

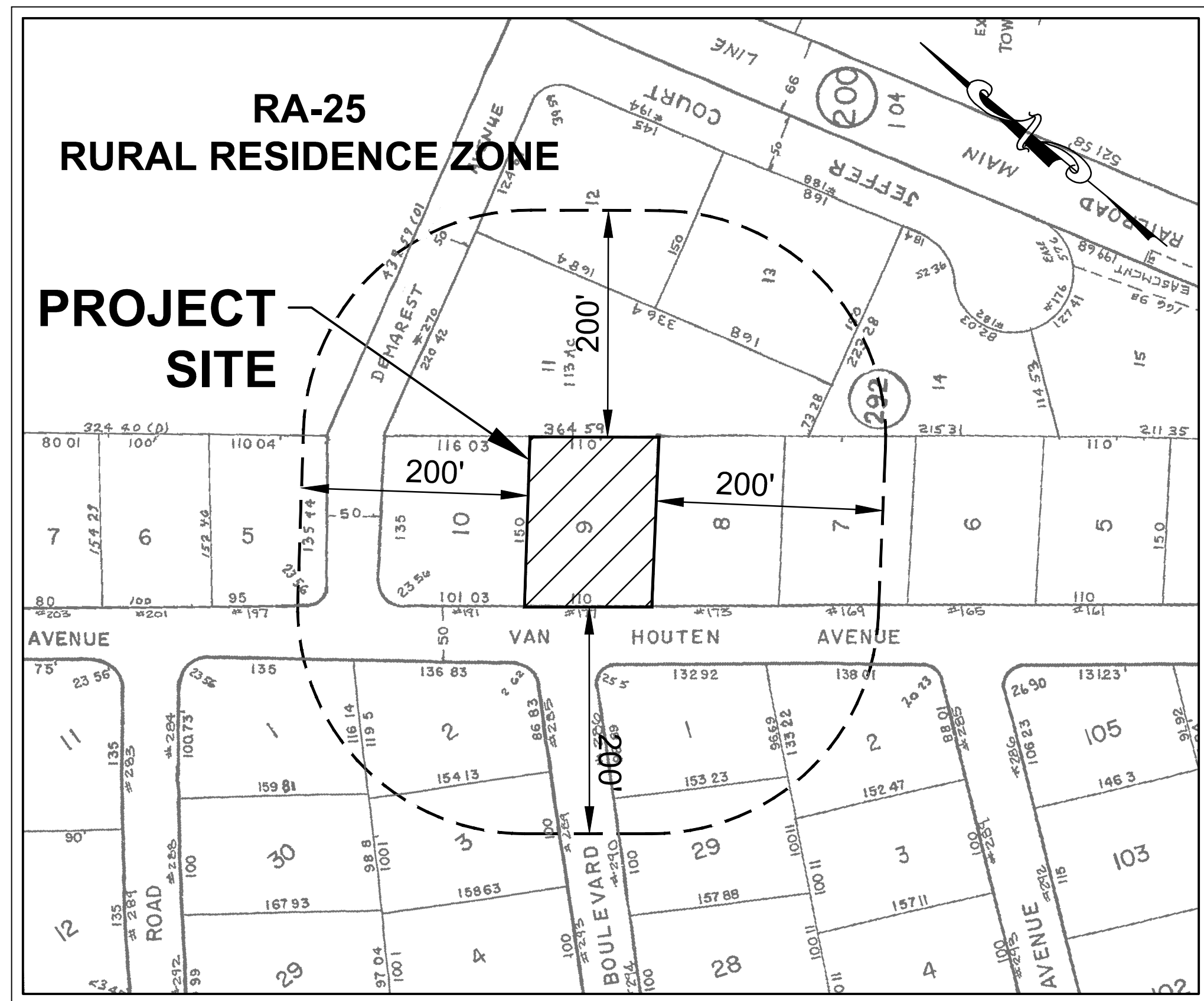
PLOT PLAN FOR
177 VAN HOUTEN AVENUE
BLOCK 292, LOT 9
TOWNSHIP OF WYCKOFF
BERGEN COUNTY, NEW JERSEY

- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM PLAN ENTITLED "PROPERTY SURVEY AT 177 VAN HOUTEN AVENUE" PREPARED BY OMLAND & ØSTERKORN, INC DATED DECEMBER 2019.
2. REFER TO ARCHITECTURAL PLANS PREPARED BY CANZANI ASSOCIATES ARCHITECTS.
3. THE ENGINEER SIGNING THIS PLAN IS NOT QUALIFIED TO MAKE A DETERMINATION AS TO THE PRESENCE OR ABSENCE OF WETLANDS. THEREFORE, NO STATEMENT IS BEING MADE OR IMPLIED BY THE FACT THAT NO EVIDENCE OF WETLANDS OR WETLAND TRANSITION AREAS (BUFFERS) ARE SHOWN ON THIS PLAN.
4. LOCATIONS OF UTILITIES ARE APPROX. CONTRACTOR SHALL VERIFY EXACT LOCATION IN FIELD WITH UTILITY COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. THE APPLICANT SHALL COMPLY WITH THE TOWNSHIP'S TREE REMOVAL AND REPLACEMENT REQUIREMENTS.
6. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
7. ALL AREAS BEING GRADED AND WHERE SOIL IS BEING SPREAD ACROSS THE YARD SHALL BE TOP SOILED AND SEEDED IMMEDIATELY FOLLOWING GRADING OPERATIONS.
8. A PERCOLATION TEST SHALL BE PERFORMED PRIOR TO INSTALLATION OF DRAINAGE SYSTEM TO ENSURE THAT THE SYSTEM LIES ABOVE THE SEASONAL HIGH WATER TABLE AND THAT THE SOIL IS SUFFICIENTLY PERMEABLE TO DRAIN THE SYSTEM FREE OF WATER WITHIN A 36 HOUR TIME PERIOD.
9. THE TOWNSHIP ENGINEER SHALL BE CONTACTED PRIOR TO PERCOLATION TEST AND RESULTS OF THE TEST SHALL BE FORWARDED TO TOWNSHIP ENGINEER. OMLAND & ØSTERKORN SHALL BE NOTIFIED AS WELL FOR PERCOLATION TEST.
10. INSTALLATION OF SEEPAGE PITS ARE SUBJECT TO INSPECTION BY TOWNSHIP ENGINEER. INSPECTION REQUESTS SHALL BE MADE AT LEAST 48 HOURS PRIOR TO REQUIRED INSPECTION. OMLAND & ØSTERKORN SHALL BE NOTIFIED AS WELL FOR INSPECTION.
11. SURFACE RUNOFF DURING CONSTRUCTION WILL BE MAINTAINED THROUGH THE USE OF SILT FENCE.
12. PROPOSED ADDITION SHALL MEET MINIMUM REQUIRED SEPTIC SETBACK DIMENSIONS REQUIRED UNDER NJAC 7.9A.
13. STORMWATER MANAGEMENT DESIGN SHALL RESULT IN A ZERO NET INCREASE IN STORMWATER RUNOFF FROM THE DEVELOPED SITE.

