

ADDITION & RENOVATION FOR: MR. & MRS. ANDRUKIEWICZ

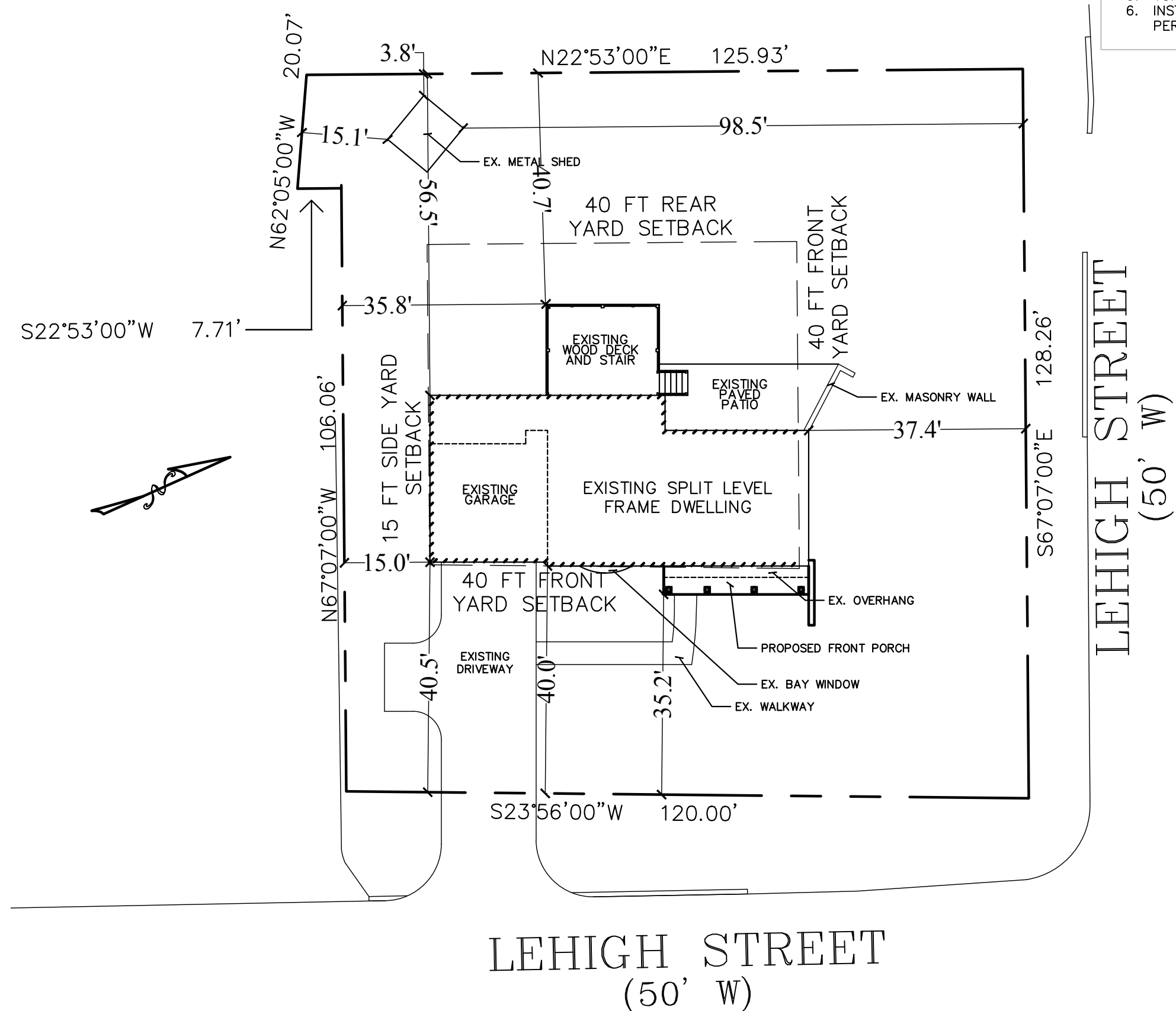
383 LEHIGH STREET WYCKOFF, NJ 07481

LIST OF DRAWINGS

- A-0 ZONING REVIEW
- A-1 ELEVATIONS
- A-2 GROUND / FIRST FLOOR PLAN
- A-3 ELEVATIONS

WILLIAM G. BROWN ARCHITECTS CALCULATES LIVEABLE SQUARE FOOTAGE FROM THE INSIDE FRAME LINE DIMENSIONS. GARAGE SQUARE FOOTAGE IS NOT INCLUDED IN THE TOTAL LIVEABLE SQUARE FOOTAGE. STAIRWELLS AND FIREPLACE MASSES ARE ONLY INCLUDED ONCE WITH THE MAIN LEVEL FIGURES

