IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK FOR COMPLIANCE BETWEEN THESE DRAWINGS AND THE FINAL FIELD CONDITIONS.

GENERAL NOTES

ALL CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION, ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
 ALL CONTRACTORS SHALL HAVE AND MAINTAIN CONTRACTORS LIABILITY, PROPERTY DAMAGE INSURANCE, AND WORKMANS COMPENSATION INSURANCE. ALL PHASES OF CONSTRUCTION SHALL COMPLY TO LOCAL STATE AND FEDERAL SAFETY LAWS.

CODES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, FEDERAL CODES AND ORDINANCES.
 THE CONTRACTOR MUST PROVIDE ALL LEGAL AND NECESSARY GUARD RAILINGS, LIGHTS, WARNING SIGNS, ETC. DURING THE PROGRESS OF THE WORK. ALL MATERIAL IN CONSTRUCTION SHALL CONFORM WITH THE REQUIREMENTS OF ALL BUILDING AND SANITARY LAWS IN THE LOCALITY IN WHICH THE BUILDING IS CONSTRUCTED, AND SHALL MAKE ALL WORK ACCEPTABLE TO THE BUILDING DEPARTMENT. ALL LOCAL STATE AND FEDERAL CODES AND ORDINANCES SHALL BE CONSIDERED AS PART OF THESE CONSTRUCTION DOCUMENTS.

CONSTRUCTION CODES ADOPTED IN NEW JERSEY:
 BUILDING SUBCODE (NJAC 5:23-3.14)
 IBC - INTERNATIONAL BUILDING CODE 2018 NJ EDITION INTERNATIONAL FIRE CODE 2018
 PLUMBING SUBCODE (NJAC 5:23-3.15)
 NATIONAL STANDARD PLUMBING CODE, 2018 ADOPTED SEPT-03-2019 ELECTRICAL SUBCODE (NJAC 5:23-3.16)
 NATIONAL ELECTRICAL CODE (NFPA 70) 2017 ADOPTED SEPT-03-2019 ENERGY SUBCODE (NJAC 5:23-3.18)
 INTERNATIONAL ENERGY CONSERVATION CODE, 2018 (LOW RISE RESIDENTIAL) ADOPTED SEPT-03-2019
 MECHANICAL SUBCODE, (NJAC 5:23-3.20)
 INTERNATIONAL MECHANICAL CODE, 2018 ADOPTED SEPT-03-2019
 ONE AND TWO FAMILY DWELLING SUBCODE (NJAC 5:23-3.21) INTERNATIONAL RESIDENTIAL CODE / 2018 NJ EDITION (IRC W / NJ EDITS 3.21) ADOPTED SEPT-03-2019
 FUEL AND GAS SUBCODE (NJAC 5:23-3.22)
 INTERNATIONAL FUEL GAS CODE, 2018 ADOPTED SEPT-03-2019
 REHABILITATION SUBCODE (NJAC 5:23-6)
 NJUCC SUBCHAPTER 6
 UPDATED YEARLY
 BARRIER FREE SUBCODE (CHAPTER 11 OF IBC / 2015 & NJAC 5:23-7)
 ICC / ANSI A117.1-2009 ADOPTED SEPT-03-2019
 ELEVATOR SUBCODE (NJAC 5:23-12)
 AMERICAN SOCIETY OF MECHANICAL ENGINEERS. (ASME) ADOPTED SEPT-03-2019
 CONTRACTOR(S) SHOULD BE FAMILIAR WITH THE LATEST APPROVED CODES FOR THE STATE OF NJ. CONTACT INFORMATION FOR MATERIAL AND CODE ASSISTANCE IS AVAILABLE AT:
 NJ DEPT OF COMMUNITY AFFAIRS DIVISION OF CODES AND STANDARDS 101 SOUTH BROAD STREET
 PO BOX 802 TRENTON NJ 08625-0802

BUILDING SYSTEMS

MECHANICAL
 GC SHALL COORDINATE THIS DESIGN WITH THE REMODELED INSTALLATION OF ALL HEATING AND AIR CONDITIONING SYSTEMS. ALL WORK TO BE PERFORMED BY A STATE LICENSED MECHANICAL CONTRACTOR. ALL FINISHED MATERIALS TO MATCH EXISTING.

ELECTRICAL
 ALL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE AND SHALL BE INSTALLED BY A STATE LICENSED ELECTRICIAN.
 THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL SWITCHES, OUTLETS AND SMOKE DETECTORS OF APPROVED MANUFACTURE AS REQUIRED BY CODE, OR AS INDICATED ON THE DRAWINGS.
 SWITCHES AND RECEPTACLES AND WALL PLATES TO BE AS MANUFACTURED BY LEVITON MFG. COMPANY OR APPROVED EQUAL. CONTRACTOR TO VERIFY ALL SWITCHING LOCATIONS AND TYPES WITH THE OWNER PRIOR TO ROUGH IN. ELECTRICAL CONTRACTOR TO INCLUDE PRICING LIST FOR ADDITIONAL LIGHTS AND SWITCHES PER ITEM.

FIXTURES TO BE LIGHTOLIER BRAND OR APPROVED EQUAL. ELECTRICAL CONTRACTOR TO VERIFY ALL LIGHTING LOCATIONS WITH THE OWNER PRIOR TO ROUGH IN.

ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL BATHROOM EXHAUST FANS. NUTONE OR BETTER WITH VARIABLE SPEED SWITCHES. CONFIRM WITH OWNER FOR REUSE OF EXISTING BATHROOM FANS

PLUMBING
 ALL PLUMBING SHALL CONFORM TO NATIONAL PLUMBING CODE.
 ALL PLUMBING SHALL BE INSTALLED BY A STATE LICENSED PLUMBER.
 WORK TO BE INCLUDED SHALL BE:
 A.SANITARY, WASTE, SOIL & VENT PIPING WITH ALL NECESSARY FLASHING.
 B.TRAIPS, CLEANOUTS ETC.
 C.HOT & COLD WATER SUPPLY LINES.
 D.PLUMBING FIXTURES AS SELECTED BY OWNER AND INSTALLED BY CONTRACTOR.

ALL PIPES PROPERLY SUPPORTED WITH BRACKETS AND HANGERS ALLOWING FOR EXPANSION. WASTE LINES SHALL BE RUN WITH ACCESSIBLE CLEANOUTS WITH SCREWPLUGS ON ALL HORIZONTAL LINES AT THE BASE OF ALL RISERS AND AT ALL DEAD ENDS.

FRAMING NOTES

ALL FLOOR JOIST MATERIAL TO BE BOISE CASCADE
 The ALLJOIST® series (AJS®)
 I-joists with solid-sawn flanges.
ALL BEAMS AND HEADERS TO BE BOISE CASCADE
 VERSA-LAM® laminated veneer lumber (LVL) beams and headers
ALL EXTERIOR WALLS TO BE 2X6 AND WHERE INDICATED ON INTERIOR WALLS.
DOUBLE UP ALL FLOOR JOISTS UNDER PARALLEL PARTITIONS ABOVE. CAT BLOCKING AT 24" CENTERS ALTERNATE.

B1- 3 1/2" X 11 7/8" LVL
 B2- 5 1/4" X 11 7/8" LVL
 B3- 3 1/2" X 9 1/2" LVL
 B4- 5 1/4" X 9 1/2" LVL
 B5- 3 1/2" X 16" LVL
 B6- 5 1/4" X 16" LVL
 B7- 3 1/2" X 18" LVL
 B8- 5 1/4" X 18" LVL

R1 - 1 3/4" X 11 7/8"
 R2 - (2) 1 3/4" X 11 7/8"

H1 - (2) 2X10 HEADER
 H2 - (3) 2X10 HEADER

H = HEADER
 F = FLUSH
 D = DROPPED
 TF = TOP FLUSH
 JH = JOIST HANGER
 SB = SOLID BLOCKING
 SP = SOLID POST
 BP - BEAM POCKET
 OF - OVERFRAME
 V = VALLEY
 H = HIP

WINDOWS

ALL WINDOWS AS INDICATED - ANDERSEN 400 SERIES

WINDOWS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS

INSTRUCTIONS

EGRESS - R310.1.1 MINIMUM OPENING AREA.
 ALL EMERGENCY ESCAPE AND RESCUE OPENINGS(AT LEAST ONE WINDOW PER BEDROOM) SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ FT. GRADE FLOOR BEDROOMS MAY HAVE A NET CLEAR OPENING OF 5 SQ FT. **R310.1.2 MINIMUM OPENING HEIGHT**
 THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24"
R310.1.3 MINIMUM OPENING WIDTH
 THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20"

NEW RESIDENCE
BARRISTER HOME CONSTRUCTION, INC.
PO BOX 459
WYCKOFF, NJ 07481
201-891-7774 PHONE
201-891-7712 FAX

753 FREDERICK CT
WYCKOFF NJ 07481

DESIGN LOADS

ROOF	
LIVE LOAD - 30 PSF	
<u>DEAD LOAD - 10 PSF</u>	
40 PSF	
ATTIC	
LIVE LOAD - 20 PSF	
<u>DEAD LOAD - 10 PSF</u>	
30 PSF	
SECOND FLOOR	
LIVE LOAD - 40 PSF	
<u>DEAD LOAD - 10 PSF</u>	
50 PSF	
FIRST FLOOR	
LIVE LOAD - 40 PSF	
<u>DEAD LOAD - 10 PSF</u>	
50 PSF	

