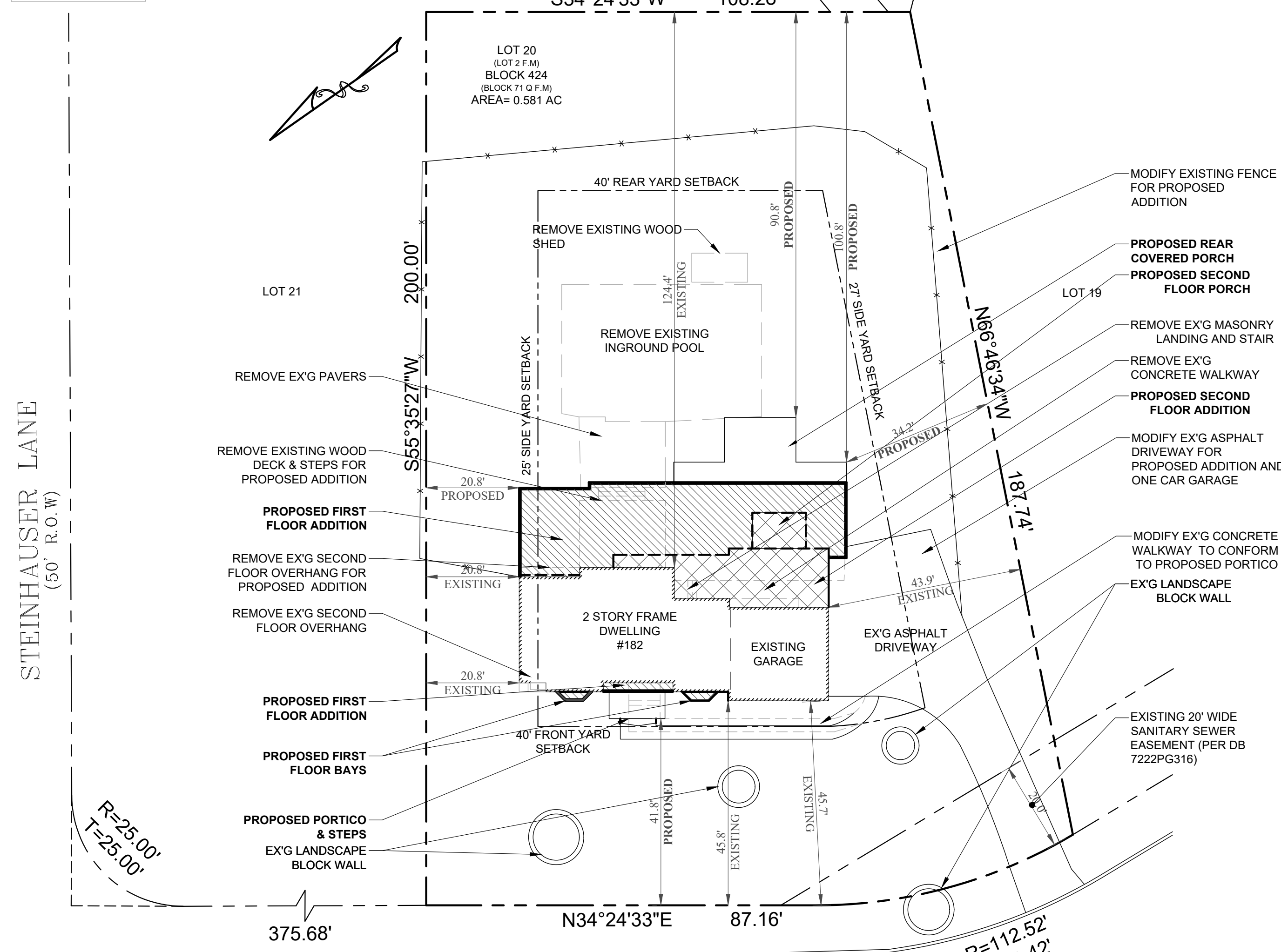
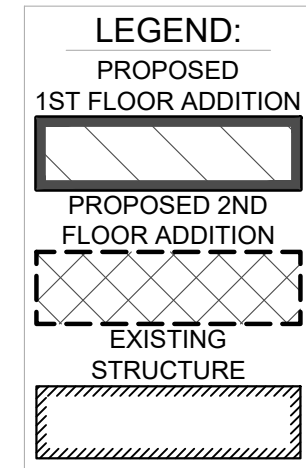


# NEW ADDITION / RENOVATION FOR: MR. & MRS. BILLINGS

## 182 WAYFAIR CIRCLE TOWNSHIP OF WYCKOFF, NJ

**LIST OF DRAWINGS**

- A-0 ZONING REVIEW
- A-1 ELEVATIONS
- A-2 FOUNDATION PLAN
- A-3 FIRST FLOOR PLAN
- A-4 SECOND FLOOR PLAN
- A-5 ELEVATIONS



**SITE PLAN**

SCALE: 1"=20'

**TREE REMOVAL**  
NO EXISTING TREES TO BE REMOVED FOR NEW GARAGE

**GRADE NOTE**  
ALL EXISTING GRADES TO REMAIN

**GRADE DRAINAGE SLOPE:**  
LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET, AS PER R401.3.

**SEQUENCE OF CONSTRUCTION:**

1. INSTALL SILT FENCE / SEDIMENT BARRIERS AT LOCATION SHOWN ON PLAN. CLEAR, SITE AND STOCKPILE TOPSOIL
2. REMOVE EXISTING IMPROVEMENTS
3. EXCAVATE AND INSTALL FOUNDATION
4. CONNECT UTILITIES, INSTALL SEEPAGE PIT AND COMPLETE GARAGE CONSTRUCTION
5. TOPSOIL AND SEED, PERMANENTLY STABILIZED ALL DISTURBED AREAS
6. INSTALL FINAL PAVEMENT SURFACE COURSE, REMOVE SILT FENCE AND PERMANENTLY STABILIZING ANY REMAINING DISTURBED AREA.