BUILDING DATA	
USE GROUP	R5
CONSTRUCTION CLASS	VB
BUILDING AREA	
EXISTING FOOTPRINT	1,798 SQFT
EXISTING GARAGE	386 SQFT
EX'G BASEMENT	423 SQFT
EXISTING GROUND FLOOR	
EXISTING GROUND FLOOR	587 SQFT
EXISTING FIRST FLOOR	1,414 SQFT
TOTAL EX'G LIVEABLE	
TOTAL EX'G LIVEABLE	1,998 SQFT
NEW CONTAINED VOLUME	1,408 CUFT



- SEQUENCE OF CONSTRUCTION:**
1. INSTALL SILT FENCE / SEDIMENT BARRIERS AT LOCATION SHOWN ON PLAN CLEAR, SITE AND STOCKPILE TOPSOIL
 2. REMOVE EXISTING IMPROVEMENTS
 3. EXCAVATE AND INSTALL FOUNDATION
 4. CONNECT UTILITIES, INSTALL SEEPAGE PIT AND COMPLETE GARAGE CONSTRUCTION
 5. TOPSOIL AND SEED, PERMANENTLY STABILIZED ALL DISTURBED AREAS
 6. INSTALL FINAL PAVEMENT SURFACE COURSE, REMOVE SILT FENCE AND PERMANENTLY STABILIZING ANY REMAINING DISTURBED AREA.

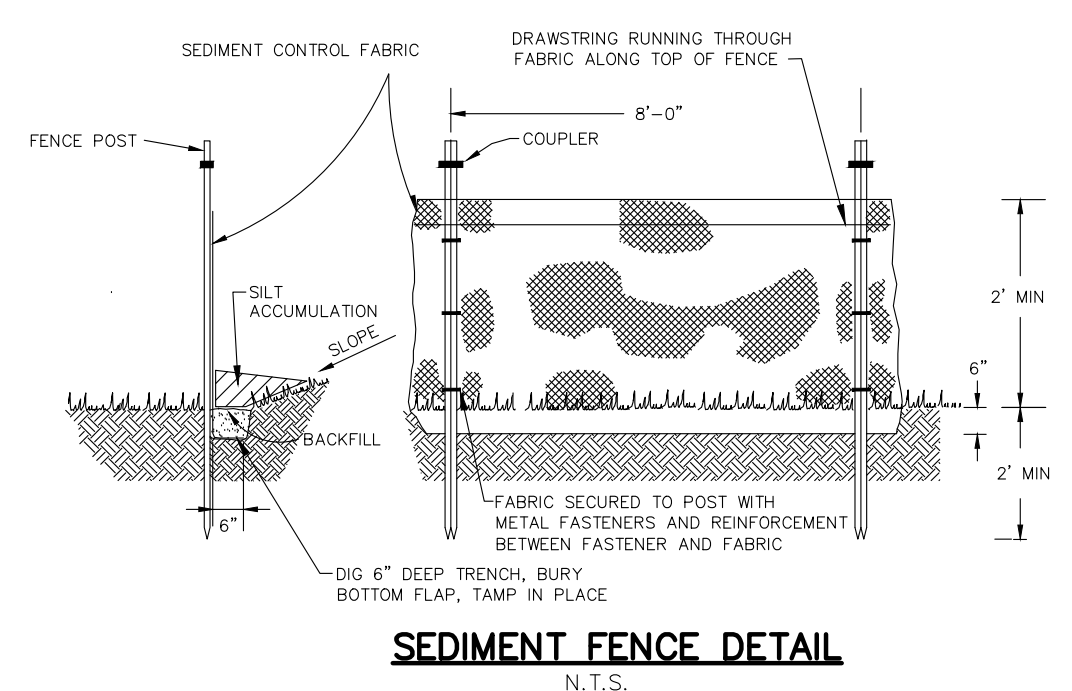
TOWNSHIP OF WYCKOFF					
TAX MAP LOT: 4					
TAX BLOCK: 481					
ZONE: RA-15					
USE: SINGLE FAMILY DWELLING					
ZONING REQUIREMENTS		REQUIRED	EXISTING	PROPOSED	VARIANCE
MINIMUM LOT REQUIREMENTS					
- MINIMUM LOT AREA	15,000 sq ft	15,393 sq ft	NO CHANGE	NONE	NONE
- MINIMUM LOT FRONTAGE	100 ft	120 ft	NO CHANGE	NONE	NONE
- MINIMUM LOT DEPTH	125 ft	127.1 ft	NO CHANGE	NONE	NONE
PRINCIPAL BUILDING					
- RIGHT SIDE YARD SETBACK	40 ft	37.4 ft	NO CHANGE	NONE	NONE
- LEFT SIDE YARD SETBACK	15 ft	15.0 ft	NO CHANGE	NONE	NONE
- FRONT YARD SETBACK	40 ft	40 ft	NO CHANGE	YES	YES
- REAR YARD SETBACK	30 ft	40.7 ft	NO CHANGE	NONE	NONE
ACCESSORY BUILDING (DECK)					
- REAR SETBACK	20 ft	3.8 ft	NO CHANGE	NONE	NONE
- LEFT SIDE SETBACK	15 ft	15.1 ft	NO CHANGE	NONE	NONE
- RIGHT SIDE SETBACK	15 ft	98.5 ft	NO CHANGE	NONE	NONE
MAXIMUM LOT COVERAGE					
- PRINCIPAL BUILDING COV.	15%	13.94%	14.77%	NONE	NONE
- ACCESSORY BUILDING	5%	0.58%	NO CHANGE	NONE	NONE
- COMBINED BUILDING	20%	14.52%	15.35%	NONE	NONE
- IMPERVIOUS COVERAGE	28.5% MAX.	23.11%	23.95%	NONE	NONE
- GROSS BUILDING AREA	>2,700 sqft	1,094 sqft	2,308 sqft	NONE	NONE
MAXIMUM BUILDING HEIGHT					
MAXIMUM BUILDING HEIGHT	35'	24.80 ft	24.80 ft	NONE	NONE
MAXIMUM NUMBER OF STORIES					
MAXIMUM NUMBER OF STORIES	2-1/2	2	2	NONE	NONE