ZONING TABLE			
BLOCK 292, LOT 9		ZONE: RA-25 (RURAL RESIDENCE DISTRICT)	
EXISTING USE: 1-STORY SINGLE-FAMILY DWELLING			
PROPOSED USE: 2-STORY SINGLE-FAMILY DWELLING (RENOVATIONS AND ADDITIONS PROPOSED TO EXISTING DWELLING)			
ITEM	REQUIRED	EXISTING	PROPOSED
Min. Lot Area	25,000 S.F.	16,500 S.F. (E)	NO CHANGE
Min. Lot Width and Frontage	125 Ft.	110 Ft. (E)	NO CHANGE
Min. Lot Depth	150 Ft.	150 Ft.	NO CHANGE
Min. Front Yard Setback	40 Ft.	40.3 Ft.	32.3 Ft. Measured to First Step (V)
Min. Side Yard Setbacks	27 Ft. (where garage faces side yard) 25 Ft. (min. for homes with a gross building area that exceeds 3,700 S.F.) 20 Ft. (min. for homes with a gross building area that is less than 3,700 S.F.)	21.8 Ft. (existing dwelling gross building area is less than 3,700 S.F.)	11.1 Ft. (V) (proposed dwelling gross building area is greater than 3,700 S.F.)
Min. Rear Yard Setback	40 Ft.	75.5 Ft.	47 Ft.
Max. Building Height	2½ Stories and 35 Ft.	1 Story and Less than 35 Ft.	2 Stories and 32 Ft. <u>Building Height Calculation</u> Lowest finished level of the ground adjacent to outside wall = 5.5 Ft. Finished floor to highest point of the roof = 26.5 Ft. (Refer to architect's plans) Building Height = 5.5 Ft. + 26.5 Ft. = 32 Ft.
Min. Habitable Floor Area per Dwelling Unit	1,200 S.F.	2,106 S.F.	4,562 S.F. (Refer to architect's plans)
Max. Lot Coverage by Principal Building	15%	8.8%	16.1% (V)
Max. Lot Coverage by Principal and Accessory Building	20%	11.2%	18.4%
Max. Impervious Coverage	35%	19.9%	26.2%
VARIANCES REQUESTED			
1. Front Yard Setback § 186-Attachment 1	The minimum required front yard setback is 40 feet where 32.3 feet is proposed (measured to the first step).		
2. Side Yard Setback § 186-6 C	For homes with a gross building area that exceeds 3,700 square feet, the minimum side yard setback shall be 25 feet where 11.1 feet is proposed.		
3. Principal Building Coverage	The maximum required building coverage is 15%, where 16.1% is proposed.		
(E) Pre existing non conformity			
(V) Variance Requested			

COVERAGE TABLE - ZONE RA-25
BLOCK 292, LOT 9

TOTAL LOT AREA		16,500 SF			
ALLOWED PRINCIPAL BUILDING COVERAGE (15%)		2,475 SF			
Existing Coverages			Proposed Coverages		
Description	Area (SF)	Percentage	Description	Area (SF)	Percentage
Existing Building	1,460	8.8%	Proposed Building (incl. covered porch)	2,652	16.1%
Deck	389	2.4%	Deck	392	2.3%
Total Building Coverage	1,849	11.2%	Total Building Coverage	3,044	18.4%
			Increase in Building Coverage	1,195	
Driveway	1,026		Driveway	939	
Walkways, Patio and Stairs	411		Walkways, Patio and Stairs	345	
Total Impervious Coverage	3,286	19.9%	Total Impervious Coverage	4,328	26.2%
			Increase in Impervious Coverage	1,042	



ZONING MAP
SCALE: 1"=100'

APPROVALS:



I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT COMPLIES
WITH ALL APPROVALS GRANTED BY THE APPROVING AUTHORITY.