WILLIAM G. BROWN ARCHITECTS CALCULATES LIVEABLE SQUARE FOOTAGE FROM THE INSIDE FRAME LINE DIMENSIONS. GARAGE SQUARE FOOTAGE IS NOT INCLUDED IN THE TOTAL LIVEABLE SQUARE FOOTAGE. STAIRWELLS AND FIREPLACE MASSES ARE ONLY INCLUDED ONCE WITH THE MAIN LEVEL FIGURES

<b>BUILDING DATA</b>		
USE GROUP	R5	
CONSTRUCTION CLASS	VB	
<b>BUILDING AREA</b>		
EX'G BUILDING FOOTPRINT	1,626	SQFT
NEW BUILDING FOOTPRINT	1,864	SQFT
TOTAL BUILDING FOOTPRINT	3,490	SQFT
<b>EX'G BASEMENT</b>	586	SQFT
NEW BASEMENT	1,227	SQFT
TOTAL BASEMENT	1,813	SQFT
<b>EX'G GARAGE</b>	434	SQFT
NEW GARAGE	255	SQFT
<b>EX'G FIRST FLOOR</b>	1,111	SQFT
NEW FIRST FLOOR	1,398	SQFT
TOTAL FIRST FLOOR	2,509	SQFT
<b>EX'G SECOND FLOOR</b>	898	SQFT
NEW SECOND FLOOR	937	SQFT
TOTAL SECOND FLOOR	1,835	SQFT
<b>EX'G LIVABLE SFTG.</b>	2,009	SQFT
NEW LIVABLE SFTG.	1,794	SQFT
TOTAL LIVABLE SFTG.	4,344	SQFT
<b>NEW CONTAINED VOLUME</b>	58,937	CUFT

**BUILDING COVERAGE**

STRUCTURE	EXISTING	AREA
EX'G BUILDING FOOTPRINT		1,626 SQFT
TOTAL EX'G BUILDING COVERAGE	=	1,626 SQFT = 6.43%
PROPOSED		
EX'G BUILDING COVERAGE		1,626 SQFT
PROPOSED ADDITION	+	1,705 SQFT
NEW FRONT PORCH	+	85 SQFT
NEW REAR PORCH	+	336 SQFT
NEW FRONT BAYS	+	24 SQFT
TOTAL NEW BUILDING COVERAGE	=	3,776 SQFT = 14.93%

**ACCESSORY STRUCTURES**

STRUCTURE	EXISTING	AREA
EX'G DECK	+	319 SQFT
EX'G POOL	+	1,350 SQFT
EX'G SHED	+	81 SQFT
TOTAL EX'G ACCESSORY COVERAGE	=	1,750 SQFT = 6.93%
PROPOSED		
EX'G ACCESSORY COVERAGE		1,750 SQFT
EX'G POOL	-	1,350 SQFT
EX'G SHED	-	81 SQFT
REMOVE EX'G DECK & STEPS	-	319 SQFT
TOTAL NEW ACCESSORY COVERAGE	=	0 SQFT = 0.00%

**IMPERVIOUS COVERAGE**

STRUCTURE	EXISTING	AREA
EX'G BUILDING COVERAGE		1,626 SQFT
EX'G ACCESSORY COVERAGE	+	1,750 SQFT
EX'G DRIVEWAY	+	1,515 SQFT
EX'G WALKWAYS + STAIRS	+	228 SQFT
TOTAL EX'G IMPERVIOUS COVERAGE	=	5,119 SQFT = 20.27%
PROPOSED		
NEW BUILDING COVERAGE		3,776 SQFT
NEW ACCESSORY COVERAGE	+	0 SQFT
MODIFIED EX'G DRIVEWAY	+	1,547 SQFT
NEW WALKWAY	+	183 SQFT
TOTAL NEW IMPERVIOUS COVERAGE	=	5,506 SQFT = 21.78%

**GROSS BUILDING AREA**

STRUCTURE	EXISTING	AREA
EX'G FIRST FLOOR		1,162 SQFT
EX'G HABITABLE BASEMENT	+	586 SQFT
EX'G SECOND FLOOR	+	968 SQFT
TOTAL EX'G GROSS BUILDING AREA	=	2,716 SQFT
PROPOSED		
EX'G FLOOR AREA		2,716 SQFT
REMOVE EX'G FIRST FLOOR AREA	-	8 SQFT
NEW BASEMENT FLOOR AREA	+	1,345 SQFT
NEW FIRST FLOOR AREA	+	1,492 SQFT
NEW SECOND FLOOR AREA	+	1,140 SQFT
TOTAL NEW FLOOR AREA	=	6,685 SQFT

**TOWNSHIP OF WYCKOFF**

**TAX MAP LOT:** 4  
**TAX BLOCK:** 207  
**ZONE:** RA-25 - RURAL RESIDENTIAL  
**USE:** SINGLE FAMILY DWELLING

ZONING REQUIREMENTS	REQUIRED	EXISTING	PROPOSED	VARIANCE
<b>MINIMUM LOT REQUIREMENTS</b>				
- MINIMUM LOT AREA	25,000 sq ft	25,292 sq ft	25,292 sq ft	NONE
- MINIMUM LOT FRONTAGE	125 ft	139.9 ft	139.9 ft	NONE
- MINIMUM LOT DEPTH	150 ft	200 ft	200 ft	NONE
<b>PRINCIPAL BUILDING</b>				
- RIGHT SIDE YARD SETBACK	27 ft	43.9 ft	34.2 ft	NONE
- LEFT SIDE YARD SETBACK	25 ft	20.8 ft ENC	20.8 ft	YES
- FRONT YARD SETBACK	40 ft	45.7 ft	41.8 ft	NONE
- REAR YARD SETBACK	40 ft	124.4 ft	100.8 ft	NONE
<b>ACCESSORY BUILDING</b>				
- REAR SETBACK	20 ft	EX'G	N/A	NONE
- MIN. LEFT SIDE SETBACK	15 ft	EX'G	N/A	NONE
- MIN. RIGHT SIDE SETBACK	15 ft	EX'G	N/A	NONE
<b>MAXIMUM LOT COVERAGE</b>				
- PRINCIPAL BUILDING COV.	15%	6.43 %	14.93 %	NONE
- ACCESSORY BUILDING	5%	6.93 %	0.00 %	NONE
- COMBINED BUILDING	20%	13.36 %	14.93 %	NONE
- IMPER. / TOTAL COVERAGE	28.5% MAX.	20.27 %	21.78%	NONE
- GROSS BUILDING AREA	x>3,700 sqft	2,716 sqft	6,685 sqft	NONE
<b>MAXIMUM BUILDING HEIGHT</b>	35'	27.59 ft	33'-7"	NONE
<b>MAXIMUM NO. OF STORIES</b>	2-1/2	2	2-1/2	NONE

ACCESSORY STRUCTURES INCLUDE: POOL, DECKS, GARAGES, SHEDS, AND PAVILIONS  
ENC= EXISTING NONCONFORMING  
EX'G= EXISTING NO CHANGE  
\*IF GROSS BUILDING AREA IS OVER 3,700 SQFT, THE SIDE YARD INCREASES TO 25 FT MIN & GARAGE FACE SIDE YARD BECOMES 27 FT MIN. THE GROSS BUILDING AREA

**FLOOR AREA, GROSS**  
The sum of the gross horizontal areas of a floor or several floors of a building, including enclosed building projections, porches or similar enclosed structures, and including areas used for human occupancy in basements, all as measured from the exterior building dimensions. It shall not include unoccupied floors in any basement, cellar, open porches or balconies, garage space or accessory building.  
[amended 6-13-1989 by ord. no. 1069]

**IMPERVIOUS COVERAGE**  
Land surface areas that do not allow rainwater to be directly absorbed by the ground. These surfaces shall include but not be limited to building coverage, driveways (paved, gravel, cinder or pavers), paved areas, and decks which do not allow free drainage of rainwater through to the ground underneath. Impervious coverage in residential zones shall not include retaining walls, surface areas of swimming pools and their surrounding patios or hardscape features, air-conditioning units, generators, pool equipment, walkways and at-grade patios located in the rear yard of the property, regardless of material types. Driveways, front and side yard walkways and patios, structures, and any type of sport athletic court shall be considered impervious coverage and shall remain as part of the impervious calculation.  
[added 2-19-2008 by ord. no. 1576; amended 8-2-2016 by ord. no. 1807]

**PRINCIPAL BUILDING**  
A building or buildings in which is conducted the main or principal use of the lot on which said building is situated.