ACCESSORY STRUCTURES INCLUDE: POOL, DECKS, GARAGES, SHEDS, AND PAVILIONS
ENC= EXISTING NONCONFORMING

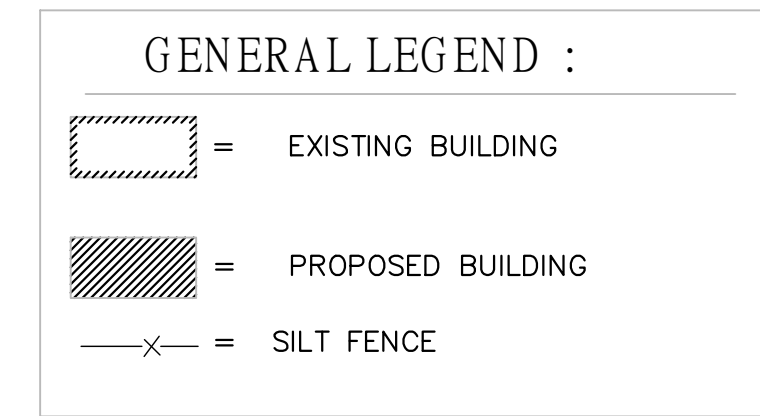
In the RA-25 and R-15 residential zones, garages which face the side yard shall be no less than 27 feet from the side yard property line. In the R-15 Zone, if a home has a gross building area which exceeds 2,700 sf, the minimum side yard setback shall be 20 feet.

IMPERVIOUS COVERAGE		
STRUCTURE	AREA	
EX'G DRIVEWAY	807	SQFT
EX'G PATIO	326	SQFT
EX'G WALKWAYS	168	SQFT
EX'G MASONRY WALLS	21	SQFT
EX'G METAL SHED	90	SQFT
EX'G BUILDING COVERAGE	+ 2,146	SQFT
TOTAL EX'G IMPERVIOUS COV.	3,558	SQFT = 23.11%
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NEW FRONT PORCH	+128	SQFT
TOTAL NEW IMPERVIOUS COV.	3,686	SQFT = 23.95%

BUILDING COVERAGE		
STRUCTURE	AREA	
EX'G FOOTPRINT	2,146	SQFT
(INC: GARAGE AND DECK)		
TOTAL EX'G BUILDING COVER.	2,146	SQFT = 13.94%
NEW FRONT PORCH	128	SQFT
EX'G BUILDING COVERAGE	+ 2,146	SQFT
TOTAL NEW BUILDING COVER.	2,274	SQFT = 14.77%



SITE PLAN
SCALE: 1"=20'



SITE PLAN DRAWN FROM SURVEY TAKEN BY:
STEPHEN D. RIGG
LICENSE NO. GS43263
JOB AND JOB
DATED: 01 / 04 /2019
SITE PLAN TO BE USED FOR ZONING
AND ARCHITECTURAL PURPOSES ONLY.