DRAWINGS

A 01	COVER SHEET
A 02	BASEMENT FOUNDATION PLAN
A 03	FIRST FLOOR PLAN
A 04	SECOND FLOOR PLAN
A 05	ELEVATIONS
A 06	ELEVATIONS
A 07	GENERAL SPECIFICATIONS

DATE: 01.04.22
PROJECT No. 2201
USE GROUP: R5
CONST. TYPE: 5B

SQUARE FOOTAGE:

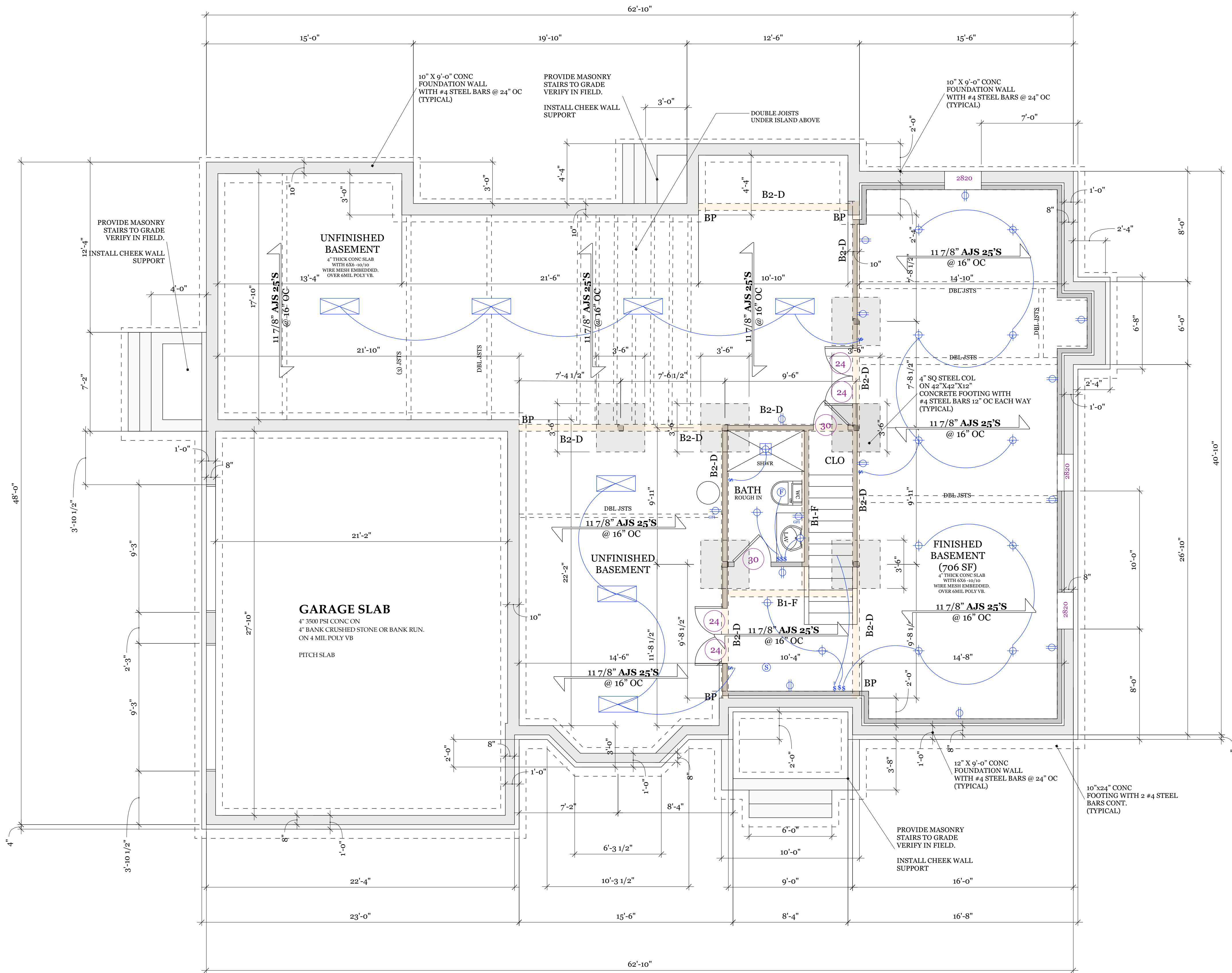
FIRST FLOOR	2072 SF
SECOND FLOOR	2438 SF
	4510 SF
GARAGE	625 SF
VOLUME	81,924.0 CU FT

REVISIONS		REMARKS
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

NEW RESIDENCE
753 FREDERICK CT

Mark M Braithwaite AIA
 52 Park Ave Park Ridge NJ 07656
 201-214-5114
 mbarchitects@yahoo.com

	NJ LIC# 12540
	NY LIC# 046604
	CT LIC# 0013424
DRAWN BY: MMB	NCARB 82762



ELECTRIC LEGEND

- ⊙ RECESSED PINHOLE DOWNLIGHT
- ⊕ RECESSED DOWNLIGHT
- ⊕ EXTERIOR RECESSED DOWNLIGHT
- ⊕ LENS PROTECTED RECESSED DOWNLIGHT
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ EXTERIOR WALL MOUNTED LIGHT FIXTURE
- ⊕ EXHAUST FAN
- ⊕ EXHAUST FAN WITH LIGHT
- ⊕ DUPLEX WALL OUTLET
- ⊕ DUPLEX WALL OUTLET WITH USB
- ⊕ DUPLEX WALL OUTLET W/ GROUND FAULT PROTECTION
- ⊕ EXTERIOR DUPLEX WALL OUTLET
- ⊕ DUPLEX WALL OUTLET 42" AB.FP
- ⊕ DEDICATED OUTLET
- ⊕ SINGLE POLE SWITCH
- ⊕ 3 WAY SWITCH
- ⊕ CHANDELIER
- ⊕ PORCELAIN FIXTURE
- ⊕ SMOKE DETECTOR LIGHT FIXTURE
- ⊕ SMOKE & CARBON MONOXIDE DETECTOR - HARD WIRE
- ⊕ UNDERCABINET LIGHTING
- ⊕ EXTERIOR SPOT LIGHTS
- ⊕ CEILING FAN
- ⊕ 24X48 FIXTURE

INTERIOR DOORS TO BE SOLID CORE MASONITE STYLE AS SELECTED BY OWNER
(T) = TEMPERED SAFETY GLASS
(F) = FIXED GLASS

- ⊕ 36" X 80" INT DOOR
- ⊕ 32" X 80" INT DOOR
- ⊕ 30" X 80" INT DOOR
- ⊕ 28" X 80" INT DOOR
- ⊕ 24" X 80" INT DOOR
- ⊕ 20" X 80" INT DOOR

FRAMING LEGEND

- B1- 3 1/2" X 11 7/8" LVL
- B2- 5 1/4" X 11 7/8" LVL
- B3- 3 1/2" X 14" LVL
- B4- 3 1/4" X 14" LVL
- B5- 3 1/2" X 16" LVL
- B6- 5 1/4" X 16" LVL
- B7- 3 1/2" X 18" LVL
- B8- 5 1/4" X 18" LVL
- B9- 5 1/4" X 20" LVL
- B10- 5 1/4" X 24" LVL
- R1- 1 3/4" X 11 7/8"
- R2- (2) 1 3/4" X 11 7/8"
- H1- (3) 2X8 HEADER
- H2- (3) 2X10 HEADER
- H = HEADER
- F = FLUSH
- D = DROPPED
- TF = TOP FLUSH
- BF = BOTTOM FLUSH
- JH = JOIST HANGER
- SB = SOLID BLOCKING
- BP = BEAM POCKET
- OF = OVERFRAME
- V = VALLEY
- H = HIP

BASEMENT FOUNDATION PLAN
SCALE 1/4" = 1'-0"