SITE PLAN DRAWN FROM SURVEY TAKEN BY:  
DAVID J. VON STEENBURG  
LICENSE NO. 34500  
DATED: 11/8/2019  
SITE PLAN TO BE USED FOR ZONING AND ARCHITECTURAL PURPOSES ONLY.

**William G. Brown, Architects**  
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**PLANNING**  
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07481  
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EMAIL: bill@williamgbrown.com

**COVER SHEET**

ADDITION / RENOVATION FOR:  
ALMA BILLINGS  
182 WAYFAIR CIRCLE  
TOWNSHIP OF WYCKOFF, NJ

PROJECT: 19-234 DATE: JANUARY 24, 2020  
DRAWN BY: AG/LO DATE: FEBRUARY 19, 2020  
ISSUED FOR PERMIT: FEBRUARY 20, 2020

THESE DRAWINGS ARE NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT WILLIAM G. BROWN.

CT ARCH 8445  
NY ARCH 018837  
NJ ARCH 10226  
PA ARCH RA-011586-B  
VA ARCH RA-007125  
NJ PLANNER

NOT VALID UNLESS SIGNED AND SEALED  
  
WILLIAM G. BROWN, JR., AIA  
A-0 ZONING REVIEW



**FRONT ELEVATION**

SCALE: 1/4"=1'-0"

**ICE & SNOW SHIELD NOTES**

ICE & SNOW SHIELD  
8'-0" UP FROM FASCIA

**WINDOW NOTE:**

ALL ANDERSON WINDOW TO HAVE PVC SILL  
1/2"x4 LEGS & 1/2" 6" TOP WITH RAMS CROWN  
AND FLASHING

**TRIM NOTE:**

ALL TRIM TO BE PVC (KLEER)

**DRIP EDGE NOTE:**

DRIP EDGE TO BE PROVIDED ON EAVES AND  
RAKES ON ALL SHINGLE ROOFS, AS PER  
R905.2.8.5.

**DRIP EDGE NOTE:**

DRIP EDGE TO BE PROVIDED ON EAVES AND  
RAKES ON ALL SHINGLE ROOFS, AS PER  
R905.2.8.5.

**KICK OUT FLASHING:**

KICK OUT FLASHING TO BE PROVIDED ON  
ALL AT ROOF FASCIA TO WALL / ROOF  
INTERFACE. AS PER R905.2.8.3

**NOTE:**

MIN 6" PROTECTION CLEARANCE FROM  
GRADE AS PER SECTION R317.1 NOTE 5  
WOOD SIDING, SHEATHING AND WALL  
FRAMING ON THE EXTERIOR OF A BUILDING  
HAVING A CLEARANCE OF LESS THAN 6"  
FROM THE GROUND OR LESS THAN 2 INCHES  
MEASURED VERTICALLY FROM CONCRETE  
STEPS, PORCH SLABS, PATIO SLABS AND  
SIMILAR HORIZONTAL SURFACES EXPOSED  
TO THE WEATHER

**RIGHT ELEVATION**

SCALE: 1/4"=1'-0"



**GENERAL NOTES**

1. ALL WORK IS TO COMPLY WITH ALL BUILDING CODES AND ZONING ORDINANCES ADOPTED BY THE TOWNSHIP OF WYCKOFF, BERGEN COUNTY, NEW JERSEY
2. BUILDING HEIGHT/RIDGE HEIGHT TO BE VERIFIED BY SITE ENGINEER PRIOR TO CONSTRUCTION. BUILDING HEIGHT MAXIMUM TO BE: 35'-0" AS PER LOCAL ORDINANCE
3. CONTRACTOR IS TO VERIFY ALL CONDITION IN THE FIELD PRIOR TO STARTING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN PLAN OR ITEMS REQUIRING CLARIFICATION BEFORE PROCEEDING WITH CONSTRUCTION
4. JOB SITE IS TO BE KEPT REASONABLY CLEAN AND ALL CONSTRUCTION DEBRIS IS TO BE CARTED AWAY AT THE END OF THE JOB.
5. ALL WORK IS TO BE DONE BY SKILLED MECHANICS IN A WORKMANLIKE MANNER SET STRAIGHT AND PLUMB.
6. ALL MATERIALS USED TO BE OF FIRST QUALITY FREE FROM DEFECTS.
7. ARCHITECT DOES NOT HAVE FIELD SUPERVISION OR CONSTRUCTION ADMINISTRATION RESPONSIBILITIES FOR THIS PROJECT.
8. CONTRACTOR IS TO LOCATE STRUCTURE AND SET ELEVATIONS AND CONTOURS WITH HIS SURVEYOR AND LICENSED PROFESSIONAL ENGINEER.
9. CONTRACTOR TO VERIFY, IN WRITING, IF STRUCTURE DOES NOT COMPLY WITH LOCAL BUILDING HEIGHT CODE DURING CONSTRUCTION AND PRIOR TO CONSTRUCTION OF THE RIDGE.
10. CONTRACTOR AND/OR HOMEOWNER IS REQUIRED TO HAVE BUILDER'S INSURANCE AND HOMEOWNER'S WARRANTY PROGRAM.
11. GIVEN ANY DISCREPANCIES IN SPECIFICATIONS OR MATERIALS CONTRACTOR MUST USE MATERIAL OF SUPERIOR QUALITY.
12. ALL FRAMED WINDOW OPENINGS TO BE VERIFIED WITH BUILDER AND WINDOW SUPPLIER PRIOR TO ORDERING.
13. CONTRACTOR TO INSTALL RAM BOARD AND TAPE ALL JOINTS FLOOR PROTECTIONS
14. CONTRACTOR TO FOLLOW RESCHECK

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ADDITION / RENOVATION FOR:  
**ALMA BILLINGS**  
182 WAYFAIR CIRCLE  
TOWNSHIP OF WYCKOFF, NJ  
BLOCK 428 LOT 20

DRAWING TITLE:  
**FRONT & SIDE ELEVATIONS**

PROJECT NUMBER: 19-234 SCALE: 1/4"= 1'-0"