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COVER SHEET

ADDITION / RENOVATION FOR:
MR & MRS. ANDRUKIEWICZ
383 LEHIGH STREET
WYCKOFF, NJ 07481

DATE: FEBRUARY 07, 2019
ISSUE FOR PERMIT:
MARCH 06, 2019

PROJECT: 19-204
DRAWN BY: AG

THESE DRAWINGS ARE NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT WILLIAM G. BROWN.

CT ARCH 8445
NY ARCH 018837
NJ ARCH 10226
PA ARCH RA-011586-B
VA ARCH RA-007125
NJ PLANNER

NOT VALID UNLESS SIGNED AND SEALED

WILLIAM G. BROWN, JR., AIA

A-0 ZONING REVIEW

GENERAL NOTES

1. ALL WORK IS TO COMPLY WITH ALL BUILDING CODES AND ZONING ORDINANCES ADOPTED BY THE TOWNSHIP OF WYCKOFF, BERGEN COUNTY, NEW JERSEY
2. BUILDING HEIGHT/RIDGE HEIGHT TO BE VERIFIED BY SITE ENGINEER PRIOR TO CONSTRUCTION. BUILDING HEIGHT MAXIMUM TO BE: 35'-0" AS PER LOCAL ORDINANCE
3. CONTRACTOR IS TO VERIFY ALL CONDITION IN THE FIELD PRIOR TO STARTING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN PLAN OR ITEMS REQUIRING CLARIFICATION BEFORE PROCEEDING WITH CONSTRUCTION
4. JOB SITE IS TO BE KEPT REASONABLY CLEAN AND ALL CONSTRUCTION DEBRIS IS TO BE CARTED AWAY AT THE END OF THE JOB.
5. ALL WORK IS TO BE DONE BY SKILLED MECHANICS IN A WORKMANLIKE MANNER SET STRAIGHT AND PLUMB.
6. ALL MATERIALS USED TO BE OF FIRST QUALITY FREE FROM DEFECTS.
7. ARCHITECT DOES NOT HAVE FIELD SUPERVISION OR CONSTRUCTION ADMINISTRATION RESPONSIBILITIES FOR THIS PROJECT.
8. CONTRACTOR IS TO LOCATE STRUCTURE AND SET ELEVATIONS AND CONTOURS WITH HIS SURVEYOR AND LICENSED PROFESSIONAL ENGINEER.
9. CONTRACTOR TO VERIFY, IN WRITING, IF STRUCTURE DOES NOT COMPLY WITH LOCAL BUILDING HEIGHT CODE DURING CONSTRUCTION AND PRIOR TO CONSTRUCTION OF THE RIDGE.
10. CONTRACTOR AND/OR HOMEOWNER IS REQUIRED TO HAVE BUILDER'S INSURANCE AND HOMEOWNER'S WARRANTY PROGRAM.
11. GIVEN ANY DISCREPANCIES IN SPECIFICATIONS OR MATERIALS CONTRACTOR MUST USE MATERIAL OF SUPERIOR QUALITY.
12. ALL FRAMED WINDOW OPENINGS TO BE VERIFIED WITH BUILDER AND WINDOW SUPPLIER PRIOR TO ORDERING.
13. CONTRACTOR TO INSTALL RAM BOARD AND TAPE ALL JOINTS
14. CONTRACTOR TO FOLLOW RESCHECK

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ADDITION / RENOVATION FOR:
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 383 LEHIGH STREET
 WYCKOFF, NJ 07481