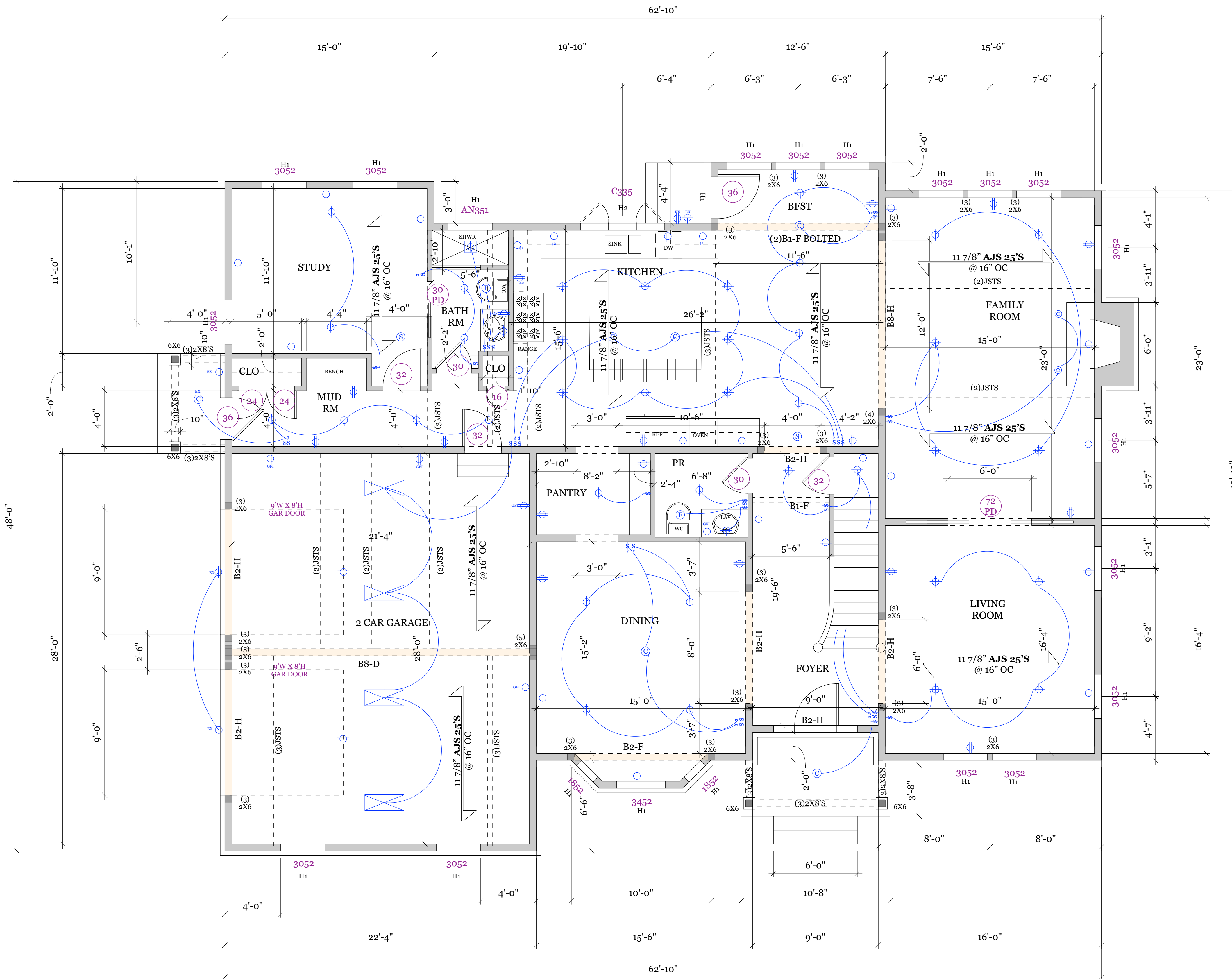
NO.	DATE	REVISIONS	REMARKS
1			
2			
3			
4			
5			

NEW RESIDENCE
753 FREDERICK CT

Mark M Braithwaite AIA
52 Park Ave Park Ridge NJ 07656
201-214-5114
mbarchitects@yahoo.com

NJ LIC# 12540
NY LIC# 046604
CT LIC# 0013424
DRAWN BY: MMB NCARB 82762





ELECTRIC LEGEND

- ⊙ RECESSED PINHOLE DOWNLIGHT
- ⊕ RECESSED DOWNLIGHT
- ⊕ EXTERIOR RECESSED DOWNLIGHT
- ⊕ LENS PROTECTED RECESSED DOWNLIGHT
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ EXTERIOR WALL MOUNTED LIGHT FIXTURE
- ⊕ EXHAUST FAN
- ⊕ EXHAUST FAN WITH LIGHT
- ⊕ DUPLEX WALL OUTLET WITH USB
- ⊕ DUPLEX WALL OUTLET W/ GROUND FAULT PROTECTION
- ⊕ EXTERIOR DUPLEX WALL OUTLET
- ⊕ DUPLEX WALL OUTLET 42" AB.FP
- ⊕ DEDICATED OUTLET
- ⊕ SINGLE POLE SWITCH
- ⊕ 3 WAY SWITCH
- ⊕ CHANDELIER
- ⊕ PORCELAIN FIXTURE LIGHT FIXTURE
- ⊕ SMOKE DETECTOR WITH USB
- ⊕ SMOKE & CARBON MONOXIDE DETECTOR - HARD WIRE
- ⊕ UNDERCABINET LIGHTING
- ⊕ EXTERIOR SPOT LIGHTS
- ⊕ CEILING FAN
- ⊕ 24x48 FIXTURE

INTERIOR DOORS TO BE SOLID CORE MASONITE STYLE AS SELECTED BY OWNER

(T) = TEMPERED SAFETY GLASS
(F) = FIXED GLASS

- ⊕ 36" X 96" INT DOOR
- ⊕ 32" X 96" INT DOOR
- ⊕ 30" X 96" INT DOOR
- ⊕ 28" X 96" INT DOOR
- ⊕ 24" X 96" INT DOOR
- ⊕ 20" X 96" INT DOOR

FRAMING LEGEND

- B1- 3 1/2" X 11 7/8" LVL
- B2- 5 1/4" X 11 7/8" LVL
- B3- 3 1/2" X 14" LVL
- B4- 5 1/4" X 14" LVL
- B5- 3 1/2" X 16" LVL
- B6- 5 1/4" X 16" LVL
- B7- 3 1/2" X 18" LVL
- B8- 5 1/4" X 18" LVL
- B9- 5 1/4" X 20" LVL
- B10- 5 1/4" X 24" LVL
- R1- 1 3/4" X 11 7/8"
- R2- (2) 1 3/4" X 11 7/8"
- H1 - (3) 2X8 HEADER
- H2 - (3) 2X10 HEADER
- H = HEADER
- F = FLUSH
- D = DROPPED
- TF = TOP FLUSH
- BF = BOTTOM FLUSH
- JH = JOIST HANGER
- SB = SOLID BLOCKING
- BP = BEAM POCKET
- OF = OVERFRAME
- V = VALLEY
- H = HIP

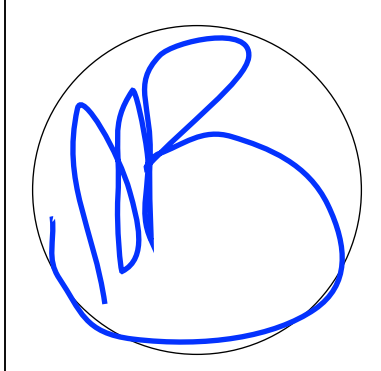
FIRST FLOOR PLAN PROPOSED 2072 SF
SCALE 1/4" = 1'-0"