DRAWN BY: AG/LO CHECKED BY: SUPV

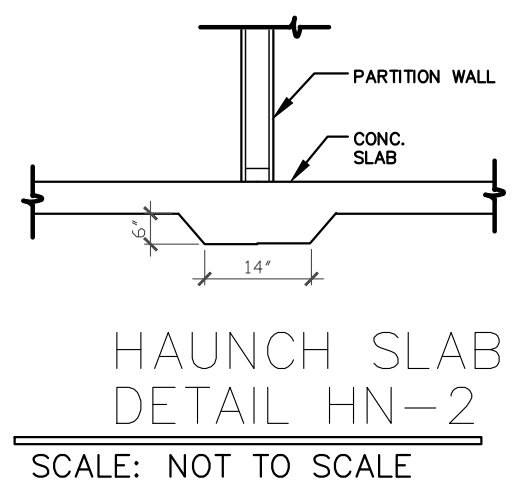
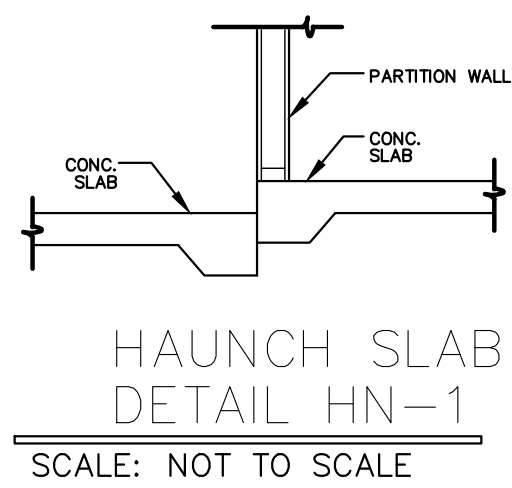
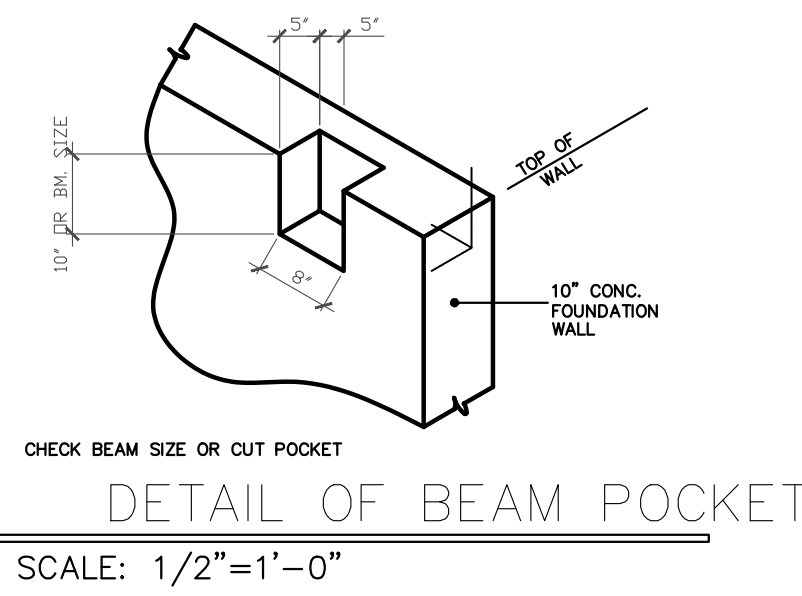
DATE:  
DECEMBER 6, 2019; DECEMBER 20, 2019  
JANUARY 2, 2020; JANUARY 24, 2019  
FEBRUARY 18, 2020

ISSUED FOR PERMIT: FEBRUARY 20, 2020

DRAWING #

**A-1**  
2 OF 6

RES  
2019



**INSULATION NOTES:**

- R-20 INSULATION IN 6" EXTERIOR WALLS
- R-30 BATT INSULATION IN ALL FLOORS WHICH INCLUDES BASEMENT
- R-49 CEILING OR RAFTERS OR ADJACENT TO THE EXTERIOR OR TO UNHEATED SPACES
- BASEMENT CEILINGS TO BE 1/2" SHEET ROCK
- R-19 BATT INSULATION IN BASEMENT WALLS

PROVIDE THE FOLLOWING LINTELS OVER ALL OPENINGS IN MASONRY WALLS, INCLUDING MECHANICAL OPENINGS UNLESS OTHERWISE NOTED:

FOR EACH 4" THICKNESS OF MASONRY - 1 ANGLE AS FOLLOWS:

- 4 X 3/2 X 3/16 L MAX. M.O. 5'-0"
- 5 X 3/2 X 3/16 L MAX. M.O. 7'-0"
- 6 X 3/2 X 3/16 L MAX. M.O. 9'-0"

FOR EACH 6" THICKNESS OF MASONRY - 1 ANGLE AS FOLLOWS:

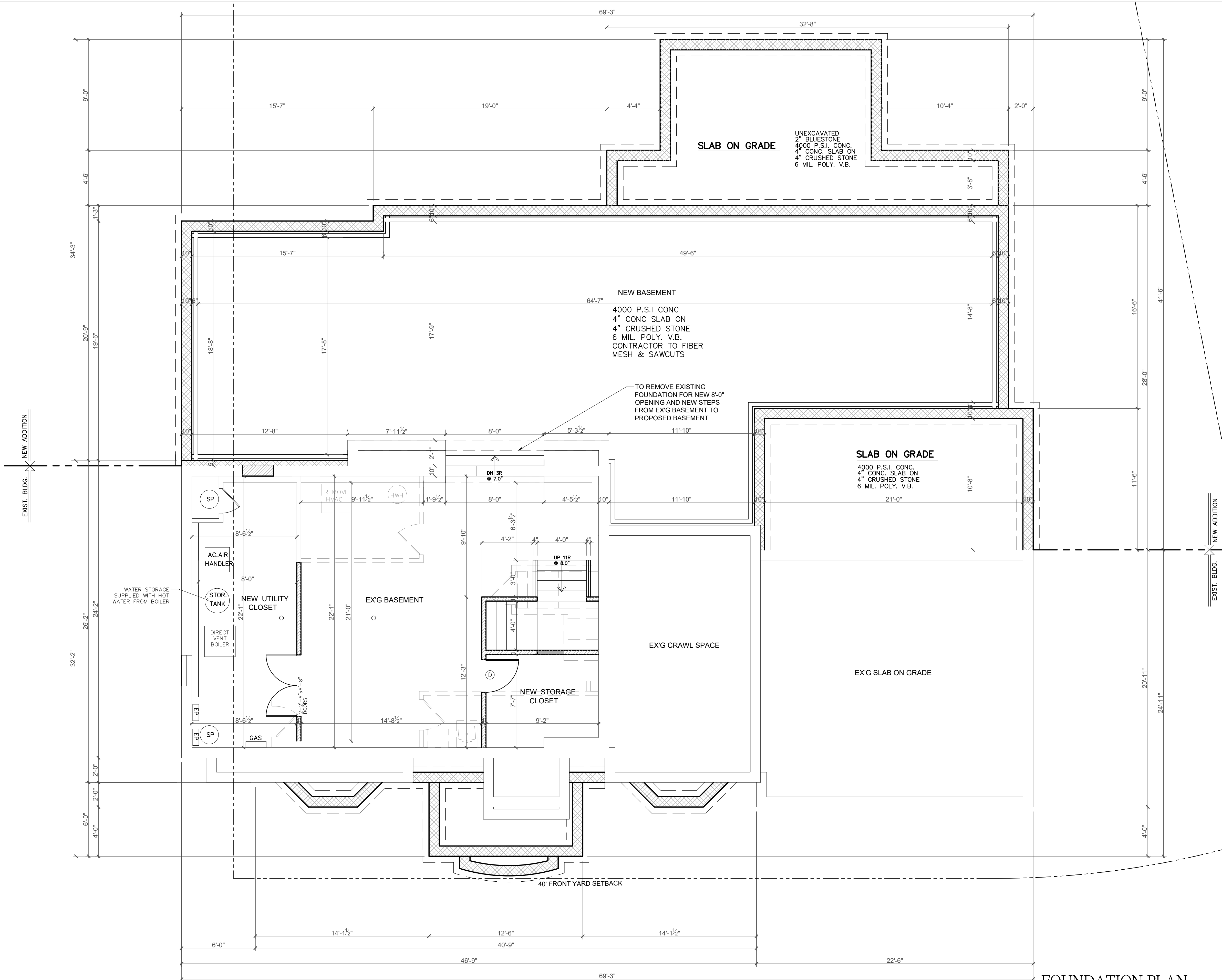
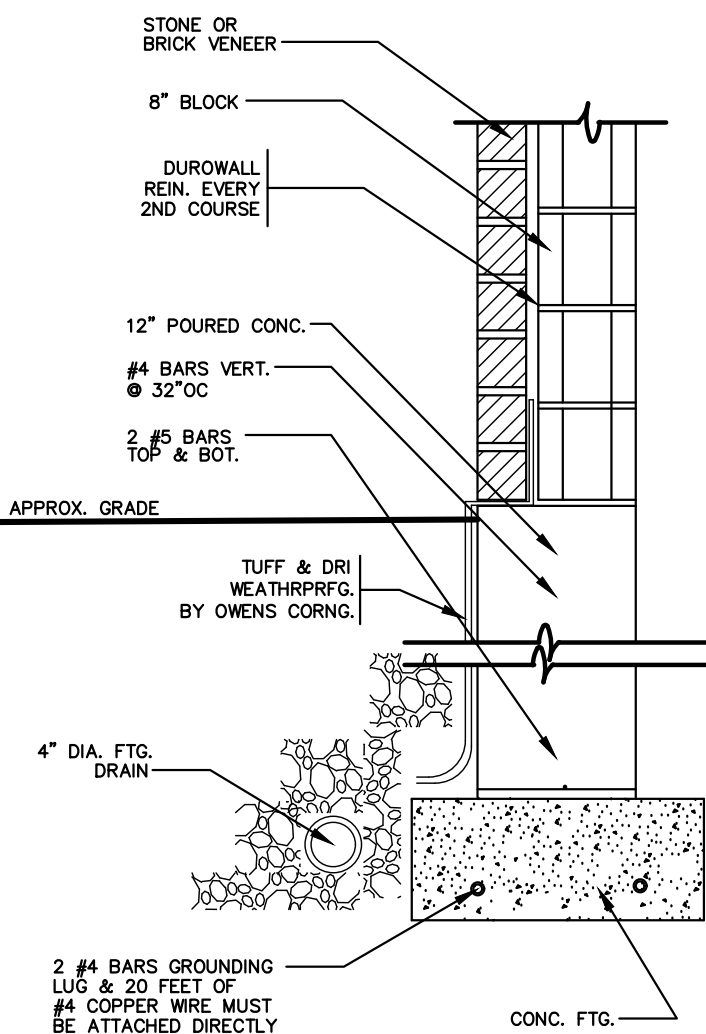
- 3/2" X 5 X 3/16 L MAX. M.O. 5'-0"
- 5 X 5 X 3/16 L MAX. M.O. 7'-0"
- 5 X 5 X 3/16 L MAX. M.O. 9'-0"

FOR 4" AND/OR 6" NON-BEARING MASONRY INTERIOR PARTITIONS:

- 4" 3/8 X 7/8 LIGHT-WEIGHT CONCRETE
- 6" 6/8 X 7/8 LIGHT-WEIGHT CONCRETE

ALL LINTELS TO HAVE MINIMUM 8" BEARING EACH END.

SUBMIT THREE SETS OF FABRICATION DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE START OF FABRICATION.



**CONCRETE & MASONRY NOTES**

- ALL CONCRETE USED SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AFTER 28 DAYS. ALL FORMS TO BE STRIPPED PRIOR TO BACKFILLING
- STEEL REINFORCING BARS ARE TO BE USED IN FOOTINGS SIZED AND LOCATED AS SHOWN ON PLANS AND BE FREE FORM GREASE, OIL, RUST OR SCALE
- CONCRETE MASONRY UNITS TO BE OF LOAD BEARING TYPE WITH TOP AND BOTTOM COURSES FILLED SOLID. ANCHOR BOLTS TO BE 1/2" DIAMETER AND INSTALLED AT 4'-0" O.C. MIN..
- ALL TILE FLOORS TO BE SET IN MUD.
- FOR MARBLE OR STONE SAMPLES:  
CONTACT STONE 100 OUTWATER LANE  
GARFIELD PH: 201-546-9660 FAX:  
201-546-9698
- LANDINGS OUTSIDE EGRESS DOORS TO HAVE MIN. DEPTH OF 36" IN DIRECTION OF TRAVEL AS PER THE NJ EDITION OF INTERNATIONAL RES. CODE 2015 SECTION R11.3
- CONTROL JOINT SPACING OF 15-25 FT SQUARE RECOMMENDED
- FOUNDATION ANCHORAGE: ANCHOR BOLTS SHALL BE EMBEDDED 7" MIN. INTO FOUNDATION WALL, 6FT APART MAX. AND 12" FROM CORNER AND ENDS OF SECTION OF PLATE/SILL (R403.1.6)
- STEEL MANUFACTURER TO FIELD MEASURE PRIOR TO FABRICATION.
- A RETAINING WALL REQUIRES A FOUNDATION WALL TO HAVE SUPPORT BOTH THE TOP AND BOTTOM PRIOR TO BACKFILLING. AS PER SECTION R404.1.1

**STAIR NOTES**

- STAIR SHOP DRAWINGS TO BE PROVIDED TO ARCHITECT PRIOR TO FABRICATION
- STAIRS TO HAVE A MAX. RISER OF 8 1/2" AND A MIN. TREAD OF 9" AS PER R311 AND R311.7.7
- CONTRACTOR TO PROVIDE PULL DOWN STAIR UNIT ON SECOND FLOOR

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ADDITION / RENOVATION FOR:  
**ALMA BILLINGS**  
182 WAYFAIR CIRCLE  
TOWNSHIP OF WYCKOFF, NJ  
BLOCK 428 LOT 20

**FOUNDATION PLAN**

SCALE: 1/4"=1'-0"

**GRADE DRAINAGE SLOPE:**  
LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET, AS PER R401.3.

MASON & GENERAL CONTRACTOR TO CHECK DIMENSIONS ON FIRST FLOOR PLAN DURING THE LAYOUT OF FOUNDATION PRIOR TO CONSTRUCTION.