DRAWING TITLE:
FRONT & SIDE ELEVATIONS

PROJECT NUMBER: 19-204 SCALE: 1/4" = 1'-0"
 DRAWN BY: AG CHECKED BY: SUPV
 DATE: 02-07-2019

ISSUE FOR PERMIT: MARCH 06, 2019

DRAWING #
A-1
 2 OF 4
 RES 2016

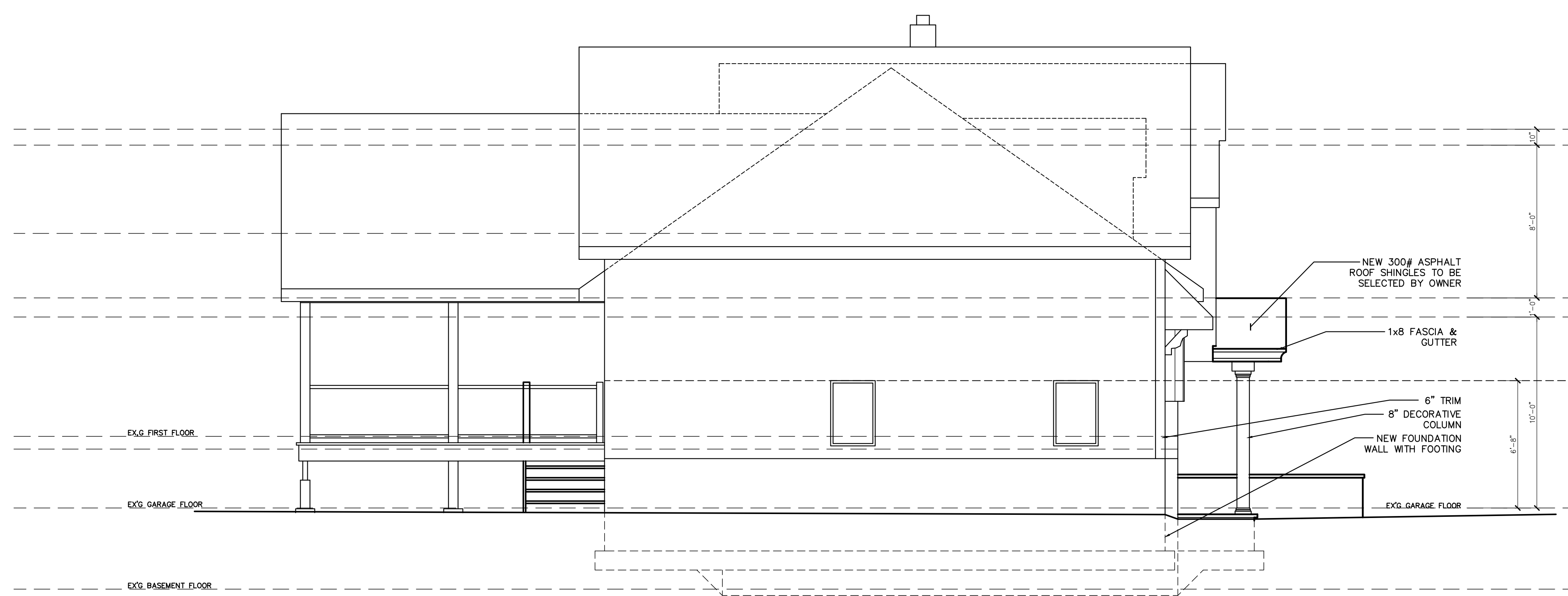


FRONT ELEVATION

SCALE: 1/4"=1'-0"