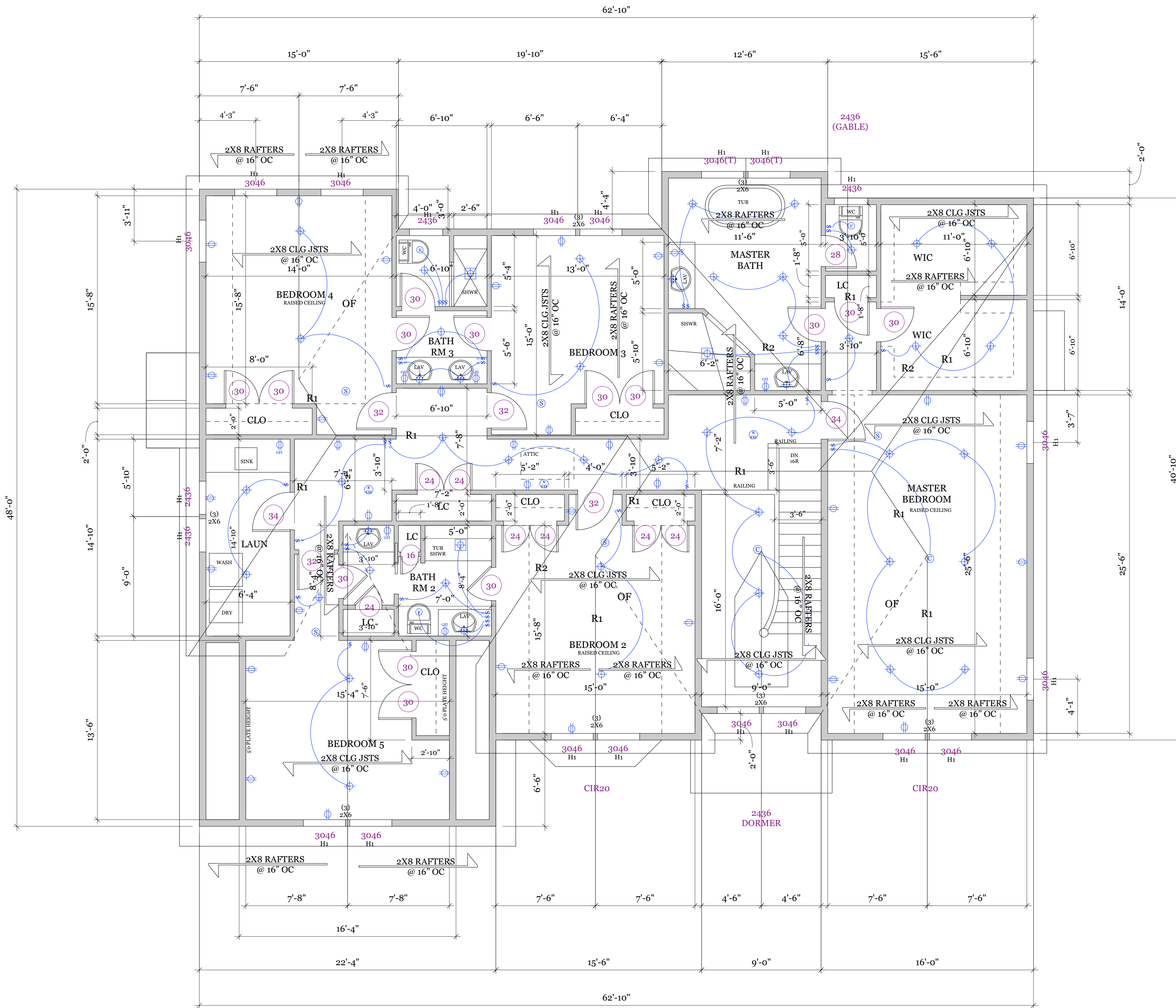
NO.	DATE	REVISIONS
1		
2		
3		
4		
5		

**NEW RESIDENCE
753 FREDERICK CT**

Mark M Braithwaite AIA
52 Park Ave Park Ridge NJ 07656
201-214-5114
mbarchitects@yahoo.com

NJ LIC# 12540
NY LIC# 046604
CT LIC# 0013424
DRAWN BY: MMB NCARB 82762





SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"
PROPOSED 2438 SF
TOTAL 4510 SF

ELECTRIC LEGEND

- ⊙ RECESSED PINHOLE DOWNLIGHT
- ⊕ RECESSED DOWNLIGHT
- ⊕ EXTERIOR RECESSED DOWNLIGHT
- ⊕ LENS PROTECTED RECESSED DOWNLIGHT
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ EXTERIOR WALL MOUNTED LIGHT FIXTURE
- ⊕ EXHAUST FAN
- ⊕ EXHAUST FAN WITH LIGHT
- ⊕ DUPLEX WALL OUTLET WITH USB
- ⊕ DUPLEX WALL OUTLET W/ GROUND FAULT PROTECTION
- ⊕ EXTERIOR DUPLEX WALL OUTLET
- ⊕ DUPLEX WALL OUTLET 42" AB.FF
- ⊕ DEDICATED OUTLET
- ⊕ SINGLE POLE SWITCH
- ⊕ 3 WAY SWITCH
- ⊕ CHANDELIER
- ⊕ PORCELAIN FIXTURE LIGHT FIXTURE
- ⊕ SMOKE DETECTOR WITH USB
- ⊕ SMOKE & CARBON MONOXIDE DETECTOR - HARD WIRE
- ⊕ UNDERCABINET LIGHTING
- ⊕ EXTERIOR SPOT LIGHTS
- ⊕ CEILING FAN
- ⊕ 24X48 FIXTURE

INTERIOR DOORS TO BE SOLID CORE MASONITE STYLE AS SELECTED BY OWNER

(T) = TEMPERED SAFETY GLASS
(F) = FIXED GLASS

- ⊕ 36" X 80" INT DOOR
- ⊕ 32" X 80" INT DOOR
- ⊕ 30" X 80" INT DOOR
- ⊕ 28" X 80" INT DOOR
- ⊕ 24" X 80" INT DOOR
- ⊕ 20" X 80" INT DOOR

FRAMING LEGEND

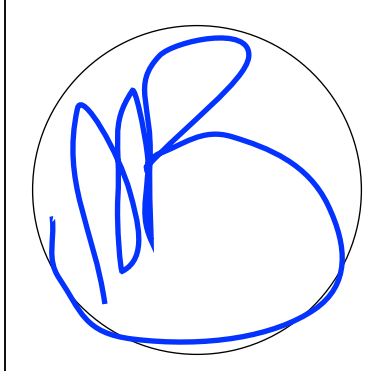
- B1- 3 1/2" X 11 7/8" LVL
- B2- 5 1/4" X 11 7/8" LVL
- B3- 5 1/2" X 14" LVL
- B4- 5 1/4" X 14" LVL
- B5- 3 1/2" X 16" LVL
- B6- 5 1/4" X 16" LVL
- B7- 3 1/2" X 18" LVL
- B8- 5 1/4" X 18" LVL
- B9- 5 1/4" X 20" LVL
- B10- 5 1/4" X 24" LVL
- R1- 1 3/4" X 11 7/8"
- R2- (2) 1 3/4" X 11 7/8"
- H1 - (3) 2X8 HEADER
- H2 - (2) 2X10 HEADER
- H = HEADER
- F = FLUSH
- D = DROPPED
- TF = TOP FLUSH
- BF = BOTTOM FLUSH
- JH = JOIST HANGER
- SB = SOLID BLOCKING
- BP - BEAM POCKET
- OF - OVERFRAME
- V = VALLEY
- H = HIP

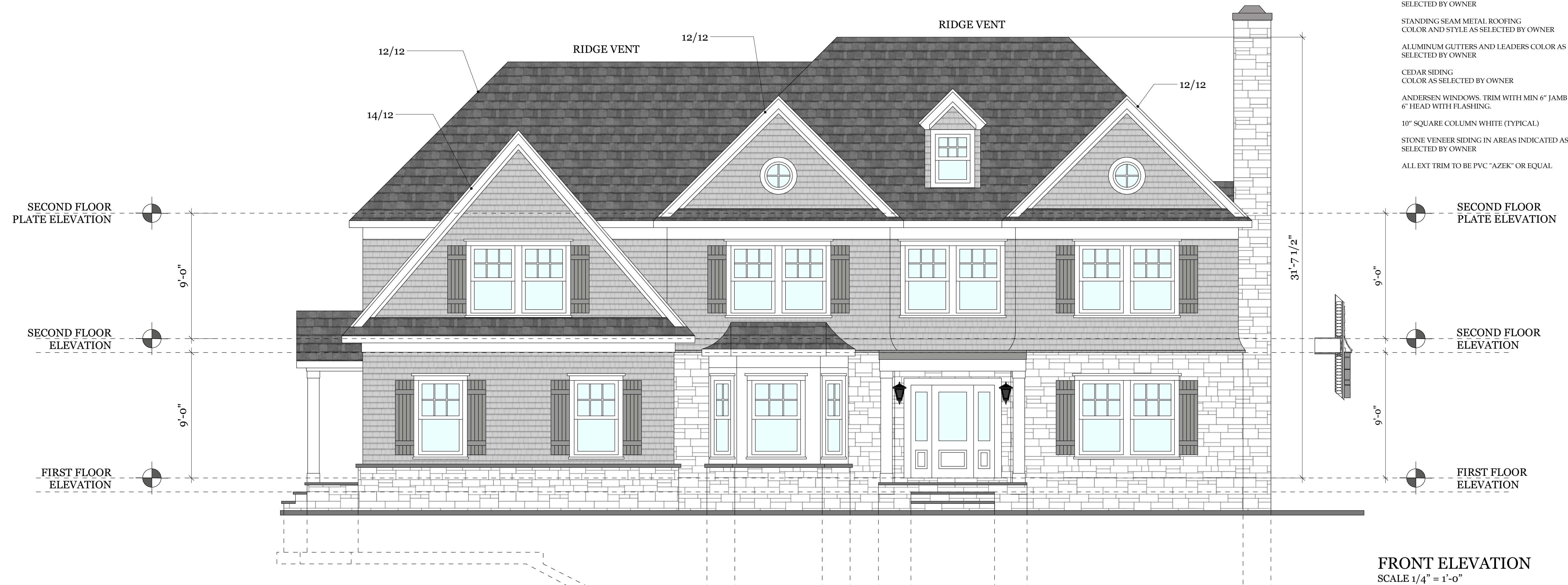
NO.	DATE	REVISIONS
1		
2		
3		
4		
5		

**NEW RESIDENCE
753 FREDERICK CT**

Mark M Braithwaite AIA
52 Park Ave Park Ridge NJ 07656
201-214-5114
mbarchitects@yahoo.com

NJ LIC# 12540
NY LIC# 046604
CT LIC# 0013424
DRAWN BY: MMB NCARB 82762





- TIMBERLINE 30 YEAR ARCHITECTURAL SHINGLE AS SELECTED BY OWNER
- STANDING SEAM METAL ROOFING COLOR AND STYLE AS SELECTED BY OWNER
- ALUMINUM GUTTERS AND LEADERS COLOR AS SELECTED BY OWNER
- CEDAR SIDING COLOR AS SELECTED BY OWNER
- ANDERSEN WINDOWS, TRIM WITH MIN 6" JAMB AND 6" HEAD WITH FLASHING.
- 10" SQUARE COLUMN WHITE (TYPICAL)
- STONE VENEER SIDING IN AREAS INDICATED AS SELECTED BY OWNER
- ALL EXT TRIM TO BE PVC "AZEK" OR EQUAL