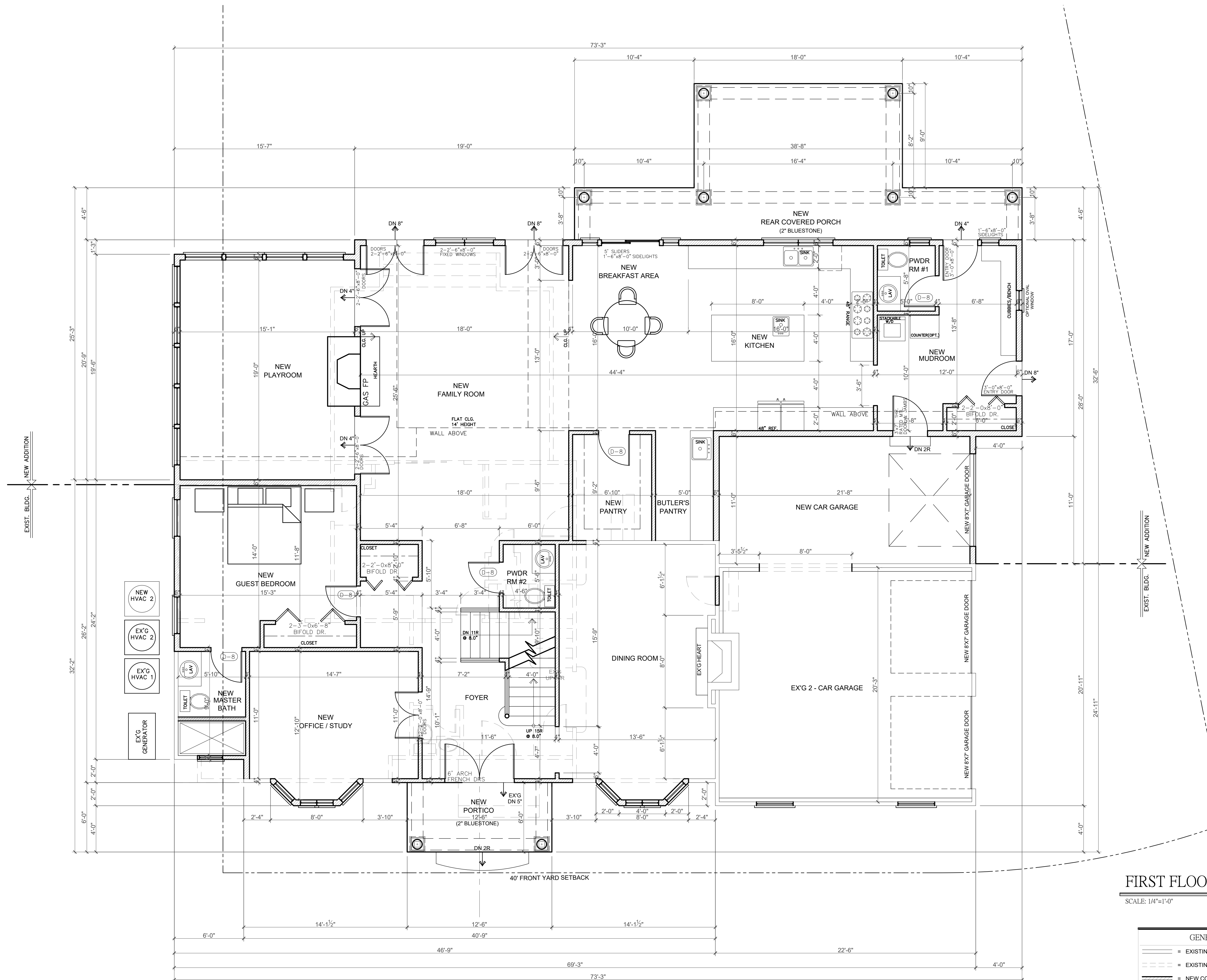
**GENERAL LEGEND:**

(Solid line)	= EXISTING CONSTRUCTION TO REMAIN
(Dashed line)	= EXISTING CONSTRUCTION TO BE REMOVED
(Thin solid line)	= NEW CONSTRUCTION
(Thick solid line)	= NEW C.M.U. WALL
(Hatched area)	= NEW CONCRETE WALL

DRAWING TITLE:  
**FIRST FLOOR PLAN**  
PROJECT NUMBER: 19-234 SCALE: 1/4"=1'-0"  
DRAWN BY: AG/LO CHECKED BY: SUPV  
DATE:  
DECEMBER 6, 2019; DECEMBER 20, 2019  
JANUARY 2, 2020; JANUARY 24, 2019  
FEBRUARY 18, 2020

ISSUED FOR PERMIT: FEBRUARY 20, 2020

DRAWING #  
**A-2**  
3 OF 6  
RES 2019



**FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**GENERAL LEGEND :**

- = EXISTING CONSTRUCTION TO REMAIN
- = EXISTING CONSTRUCTION TO BE REMOVED
- = NEW CONSTRUCTION
- = NEW C.M.U. WALL
- = NEW CONCRETE WALL

**ENERGY STAR REQUIREMENTS**

- WHOLE HOUSE THERMAL EFFICIENCY: EPA THERMAL BYPASS INSPECTION CHECKLIST & AIR BARRIER, INSULATION CHECKLIST
- ENERGY EFFICIENT LIGHTING: SEE www.njenergystarhomes.com
  - MECHANICAL VENTILATION SYSTEM: HVAC INTEGRATED WHOLE-HOUSE VENTILATION SYSTEM
  - HIGH EFFICIENCY CENTRAL HEATING AND COOLING SYSTEMS: CENTRAL AIR CONDITIONING SYSTEMS AND HEAT PUMPS MUST BE PROPERLY SIZED PER ACCA MANUAL J
  - AIR TIGHT DUCTWORK: BUILDING CAVITIES MAY NOT BE USED AS DUCTS; THE ENTIRE SYSTEMS MUST BE FULLY DUCTED
  - INSULATION VERIFIED: INSULATION IS INSPECTED PRIOR TO DRYWALL AND ASSESSED A GRADE LEVEL BASED ON INSULATION QUALITY
  - CONTRACTOR TO FOLLOW RESCHECK
  - CONTRACTOR TO COMPLY WITH IECC AND ENERGY SUBCODE, NJAC 5:23-3.18