BOARD ENGINEER	DATE
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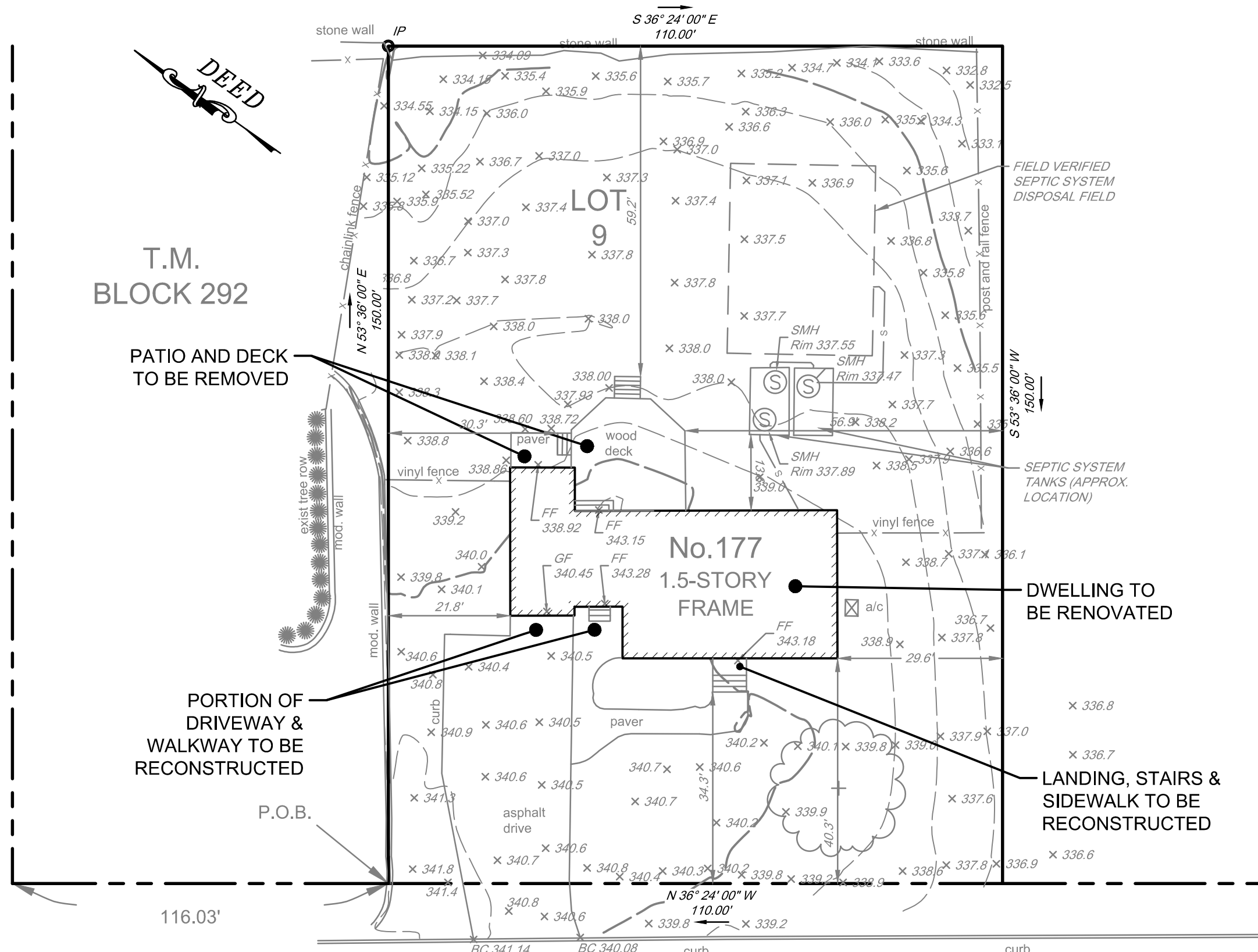
APPROVED BY ZONING BOARD OF ADJUSTMENT OF THE
TOWNSHIP OF WYCKOFF.

CHAIRMAN _____ DATE _____

SECRETARY	DATE
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PLOT PLAN FOR 177 VAN HOUTEN AVENUE COVER SHEET / ZONING MAP / KEY MAP BLOCK 292, LOT 9 TOWNSHIP OF WYCKOFF, BERGEN COUNTY, NEW JERSEY		SHEET No. 1 OF 2	
Omland & Osterkorn, Inc. www.oosterkorns.com NJ Certificate of Authorization No. 2A-0282828300 E-mail: oosterkorn@o-o-inc.com  KERSTEN OSTERKORN N.J. Professional Engineer & Professional Land Surveyor, Lic. 2405462501		 <p>MLAND & OSTERKORN CONSULTING ENGINEERS & SURVEYORS</p>	
PROJ.: 191106 DATE: 07/21/20 THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN ARE TO BE USED ONLY BY THE PARTY FOR WHOM IT IS DESIGNED. THIS DRAWING DISCLOSED, DISTRIBUTED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF OMLAND & OSTERKORN, INC. ALL RIGHTS RESERVED.		6 5 4 3 REV PER BOARD MTG REVIEW 2 1 REV PER TWP ENG COMPLETENESS REVIEW DATED 4/9/20	
		DATE: 05/11/20 DRAWN:	