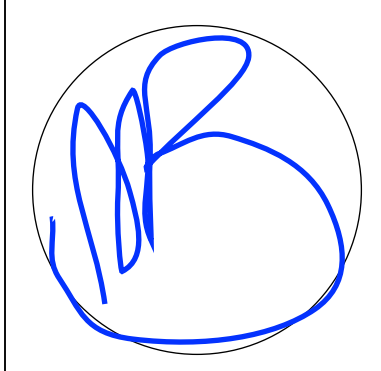


NO.	DATE	REVISIONS
1		
2		
3		
4		
5		

NEW RESIDENCE
753 FREDERICK CT

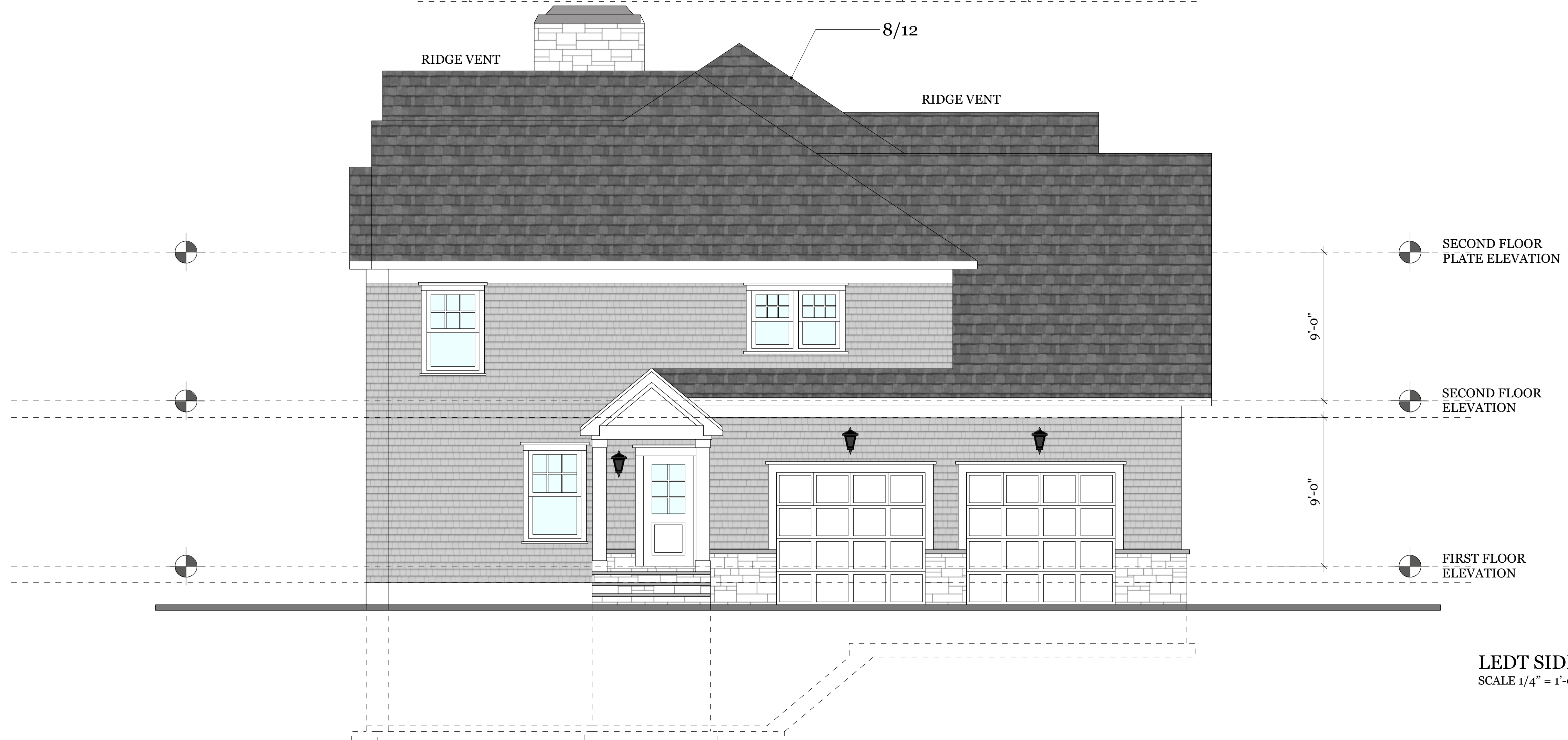
Mark M Braithwaite AIA
52 Park Ave Park Ridge NJ 07656
201-214-5114
mbarchitects@yahoo.com

NJ LIC# 12540
NY LIC# 046604
CT LIC# 0013424
DRAWN BY: MMB NCARB 82762





RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"

- TIMBERLINE 30 YEAR ARCHITECTURAL SHINGLE AS SELECTED BY OWNER
- STANDING SEAM METAL ROOFING COLOR AND STYLE AS SELECTED BY OWNER
- ALUMINUM GUTTERS AND LEADERS COLOR AS SELECTED BY OWNER
- CEDAR SIDING COLOR AS SELECTED BY OWNER
- ANDERSEN WINDOWS, TRIM WITH MIN 6" JAMB AND 6" HEAD WITH FLASHING.
- 10" SQUARE COLUMN WHITE (TYPICAL)
- STONE VENEER SIDING IN AREAS INDICATED AS SELECTED BY OWNER
- ALL EXT TRIM TO BE PVC "AZEK" OR EQUAL

REVISIONS	REMARKS
MM/DD/YY	
1	
2	
3	
4	
5	

NEW RESIDENCE
753 FREDERICK CT

Mark M Braithwaite AIA
52 Park Ave Park Ridge NJ 07656
201-214-5114
mbarchitects@yahoo.com

NJ LIC# 12540
NY LIC# 046604
CT LIC# 0013424
DRAWN BY: MMB NCARB 82762



GENERAL SPECIFICATIONS

SOIL TESTS

WHERE QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOILS CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST SHALL BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

FOOTINGS AND SLABS

ALL FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH. EARTH SHALL BE CAPABLE OF SUPPORTING 2500 PS.F. FOOTINGS SHALL BE BELOW FROST LINE, A MINIMUM OF 3'-0" BELOW GRADE TO THE BOTTOM OF FOOTINGS, EXCEPT THAT THE THE BOTTOM OF THE FOOTING SHALL BE ADJUSTED TO THE ACTUAL LEVEL OF APPROVED BEARING STRATA FOUND ON EXCAVATION. SOIL UNDER FOOTINGS SHALL BE PROTECTED FROM FREEZING. NO FOOTINGS SHALL BE POURED ON FROZEN SOIL. ALL FILL SHALL BE COMPACTED IN 8-10 INCH LAYERS TO NOT LESS THAN 95% OF THE MAXIMUM DENSITY WHEN TESTED IN ACCORDANCE WITH ASTM D1557. CHANGES OF LEVEL OF FOOTINGS MUST BE KEPT WITHIN THE SAFE ANGLE OF REPOSE OF THE SOIL. (ONE VERTICAL TO 2 HORIZONTAL) PROVIDE 4 INCHES POROUS FILL UNDER ALL CONCRETE SLABS ON EARTH,(OR CLEAN SAND) / BANK RUN) CONCRETE FLOORS SHALL HAVE SMOOTH HARD STEEL TOWEL FINISH. PROVIDE 6x6 - 10/10 WOVEN WIRE MESH IN ALL CONCRETE SLABS ON GRADE. PROVIDE 6 MIL VAPOR BARRIER OF CLEAR POLYETHYLENE FILM FOR ALL SLABS. INCLUDE RIGID INSULATION BOARD 24" WIDE R-7 (SEE PLAN) ALL CONCRETE SHALL BE 2,500 PSI STONE AGGREGATE READY-MIX FOR FOOTINGS AND 3,000 PSI FOR SLABS. AFTER 28 DAYS.(3500 PSI @ GARAGE FLOORS)

FOUNDATIONS WALLS AND MASONRY

STEEL REINFORCEMENT:
STEEL REINFORCEMENT SHALL COMPLY WITH THE REQUIREMENTS OF ASTM A615, A706, OR A996. ASTM A996 BARS PRODUCED FROM RAIL STEEL SHALL BE TYPE R. THE MINIMUM YIELD STRENGTH OF REINFORCING STEEL SHALL BE 40,000 PSI (GRADE 40) (276 MPA).

LOCATION OF REINFORCEMENT IN POURED CONG WALL:
THE CENTER OF VERTICAL REINFORCEMENT IN STEM WALLS SHALL BE LOCATED AT THE CENTERLINE OF THE WALL. HORIZONTAL AND VERTICAL REINFORCEMENT SHALL BE LOCATED IN FOOTINGS AT STEM WALLS TO PROVIDE THE MINIMUM COVERAGE REQUIRED. BY SECTION R403.1.3.5.3.