WILLIAM G. BROWN, ARCHITECTS CALCULATES SQUARE FOOTAGE FROM THE OUTSIDE FRAME LINE DIMENSIONS. GARAGE SQUARE FOOTAGE IS NOT INCLUDED IN THE TOTAL LIVABLE SQUARE FOOTAGE. IN ADDITION, STAIRWELLS AND FIREPLACE MASSES ARE ONLY INCLUDED ONCE WITH THE MAIN LEVEL FIGURES

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NEW CONTAINED VOLUME	58,937	CUFT

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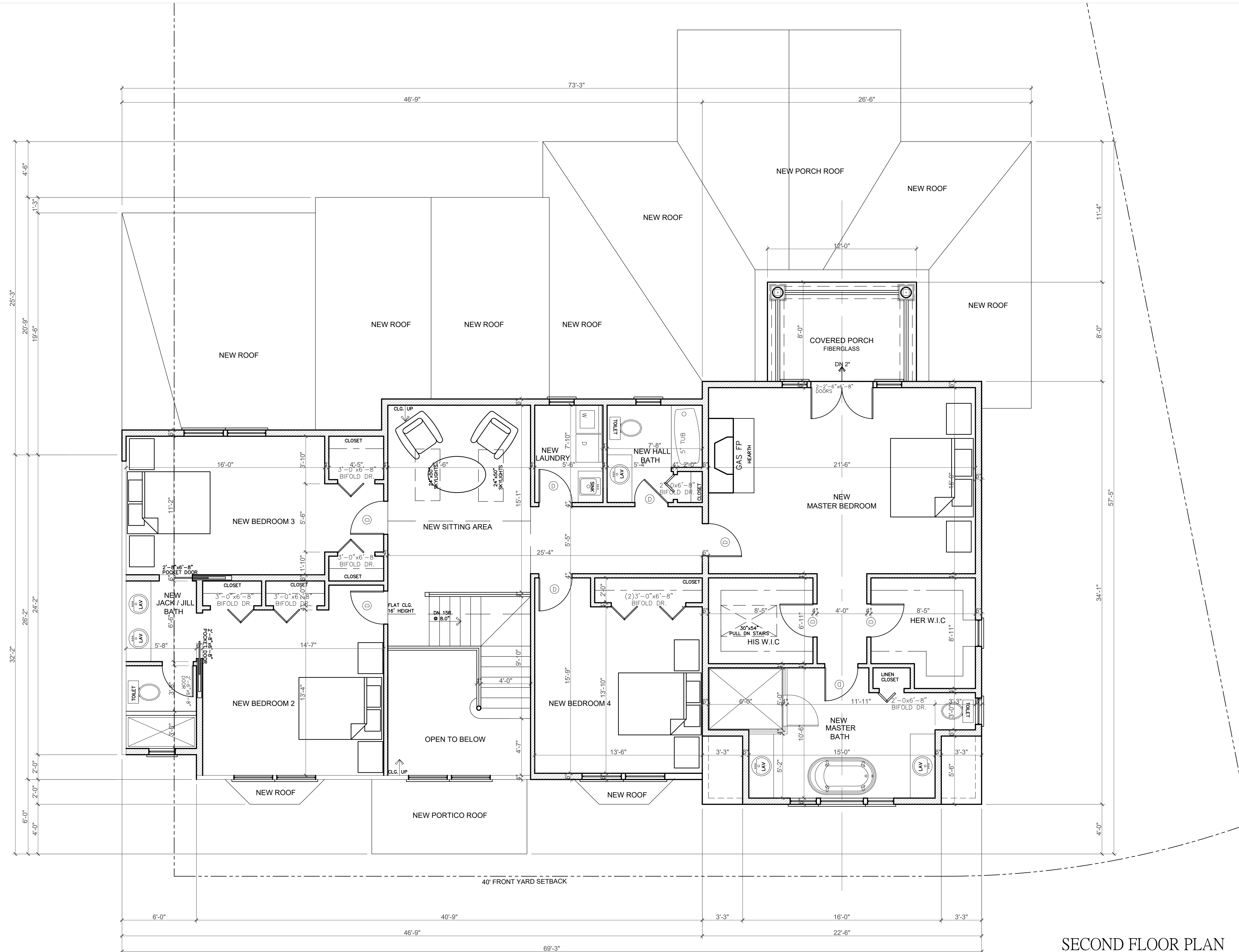
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182 WAYFAIR CIRCLE  
TOWNSHIP OF WYCKOFF, NJ  
BLOCK 428 LOT 20

DRAWING TITLE:  
**FIRST FLOOR PLAN**

PROJECT NUMBER: 19-234 SCALE: 1/4"=1'-0"  
DRAWN BY: AG/LO CHECKED BY: SUPV  
DATE:  
DECEMBER 6, 2019; DECEMBER 20, 2019  
JANUARY 2, 2020; JANUARY 24, 2019  
FEBRUARY 18, 2020

ISSUED FOR PERMIT: FEBRUARY 20, 2020



**SECOND FLOOR PLAN**

SCALE: 1/4"=1'-0"

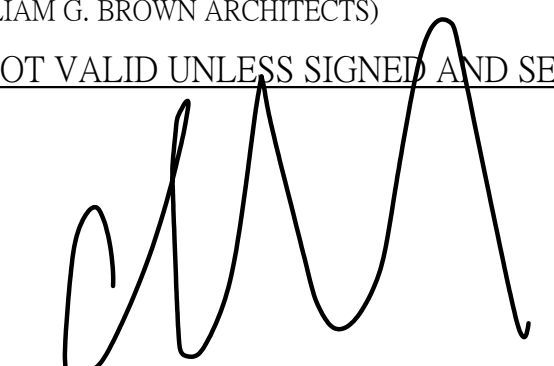
GENERAL LEGEND :	
	= EXISTING CONSTRUCTION TO REMAIN
	= EXISTING CONSTRUCTION TO BE REMOVED
	= NEW CONSTRUCTION
	= NEW C.M.U. WALL
	= NEW CONCRETE WALL