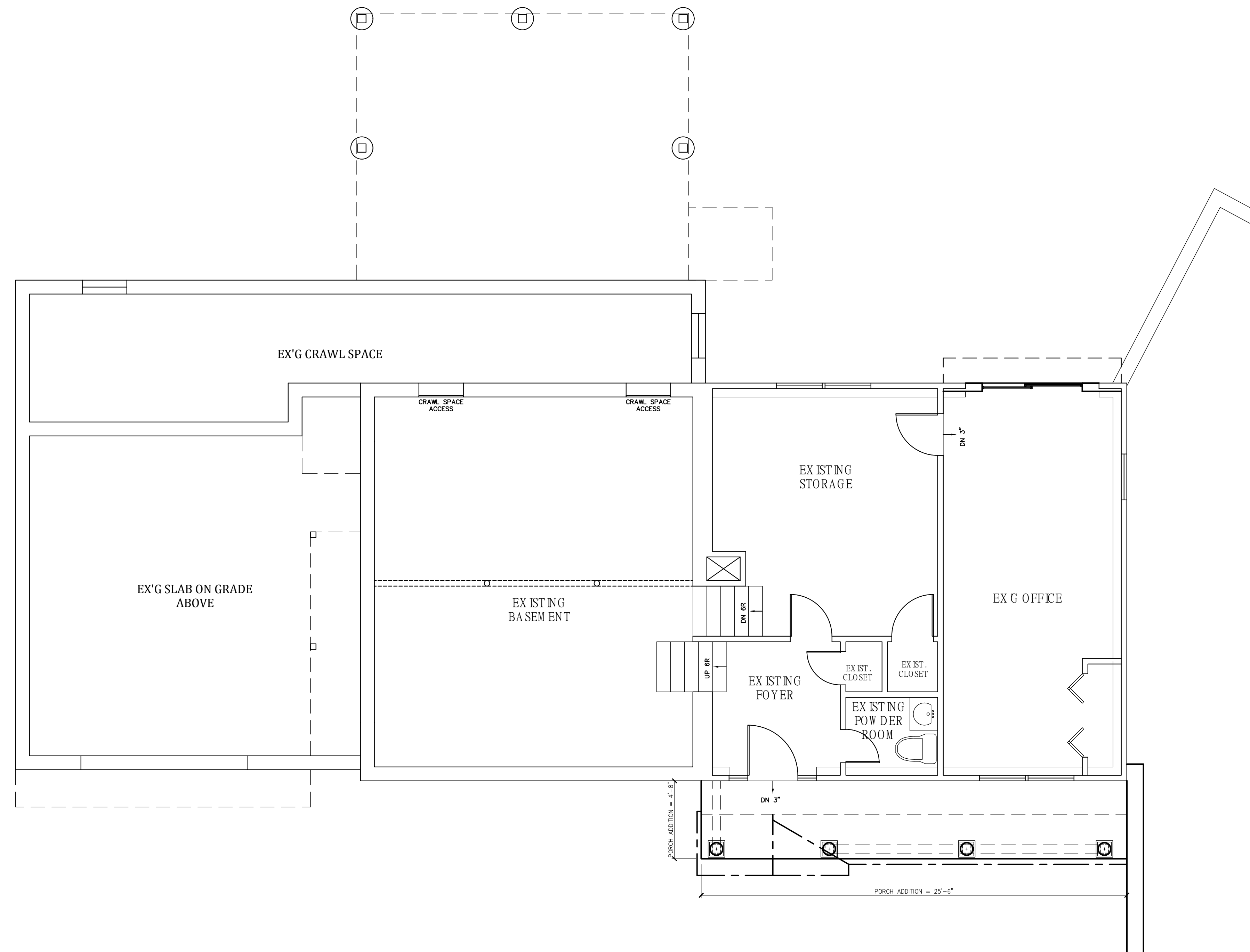
DRIP EDGE NOTE:
 DRIP EDGE TO BE PROVIDED ON EAVES AND RAKES ON ALL SHINGLE ROOFS, AS PER R905.2.8.5.

NOTE:
 MIN 6" PROTECTION CLEARANCE FROM GRADE AS PER SECTION R317.1 NOTE 5 WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6" FROM THE GROUND OR LESS THAN 2 INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER



LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"



RENOVATION NOTES:
 ALL EXISTING INTERIOR & EXTERIOR WALLS, FLOORS & CEILINGS THAT ARE EFFECTED BY ALTERATIONS SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING, AND REFINISHED AS NEEDED

GROUND FLOOR PLAN

SCALE: 1/4"=1'-0"

GENERAL LEGEND :

	= EXISTING CONSTRUCTION TO REMAIN
	= EXISTING CONSTRUCTION TO BE REMOVED
	= NEW CONSTRUCTION

ENERGY STAR REQUIREMENTS

HOLE HOUSE THERMAL EFFICIENCY: EPA THERMAL BYPASS INSPECTION CHECKLIST

- ENERGY EFFICIENT LIGHTING: SEE www.nenergystarhomes.com
- MECHANICAL VENTILATION SYSTEM: HVAC INTEGRATED WHOLE-HOUSE VENTILATION SYSTEM
- HIGH EFFICIENCY CENTRAL HEATING AND COOLING SYSTEMS: CENTRAL AIR CONDITIONING SYSTEMS AND HEAT PUMPS MUST BE PROPERLY SIZED PER ACCA MANUAL J
- HIGH EFFICIENCY CENTRAL HEATING AND COOLING SYSTEMS: CENTRAL AIR CONDITIONING SYSTEMS AND HEAT PUMPS MUST BE PROPERLY SIZED
- AIR TIGHT DUCTWORK: BUILDING CAVITIES MAY NOT BE USED AS DUCTS; THE ENTIRE SYSTEMS MUST BE FULLY DUCTED
- INSULATION VERIFIED: INSULATION IS INSPECTED PRIOR TO DRYWALL AND ASSESSED A GRADE LEVEL BASED ON INSULATION QUALITY