SUPPORT AND COVER

ALL EXPOSED STEEL BARS TO BE PROTECTED WITH PLASTIC MUSHROOM CAPS DURING CONSTRUCTION. REINFORCEMENT SHALL BE SECURED IN THE PROPER LOCATION IN THE FORMS WITH TIE WIRE OR OTHER BAR SUPPORT SYSTEM TO PREVENT DISPLACEMENT DURING THE CONCRETE PLACEMENT. STEEL REINFORCEMENT IN CONCRETE CAST AGAINST THE EARTH SHALL HAVE A MINIMUM COVER OF 3 INCHES. MINIMUM COVER FOR REINFORCEMENT AND CONCRETE CAST IN REMOVABLE FORMS THAT WILL BE EXPOSED TO THE EARTH OR WEATHER SHALL BE 1 1/2" FOR NUMBER FIVE BARS AND SMALLER, AND 2" FOR NUMBER 6 BARS AND LARGER. FOUNDATION WALLS SHALL BE LEVELLED TO RECEIVE FRAMING. WOOD SILLS ON MASONRY SHALL BE PRESSURE TREATED (I.E. WOLMANIZED) ANCHORED TO FOUNDATION BY 1/2" DIAMETER ANCHOR BOLTS PLACED 12" FROM EACH END OF PLATE SECTION, WITH INTERMEDIATE BOLTS PLACED SPACED MAXIMUM OF 6'-0" O.C. EACH BOLT SHALL BE A MINIMUM 21" LONG WITH A MINIMUM OF 15" EMBEDDED INTO THE CONCRETE. EACH PLATE SECTION SHALL HAVE A MINIMUM OF TWO ANCHOR BOLTS. ALL CONCRETE,BRICK AND STONE MASONRY SHALL BE PROTECTED FROM FREEZING FOR NOT LESS THAN 48 HOURS AFTER INSTALLATION. EXTEND HEARTHS OUT A MINIMUM 20" OUT FROM THE FRONT OF THE FIREPLACE AN A MINIMUM OF 12" BEYOND OPENINGS ON EITHER SIDE. SUPPORT HEARTHS WITH REINFORCED CONCRETE NOT LESS THAN 4" THICK. SUPPORT MASONRY OVER FIREPLACE OPENING WITH A NON-COMBUSTIBLE LINTEL. PROVIDE CAST IRON CLEAN OUT DOORS FOR ASH PITS, MAXIMUM OF 24" ABOVE FINISHED FLOOR. BEAM GIRDER AND OTHER CONCENTRATED LOADS SHALL BEAR ON SOLID CONCRETE WITH 5/8" STEEL SHIM PLATES BRICK VENEER SHALL BEAR ON 4" BRICK SHELE, PROVIDE CONTINUOUS FLASHING, OMIT VERTICAL JOINTS FOR WEEP HOLES AT 8'-0" OC. ANCHOR BRICK VENEER TO MASONRY BACK UP OR WOOD FRAMING WITH GALVANIZED STEEL TIES SPACED 24" HORIZONTALLY AND 16" VERTICALLY STAGGERED. MASONRY LINTELS - PROVIDE ONE ANGLE FOR EACH FOUR INCHES OF MASONRY THICKNESS OVER ALL OPENINGS AND RECESSES AS FOLLOWS;

CARPENTRY - FRAMING

FRAMING OF DWELLING SHALL BE ERECTED PLUMB, LEVEL, TRUE AND SECURELY NAILED STRUCTURAL LUMBER SIZES ARE BASED ON DOUGLAS FIR #2 OR BETTER WITH A REPETITIVE MEMBER FIBER STRESS OF 1350 PSI AND AN "E" OF 1,300,000.ALL FLUSH HEADER BEAMS, ETC. SHALL BE SECURED WITH STEEL JOIST HANGERS. DOUBLE JOISTS UNDER PARALLEL PARTITIONS ABOVE. SET ALL JOISTS AND GIRDERS WITH NATURAL CAMBER UP. DOUBLE-UP FLOOR JOISTS UNDER PARTITIONS RUNNING PARALLEL TO JOISTS, OR AS PER PLANS. DOUBLE UP ROOF RAFTERS AROUND SKYLIGHTS.

DETAILS OF FRAMING INCLUDING FIRE STOPPING, BLOCKING, BRIDGING, NOTCHING, ETC., SHALL CONFORM TO THE INTERNATIONAL RESIDENTIAL CODE AND TO THE NFPA MANUAL OF HOUSING FRAMING. NAILING SCHEDULE SHALL CONFORM TO INTERNATIONAL RESIDENTIAL. STUDS IN LOAD-BEARING PARTITION SHALL ALIGN WITH RAFTERS AND TRUSSES; IF REQUIRED, INSTALL ADDITIONAL STUDS TO PROVIDE THE NECESSARY SUPPORT. ENGINEERED JOIST MANUFACTURER SHALL SUPPLY ALL BRIDGING, BLOCKING AND CROSS BRACING IN ACCORDANCE WITH THEIR PUBLISHED RECOMMENDATIONS.

ALL WALLS SHALL BE ADEQUATELY BRACED UNTIL THE ENTIRE STRUCTURAL FRAME HAS BEEN INSTALLED AND IS SECURELY SOUND. PROVIDE 5/4" X 3" CROSS BRIDGING AT CENTER SPAN OR 8'-0" OR MAXIMUM. USE SOLID BLOCKING AT ENDS UNLESS OTHERWISE NOTED. ALL SUB FLOORS SHALL APA RATED C-C PLYWOOD 3/4" THICKLE AND GROOVE WITH A MAXIMUM SPAN OF 24" AND SHALL BE NAILED TO JOISTS USING 6D RING OR SCREW SHANK NAILS AT 6" OC AT EDGES AND 12" OC OVER FIELD OF PANEL. GAPS BETWEEN PANELS SHALL BE 1/8" WALL CONSTRUCTION SHALL BE 2"x4" & 2"x6" WOOD STUDS AT 16" OC, DOUGLAS FIR COMMON. TOP PLATES SHALL BE DOUBLE 2"x4" & 2"x6" WITH END JOINTS OFFSET MIN 48". ALL NOTCHING SHALL BE LIMITED TO 25% OF THE WIDTH OF STUD, DRILLED HOLES MAY NOT EXCEED 40% OF THE WIDTH OF STUD AND SHALL NOT BE CLOSER THAN 5/8" TO THE EDGE OF MEMBER.

EXTERIOR WALL SHEATHING SHALL BE 1/2" CDX PLYWOOD FOR MAXIMUM SPANS OF 24" USE 6D NAILS AT 6" OC AT EDGES AND 12" OC AT INTERMEDIATE SUPPORTS. GAPS AT EDGES OF SHEATHING SHALL BE 1/8". ROOF SHEATHING SHALL BE 5/8" CDX PLYWOOD FOR A MAXIMUM SPAN OF 24" OC AND SHALL BE NAILED TO RAFTERS WITH 6D RING OR SCREW SHANK NAILS AT 6" OC AT THE EDGES AND 10" OC OVER THE FIELD OF THE PANEL. GAPS BETWEEN PLYWOOD PANELS SHALL BE 1/8"

INSULATION + MOISTURE CONTROL

EXTERIOR WALLS MIN - R21
INSULATE IN ACCORDANCE WITH THE MODEL ENERGY CODE. METAL FLASHINGS AND DRIP EDGES SHALL BE APPROVED SHEET METAL. PROVIDE FLASHINGS FOR CHIMNEYS, SADDLE, TOPS OF HORIZONTAL BANDS, SKIRTS, WINDOWS AND DOORS. INSTALL BASE FLASHING, WALL AND ROOF JOINT FLASHING, RIDGE, HIP, VALLEY & EDGE FLASHING, CRICKETS, SKYLIGHT FLASHING ETC., AS REQUIRED TO MAKE FOR WATERTIGHT JOINTS.

INSTALL ALUMINUM GUTTERS AND LEADERS AS REQUIRED AND CONNECT TO SITE'S STORM WATER DRAINAGE SYSTEM (DESIGNED BY ENGINEER) KEEP LEADERS AND GUTTERS SEPARATED FROM THE BUTTING WALL SURFACES TO AVOID STAINING AND CORROSION. PROVIDE PROPER JOINTS FOR EXPANSION AND CONTRACTION.

DAMP-PROOFING: EXTERIOR FACE OF ALL CMU FOUNDATION WALLS SHALL RECEIVE TWO (2) COATS OF PORTLAND CEMENT PARING APPLIED FROM COVE TO SILL PLATE. OVER THIS SHALL BE APPLIED ONE TROWEL COAT OF PLASTIC BITUMINOUS PITCH 1/8" THICKNESS CARRIED FROM FINISHED GRADE TO FOOTING.

SILL SEALER SHALL BE FIBERGLASS OR POLYURETHANE SILL SEALER 6 INCHES WIDE IN ROLL FORM. SEALER SHALL BE PLACED BETWEEN THE SILL PLATE AND THE FOUNDATION WALL IN A CONTINUOUS MANNER IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.