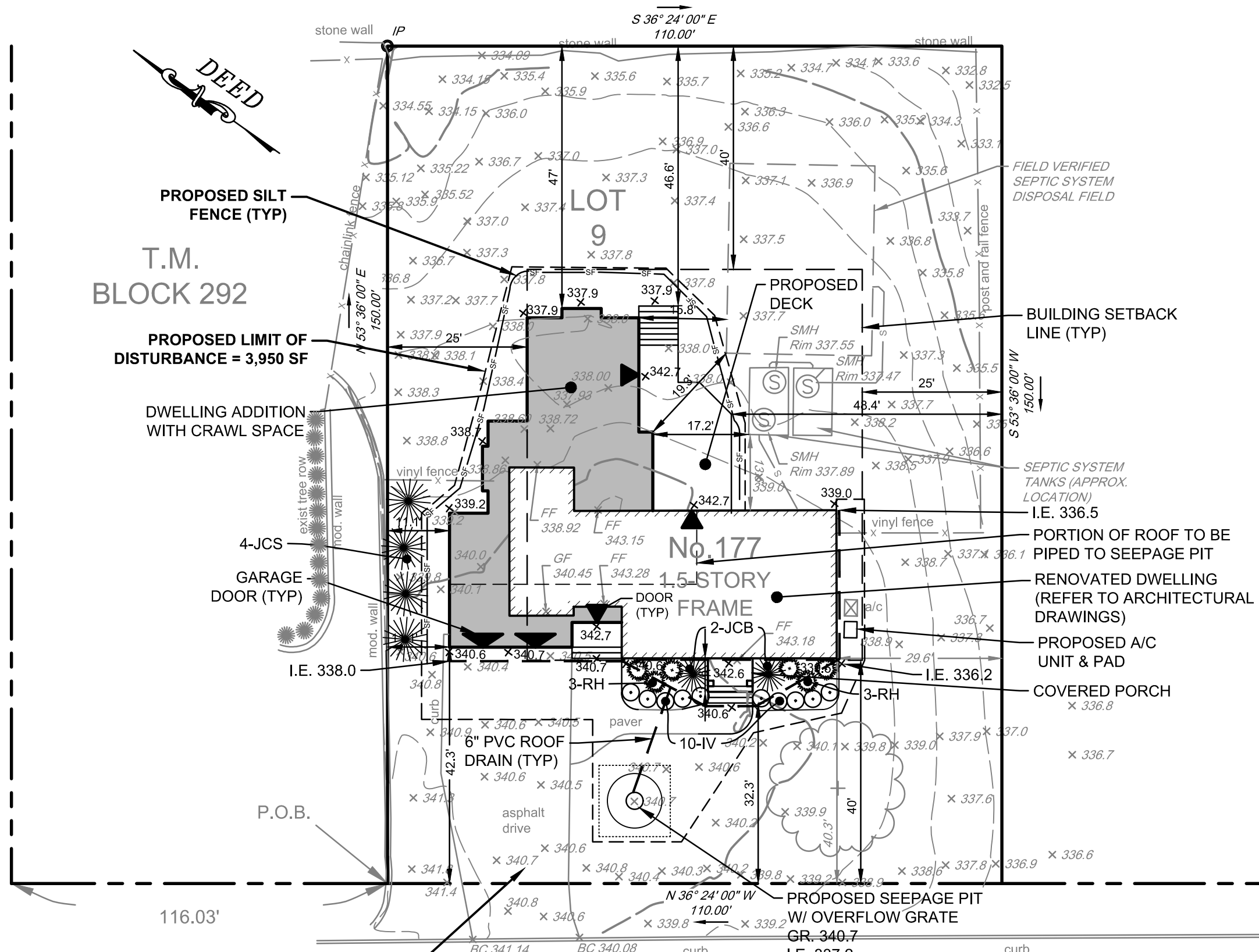
DEMAREST (50') AVENUE



VAN HOUTEN (50') AVENUE