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BUILDING DATA	
USE GROUP	R5
CONSTRUCTION CLASS	VB
BUILDING AREA	
EXISTING FOOTPRINT	1,098 SQFT
NEW FOOTPRINT	700 SQFT
EXISTING GARAGE	247 SQFT
NEW GARAGE	386 SQFT
EXISTING BASEMENT	423S QFT
NEW BASEMENT	0 SQFT
EXISTING GROUND FLOOR	313 SQFT
NEW GROUND FLOOR	274 SQFT
EXISTING FIRST FLOOR	1,098 SQFT
NEW FIRST FLOOR	316 SQFT
TOTAL EXG LIVEABLE	- SQFT
TOTAL NEW LIVEABLE	- SQFT
NEW CONTAINED VOLUME	- CUFT

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DRAWING TITLE:
 GROUND /FIRST FLOOR PLAN

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WINDOW NOTES

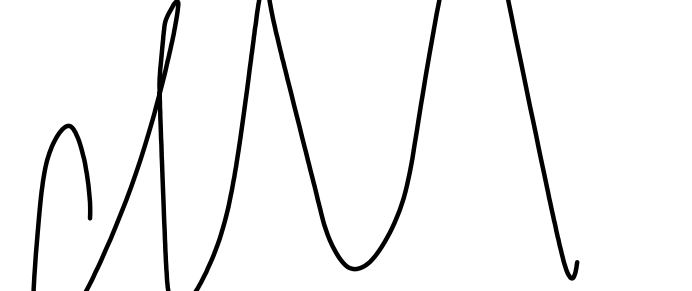
- EG** INDICATES AN EGRESS WINDOW AS PER THE N.J. EDITION OF THE INTERNATIONAL RESIDENTIAL CODE-2015
- EGRESS WINDOWS SHALL HAVE NO LESS THAN 5.7 SQFT CLEAR OPENING. THE BOTTOM OF THE CLEAR OPENING SHALL BE NO MORE THAN 44" A.F.F.
 - WINDOW SUPPLIER TO VERIFY THAT THERE IS AT LEAST ONE EGRESS WINDOW UNIT IN EACH BEDROOM.
 - ALL TEMPERED WINDOWS TO BE AS PER THE N.J. EDITION OF THE INTERNATIONAL RESIDENTIAL CODE-2015
 - WINDOW HEAD HT, MAY BE ADJUSTED FOR 8', 9' OR 10' CLG HEIGHT.
 - CONTRACTOR SHALL NOT ORDER WINDOWS WITHOUT PROVIDING WINDOW MANUFACTURER WITH ALL FLOOR PLANS AND ELEVATIONS TO DETERMINE SIZES, TEMPERING, AND EGRESS REQUIREMENTS AS PER CODE.
 - WINDOW SILLS: IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4" DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR.
 - EXCEPTIONS:
 - WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE OPENING IS IN ITS LARGEST OPENED POSITION.
 - OPENINGS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R612.3.
 - OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
 - WINDOWS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R612.4.
 - SEE NEW JERSEY IBC 2015 SECTION R612
 ALL NEW WINDOWS MUST BE AT LEAST 24" OVER FINISHED FLOOR R.612.2
 IN ZONE A FLOOR HAZARD AREAS REQUIRE A MINIMUM OF ONE FOOT OF FREEBOARD FOR DWELLINGS AS PER SECTION R322.2.1 IRC 2015

CHIMNEY NOTE

MASONRY CHIMNEY OUTLETS SHALL TERMINATE NO LESS THAN 3'-0" FROM THE HIGHEST POINT THAT THE CHIMNEY PENETRATES THE ROOF. CHIMNEYS SHALL TERMINATE NOT LESS THAN 2'-0" ABOVE ANY PORTION OF THE BUILDING WITHIN 10'-0". AS PER INT. RES CODE 2009