INSTALL "TYVEK" HOUSE WRAP OVER WALLS, WINDOWS, AND DOORS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. SEAL ALL SEAMS, JOINTS, CORNERS, FLASHINGS, HEADERS AND ALL EXTERIOR VENTING HOLES WITH "3M" CONTRACTOR SHEATHING TAPE #8086. CONTRACTOR TO CAULK ALL OPENINGS IN EXTERIOR WALLS. CAULKING TO BE FIRST QUALITY SILICONE SEALANT AS MANUFACTURED BY GENERAL ELECTRIC OR DOW. INSTALLATION TO BE IN STRICT CONFORMANCE TO MANUFACTURERS REQUIREMENTS, CONTRACTOR TO PROPERLY CLEAN AND PREPARE SURFACES AS REQUIRED.

ROOF VENTILATION:

VENTILATE ALL ATTIC AND RAFTER SPACE WITH PROPER SIZED SCREENED LOUVERS, RIDGE AND SOFFIT VENTS. TAPER INSULATION TO ALLOW AIR FLOW. ATTIC VENTILATION SHALL CONSIST OF CONTINUOUS SOFFIT VENTS, RIDGE VENTS AND GABLE END LOUVERS IN COMBINATIONS OF EACH. PROVIDE ONE SQUARE INCH OF VENT AREA FOR EACH 2 SQUARE FEET OF ATTIC FLOOR.

RIDGE VENTS:ATTIC OR ROOF VENTILATION SHALL BE RIDGE VENT ROLL FORMED .019 INCH ALUMINUM VENT AS MANUFACTURED BY AIR VENT INC. PEORIA ILL. OR EQUAL.

SOFFIT VENTS:SOFFIT VENTS SHALL BE STRIP VENT ROLL FORMED .019 INCH ALUMINUM VENT AS MANUFACTURED BY AIR VENT INC. PEORIA ILL. OR EQUAL

GABLE VENTS AS INDICATED ON DRAWINGS.

TILE:

CONTRACTOR TO INCLUDE ALL TILE AS FOLLOWS AS MINIMUM BID. CONTRACTOR TO PROVIDE PER SQUARE FOOT ALLOWANCE FOR TILE AND INSTALLATION.

BATHROOMS

FLOORS IN BATHROOMS SHALL BE TILE AS SELECTED BY OWNER. ALL TILE SHALL BE "MUD SET" IN MINIMUM 1 1/4" THICK MORTAR BED OVER MESH REINFORCING, INSTALLED IN ACCORDANCE WITH "TILE COUNCIL OF AMERICA" LATEST EDITION. EXCEPTION WHERE EXISTING FLOOR SLAB WORK IS IN GOOD CONDITION, FREE FROM CRACKS AND LEVEL, THE CONTRACTOR MAY USE A "THIN SET" APPLICATION FOR ALL FLOOR TILE WORK. WALLS TO RECEIVE MINIMUM 6" BASE TILE AS SELECTED BY OWNER. TILE TO EXTEND TO CEILING AROUND TUBS AND SHOWERS. ALL OF THE TILE WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE RECOMMENDATION AT THE TILE MFG'S ASSOCIATION. THE SURFACE SHALL BE CLEANED AND POLISHED AND LEFT IN PERFECT CONDITION. BATHROOMS SHALL BE PROVIDED WITH STANDARD BATH ACCESSORIES INCLUDING RECESSED SOAP DISHES, TOWEL RACKS, RECESSED TOILET PAPER HOLDERS. COLOR AND STYLE TO BE SELECTED BY OWNER.

CARPETING:

TO BE INSTALLED BY HOME OWNER
CONTRACTOR TO PROVIDE CLEAN CLEAR SURFACES, AND HAVE INSTALLED ALL SADDLES AND BASE TRIM ACCORDINGLY.

OAK FLOORING:

WOOD FLOORING:
WOOD FLOORING SHALL BE 3/4" THICK BY 3 1/4" FACE WIDTH T+G MATCHED AND END MATCHED. SELECT REDOAK, MARKED TO INDICATE GRADE AND MILL ORIGIN. INSTALL STOCK QUARTERED OAK SADDLES AS REQUIRED. BEVELED STRIPS TO MATCH HARDWOOD FLOORING SHALL BE APPLIED WHERE HARDWOOD MEETS TILE FLOOR. STRIPS SHALL BE NATURAL FINISH TO MATCH HARDWOOD FLOORING. CONTRACTOR SHALL INSPECT AND ACCEPT SUB-FLOORING IN PRESENCE OF THE OWNER. FLOORING SHALL BE STORED AT THE JOB FOR ONE WEEK BEFORE INSTALLATION TO PERMIT ACCLAMATION. FLOORING SHALL BE LAID OVER ROSIN PAPER WITH JOINTS LAPPED 4", AND SHALL BE BLIND NAILED WITH 8D COMMON NAILS 10" O.C. FLOORING SHALL BE LAID CONTINUOUSLY THROUGH DOORWAYS WITHOUT THRESHOLDS, RUNNING PERPENDICULAR TO THE DIRECTION OF THE JOIST AND NAILED SECURELY AT EACH JOIST OR BEARING. FLOORING SHALL NOT BE LAID UNTIL PLASTER SURFACES ARE DRY. MACHINE SAND FLOORS WITH AT LEAST THREE SEPARATE PASSES OF THE SANDING MACHINE TO PRODUCE AN EVEN SMOOTH SURFACE SUITABLE TO RECEIVE FINISH. EDGES SHALL BE SANDED WITH A SMALL HAND SANDER TO GIVE EVEN SMOOTH SURFACE CONSISTENT WITH SURROUNDING FINISH. FINISH SHALL BE SELECTED BY OWNER. CONTRACTOR TO INCLUDE AS A MINIMUM BID, (1) COAT OF SEALER, AND (2) COATS OF VARNISH.

GYPSUM WALLBOARD:

GYPSUM WALLBOARD SHALL BE 1/2" SECURED WITH ROSIN DRY WALL SCREWS ACCORDING TO MANUFACTURERS SPECIFICATIONS. ALL JOINTS SHALL BE TAPERED AND SPACKLED 3 COATS OF JOINT COMPOUND, FINISH SANDING MADE SMOOTH AND EVEN,READY FOR PAINTING. PROVIDE WATER RESISTANT GYPSUM BACKER BOARD ON ALL BATHROOM WALLS. ALL AREAS DIRECTLY ADJACENT TO SHOWERS AND TUBS SHALL RECEIVE "WONDER BOARD" BACKING. ALL WALLS AND CEILINGS SEPARATING THE GARAGE FROM INTERIOR LIVING SPACES SHALL HAVE MIN 1 HOUR FIRE RATING (5/8" TYP "X" FIRE-CODE GYPSUM BOARD)

DOORS:

INTERIOR DOORS TO 1 3/4" SOLID CORE WOOD DOORS PRIMED READY FOR PAINT. STYLE TO BE 2 PANEL COLONIAL PROFILE AS SELECTED BY OWNER. ALL DOORS TO BE AS INDICATED ON THE PLANS WITH MINIMUM 32" WIDE DOORS TO ALL BEDROOMS,BATHROOMS AND WALK IN CLOSETS. ALL DOORS TO BE 6-8" IN HEIGHT AND HAVE 3 PAIR BUTT TYPE BRASS HINGES. EXTERIOR DOORS TO BE STEEL INSULATED BY "THERMATRU" OR EQUAL. FRONT DOOR TO HAVE INTEGRATED SIDELITES AND TRANSOM UNITS. FINAL SELECTION BY OWNER.