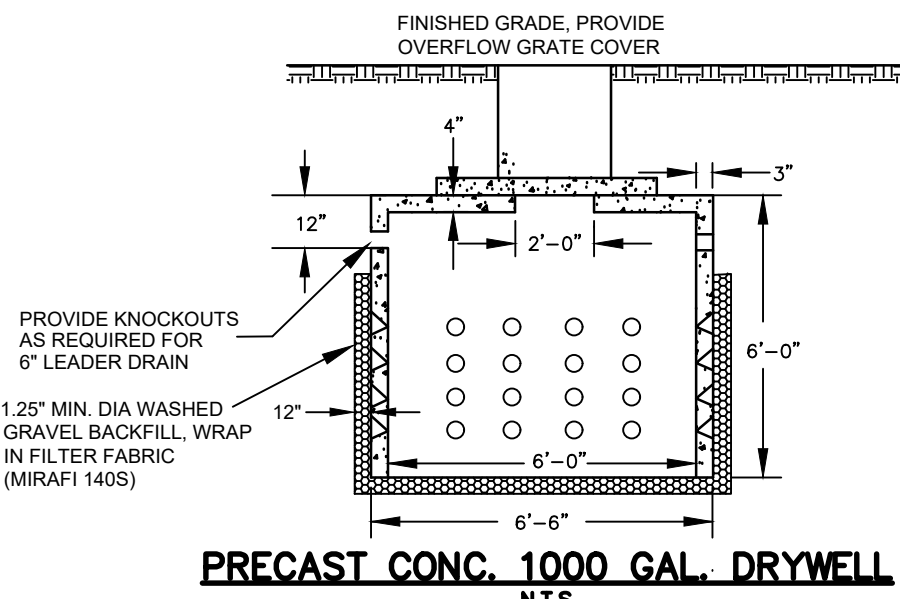
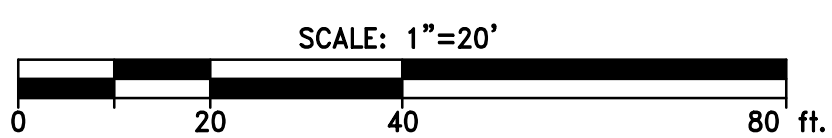
EXISTING CONDITIONS / DEMOLITION PLAN