**CARPENTRY NOTES**

- ALL FRAMING LUMBER IS TO BE DOUGLAS FIR WITH Fb-1500 PSI AND BE OF STRUCTURAL GRADE.
- ALL DOOR AND WINDOW HEADERS TO BE 2-2"x12" UNLESS NOTED OTHERWISE.
- ALL DOORS LABELED (D-A) ARE TO BE 2'-8"x7'-0" SOLID 6 PANEL MASONITE, AS PER CODE, UNLESS OTHERWISE NOTED.
- ALL DOORS LABELED (D-B) ARE TO BE 2'-8"x8'-0" SOLID CORE 2 PANEL Ovation AS PER CODE, UNLESS OTHERWISE NOTED (1 3/4", 4 HINGES)
- PERIMETER WALLS FRAMING TO BE 2X6 AT 16" O.C WITH SINGLE CONTINUOUS SOLE PLATE AND DOUBLE CONTINUOUS TOP PLATE JOINTS TO BE STAGGERED.
- INTERIOR PARTITION FRAMING TO BE 2X4 AT 16" O.C WITH SINGLE CONTINUOUS SOLE PLATE AND DOUBLE CONTINUOUS TOP PLATE JOINTS TO BE STAGGERED.
- ALL WALLS OVER 8'-0" HIGH ARE TO RECEIVE FIRE BLOCKING AT MIDPOINT.
- SILLS ON BLOCK WALLS TO BE WOLMANIZED.
- WINDOWS AND SLIDING DOORS GLASS DOORS TO BE DONE BY: TOWER WINDOWS 1-800-490-1011
- ALL EXTERIOR WALLS, ROOF OR CEILING TO HAVE FULL-THICK BATT INSULATION.
- WALLS TO BE 6" WHERE ANY 2" OR LARGER HORIZONTAL HOLE IS DRILLED.
- TJI HOLE TO BE DRILLED FOLLOWING MANUFACTURERS CALCULATIONS TJI'S CANT BE NOTCHED.
- CONTRACTOR'S MAY USE TJI'S AS AN ALTERNATE, W/ EQUAL OR GREATER STRENGTH MUST NOTIFY ARCHITECT.
- ALL WOOD FRAMING MEMBERS, INCLUDING SHEATHING, WHICH REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM EXPOSED EARTH SHALL BE OF APPROVED NATURALLY DURABLE AND PRESERVATIVE-TREATED WOOD, INCLUDING LUMBER ON CONCRETE
- FIRE BLOCKING SHALL BE PROVIDED AT WALL/CEILING INTERSECTION FOR BOTH INTERIOR PARTITIONS AND PERIMETER WALL; ALSO HORIZONTALLY EVERY TEN FEET.
- INSULATOR TO INSTALL STYROFOAM BAFFLES WHERE NEEDED FOR VENTING

NOTE: THESE DRAWINGS ARE NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT WILLIAM G. BROWN. (WILLIAM G. BROWN ARCHITECTS)

NOT VALID UNLESS SIGNED AND SEALED



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ADDITION / RENOVATION FOR:  
**ALMA BILLINGS**  
182 WAYFAIR CIRCLE  
TOWNSHIP OF WYCKOFF, NJ  
BLOCK 428 LOT 20

DRAWING TITLE:  
**SECOND FLOOR PLAN**

PROJECT NUMBER: 19-234 SCALE: 1/4"=1'-0"

DRAWN BY: AG/LO CHECKED BY: SUPV

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DECEMBER 6, 2019; DECEMBER 20, 2019  
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DRAWING #

**A-4**

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RES  
2019

35'-0" MAX. BUILDING HEIGHT



REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"

BUILDING HEIGHT/RIDGE HEIGHT TO BE VERIFIED BY SITE ENGINEER PRIOR TO CONSTRUCTION. BUILDING HEIGHT MAXIMUM TO BE: 35'-0" AS PER LOCAL ORDINANCE

DRIP EDGE NOTE:  
DRIP EDGE TO BE PROVIDED ON EAVES AND RAKES ON ALL SHINGLE ROOFS, AS PER R905.2.8.5.

KICK OUT FLASHING:  
KICK OUT FLASHING TO BE PROVIDED ON ALL AT ROOF FASCIA TO WALL / ROOF INTERFACE. AS PER R905.2.8.3

NOTE:  
MIN 6" PROTECTION CLEARANCE FROM GRADE AS PER SECTION R317.1 NOTE 5 WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 8" FROM THE GROUND OR LESS THAN 2 INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER

NOTE: WINDOW HEAD HT. MAY BE ADJUSTED FOR 8', 9', OR 10' CEILING HEIGHT.

GRADE DRAINAGE SLOPE:  
LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. AS PER R401.3.

WINDOW NOTES

- (EG) INDICATES AN EGRESS WINDOW AS PER THE N.J. EDITION OF THE INTERNATIONAL RESIDENTIAL CODE-2015
- EGRESS WINDOWS SHALL HAVE NO LESS THAN 5.7 SQFT CLEAR OPENING. THE BOTTOM OF THE CLEAR OPENING SHALL BE NO MORE THAN 44" A.F.F.
  - WINDOW SUPPLIER TO VERIFY THAT THERE IS AT LEAST ONE EGRESS WINDOW UNIT IN EACH BEDROOM.
  - ALL TEMPERED WINDOWS TO BE AS PER THE N.J. EDITION OF THE INTERNATIONAL RESIDENTIAL CODE-2015
  - WINDOW HEAD HT. MAY BE ADJUSTED FOR 8', 9' OR 10' CLG HEIGHT.
  - CONTRACTOR SHALL NOT ORDER WINDOWS WITHOUT PROVIDING WINDOW MANUFACTURER WITH ALL FLOOR PLANS AND ELEVATIONS TO DETERMINE SIZES, TEMPERING, AND EGRESS REQUIREMENTS AS PER CODE.
  - WINDOW SILLS: IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4" DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR. R312.2.1
- EXCEPTIONS:
- 6.1.1. WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE OPENING IS IN ITS LARGEST OPENED POSITION.
  - 6.1.2. OPENINGS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R612.3.
  - 6.1.3. OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
  - 6.1.4. WINDOWS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R312.2.2
  - 6.1.5. ALL NEW WINDOWS MUST BE AT LEAST 24" OVER FINISHED FLOOR R.312.2
- IN ZONE A FLOOD HAZARD AREAS REQUIRE A MINIMUM OF ONE FOOT OF FREEBOARD FOR DWELLINGS AS PER SECTION R322.2.1 IRC 2015

CHIMNEY NOTE

MASONRY CHIMNEY OUTLETS SHALL TERMINATE NO LESS THAN 3'-0" FROM THE HIGHEST POINT THAT THE CHIMNEY PENETRATES THE ROOF. CHIMNEY'S SHALL TERMINATE NOT LESS THAN 2'-0" ABOVE ANY PORTION OF THE BUILDING WITH IN 10'-0". AS PER INT. RES CODE 2015 SEC. R100.3

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ADDITION / RENOVATION FOR:  
**ALMA BILLINGS**  
182 WAYFAIR CIRCLE  
TOWNSHIP OF WYCKOFF, NJ  
BLOCK 428 LOT 20

DRAWING TITLE:  
**REAR & SIDE ELEVATIONS**

PROJECT NUMBER: 19-234 SCALE: 1/4"=1'-0"

DRAWN BY: LO/AG CHECKED BY: SUPV

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DRAWING #  
**A-5**  
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RES 2019