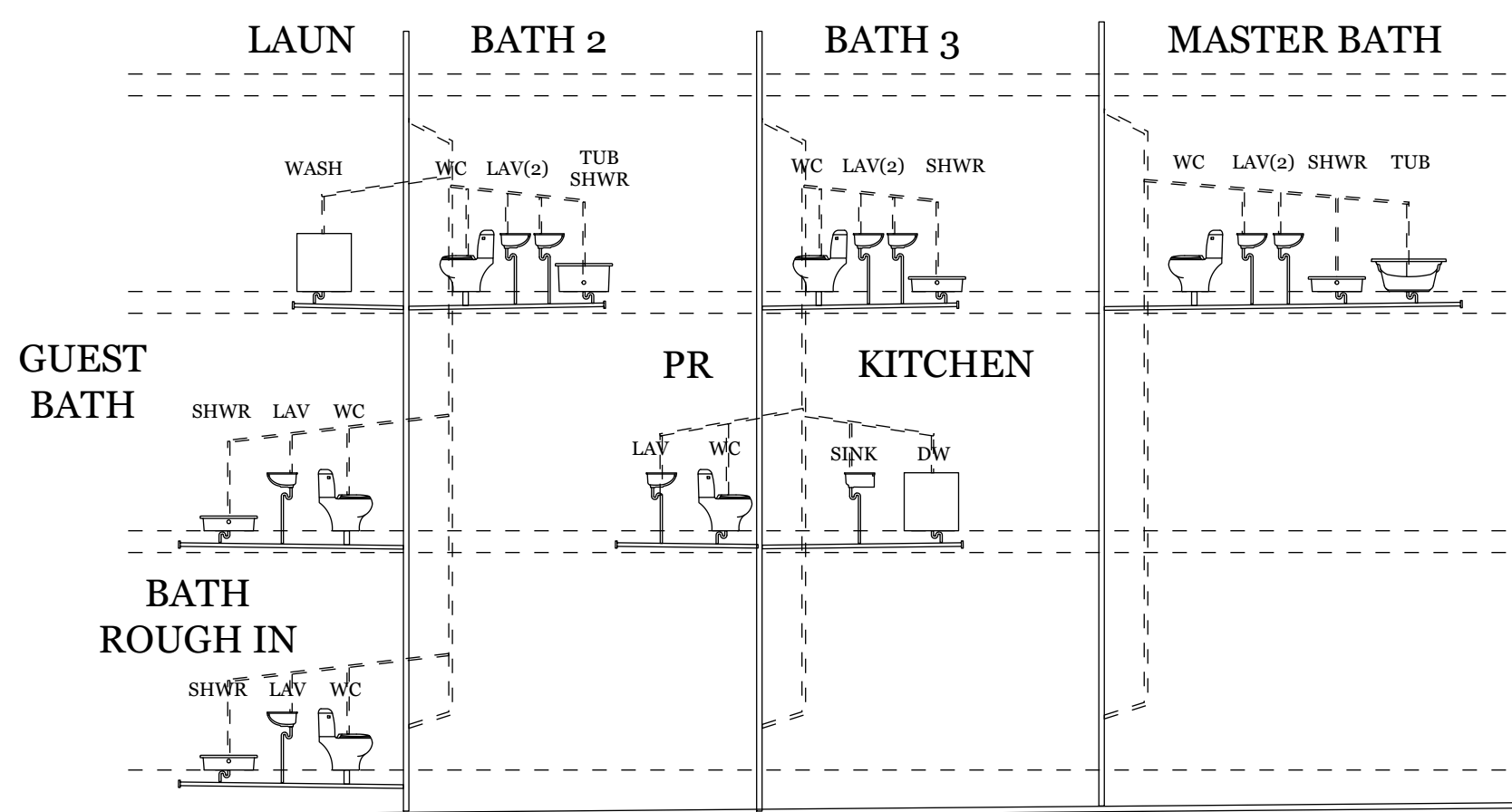
HARDWARE:

ALL INTERIOR DOOR HARDWARE TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR. CONTRACTOR TO PROVIDE \$70.00 PER DOOR ALLOWANCE FOR ALL INTERIOR DOORS. ALL EXTERIOR DOOR HARDWARE TO BE SELECTED BY OWNER. FRONT ENTRY DOOR TO HAVE SOLID BRASS HARDWARE BY BALDWIN OR EQUAL. SELECTION BY OWNER, CONTRACTOR TO PROVIDE ALLOWANCE OF \$500.00 FOR FRONT ENTRY DOOR HARDWARE.

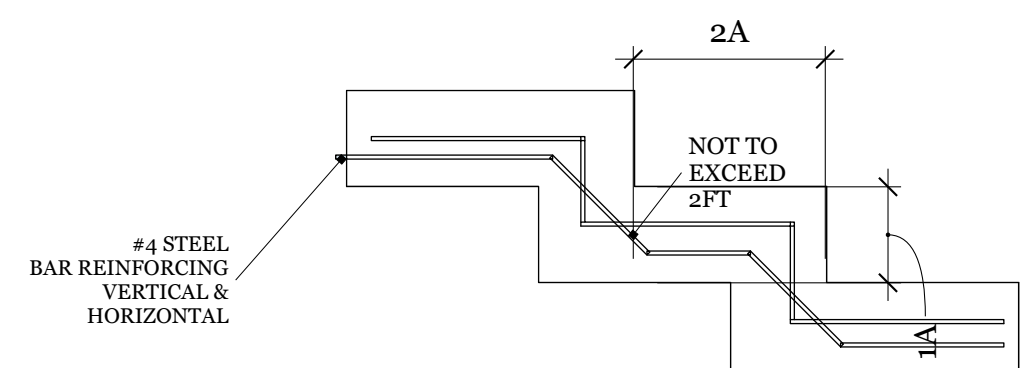
EQUIPMENT:

APPLIANCES SHALL BE SELECTED AND PURCHASED BY OWNER, AND INSTALLED BY CONTRACTOR, INCLUDING ALL SPECIAL ELECTRICAL OUTLETS AND EXHAUST DUCTING. CONTRACTOR TO REPLACE EXISTING 75 GALLON HOT WATER HEATER. SUBMIT MODEL MAKE AND MANUFACTURER TO OWNER FOR APPROVAL.

FIXTURE	BRANCH PIPING				
	HOT	COLD	DRAIN	TRAP	VENT
TOILET (WC)		1/2"	3"		2"
LAVATORY	1/2"	1/2"	1-1/2"	1-1/2"	1-1/2"
BATH TUB	1/2"	1/2"	2"	2"	1-1/2"
TUB/SHOWER	1/2"	1/2"	2"	2"	1-1/2"
KITCHEN SINK	1/2"	1/2"	1-1/2"	1-1/2"	1-1/2"
DISH WASHER	1/2"	1/2"	1-1/2"	1-1/2"	1-1/2"
FLOOR DRAIN	1/2"	1/2"	2"	1-1/2"	1-1/2"

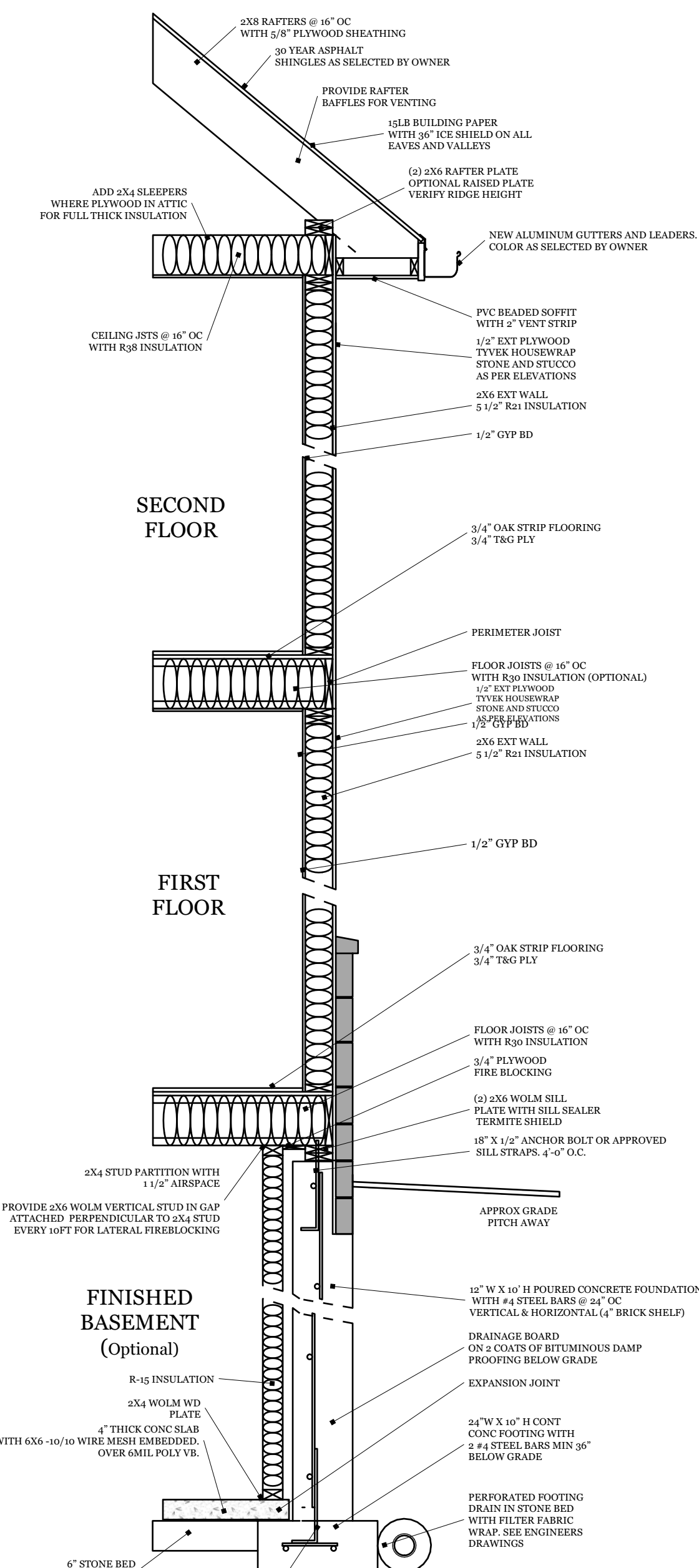


SCHEMATIC PLUMBING RISER DIAGRAM



STEP FOOTING

SCALE 1/2" = 1'-0"



TYPICAL DETAIL

SCALE 1/2" = 1'-0"

REVISIONS	REMARKS
MM/DD/YY	
1	
2	
3	
4	
5	

NEW RESIDENCE
753 FREDERICK CT

Mark M Braithwaite AIA
52 Park Ave Park Ridge NJ 07656
201-214-5114
mbarchitects@yahoo.com

NJ LIC# 12540
NY LIC# 046504
CT LIC# 0013424
DRAWN BY: MMB NCARB 82762