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REAR & SIDE ELEVATIONS

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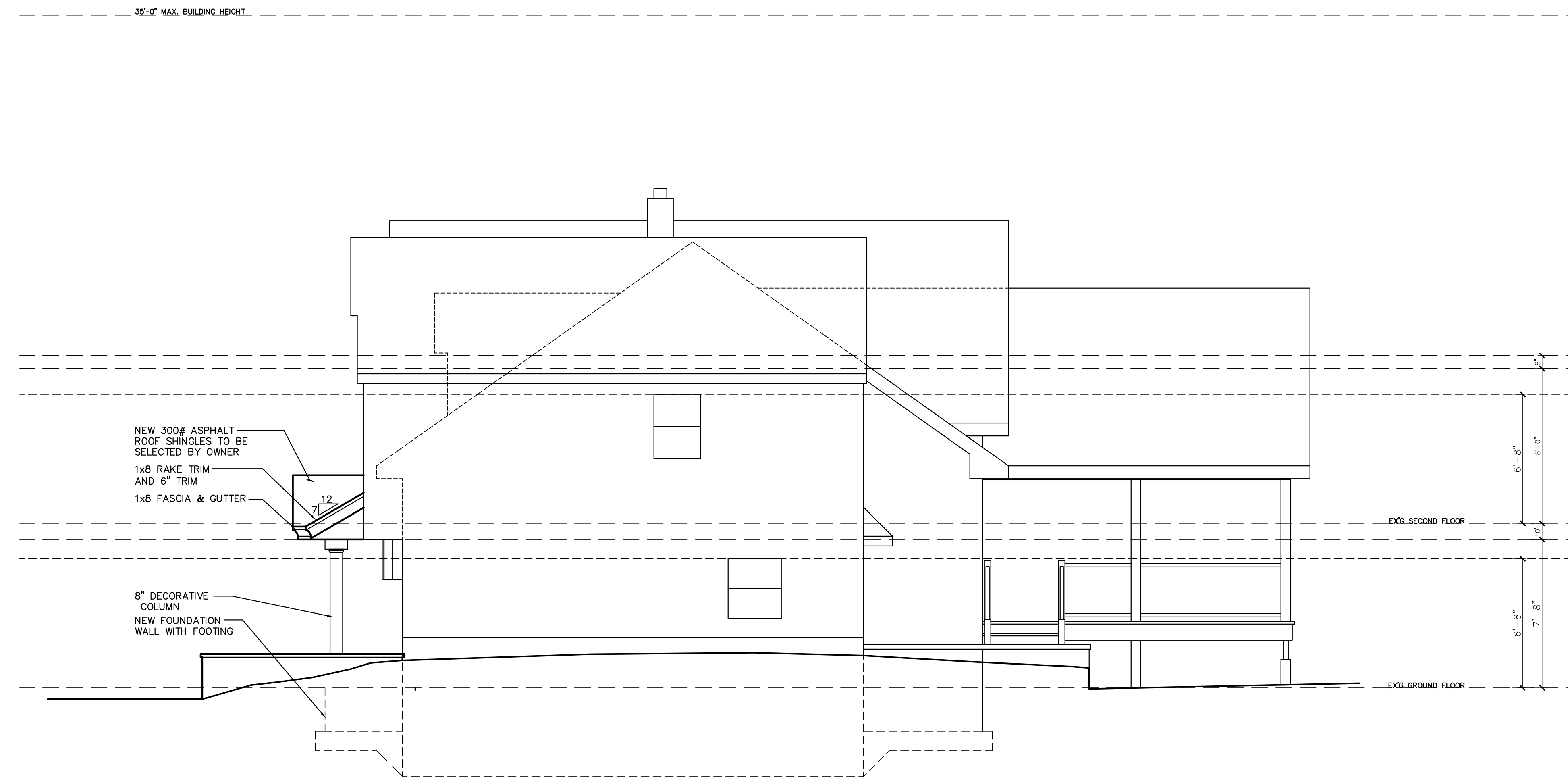
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DRAWING #
A-3
 4 OF 4

BUILDING HEIGHT/RIDGE HEIGHT
 TO BE VERIFIED BY SITE ENGINEER PRIOR TO CONSTRUCTION. BUILDING HEIGHT MAXIMUM TO BE: 35'-0" AS PER LOCAL ORDINANCE

DRIP EDGE NOTE:
 DRIP EDGE TO BE PROVIDED ON EAVES AND RAKES ON ALL SHINGLE ROOFS, AS PER R905.2.8.5.

NOTE:
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RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"