DEMAREST (50') AVENUE

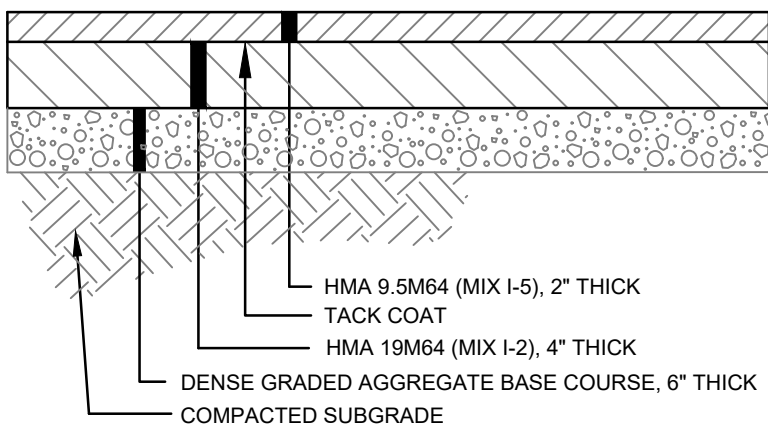


VAN HOUTEN (50') AVENUE

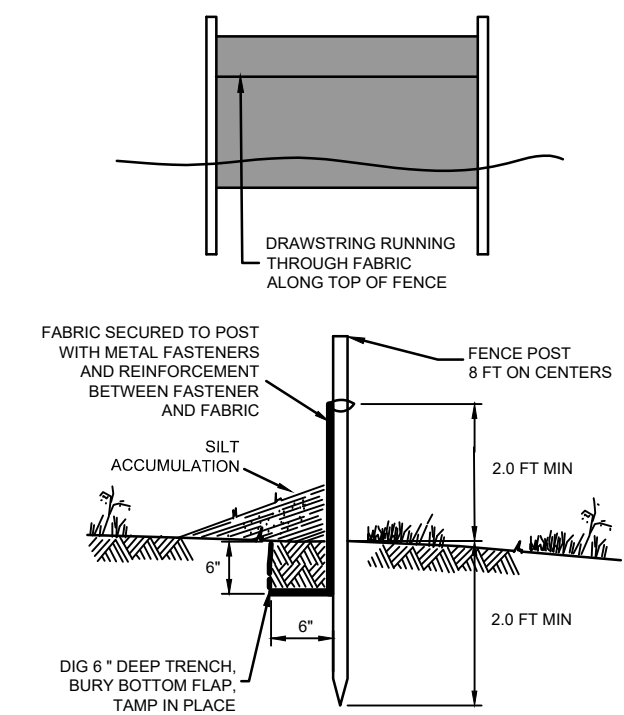
PLOT PLAN



PRECAST CONC. 1000 GAL. DRYWELL
N.T.S.



PAVEMENT SECTION
N.T.S.



SILT FENCE DETAIL
N.T.S.

NOTES

STONE SIZE: 1 1/2" - 2 1/2" CRUSHED STONE
WIDTH NOT LESS THAN FULL WIDTH AT POINTS OF DEPRESS AND INGRESS
WARNING: WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO
ENTRANCE ONTO PUBLIC R.O.W. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA
STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN.
MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT
TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC R.O.W. THIS MAY REQUIRE PERIODIC TOP
DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF
ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRAPPED
ONTO PUBLIC R.O.W. MUST BE REMOVED IMMEDIATELY.
WHEN THE CONSTRUCTION ACCESS EXITS ONTO A MAJOR ROADWAY, A PAVED TRANSITION AREA MAY
BE INSTALLED BETWEEN THE MAJOR ROADWAY AND THE STONED ENTRANCE TO PREVENT LOOSE STONES
FROM BEING TRANSPORTED OUT ONTO THE ROADWAY BY HEAVY EQUIPMENT ENTERING OR LEAVING THE SITE.

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 ft.	100ft.
2 TO 5%	100ft.	200ft.
5%	ENTIRE SURFACE STABILIZED WITH HMA BASE COURSE MIX 12	

1. AS PRESCRIBED BY LOCAL ORDINANCE
2. AS PRESCRIBED BY OTHER GOVERNING AUTHORITY

STABILIZED CONSTRUCTION ENTRANCE

N.T.S.

SEEPAGE PIT DESIGN CALCULATOR

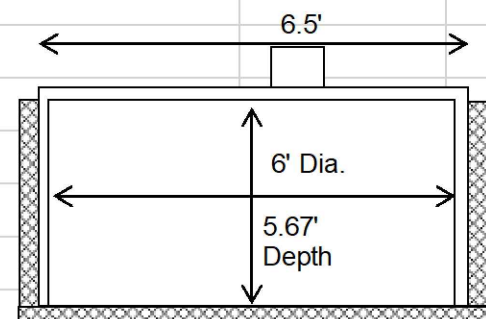
2 inches over new impervious

NEW IMPERVIOUS COVERAGE
1042 S.F.

AREA CONTRIBUTING TO SEEPAGE PIT (EXCEEDS NEW IMPERVIOUS COVERAGE)
1148 S.F.

VOLUME REQUIRED
191 C.F.

VOLUME CAPACITY OF SEEPAGE PIT



TANK VOLUME FOR A STANDARD 1000 GALL. TANK

$$V \text{ Tank} = (\pi) (\frac{6^2}{4}) (\text{Depth})$$

$$V \text{ Tank} = 160 \text{ C.F.}$$

STONE VOLUME

$$\text{Volume of excavation: } 8.5' \times 8.5' \times 6' = 434 \text{ C.F.}$$

$$\text{Less Volume of Tank} = 160 \text{ C.F.}$$

$$\text{Net Volume of Stone} = 274 \text{ C.F.}$$

$$\text{STONE VOLUME TOTAL ASSUMING 40% VOIDS}$$

$$V \text{ Stone} = 0.40 (274) = 110 \text{ C.F.}$$

TOTAL SEEPAGE PIT VOLUME

$$V \text{ Pit} = V \text{ Tank} + V \text{ Stone} = 270$$

VOLUME PROPOSED (C.F.)

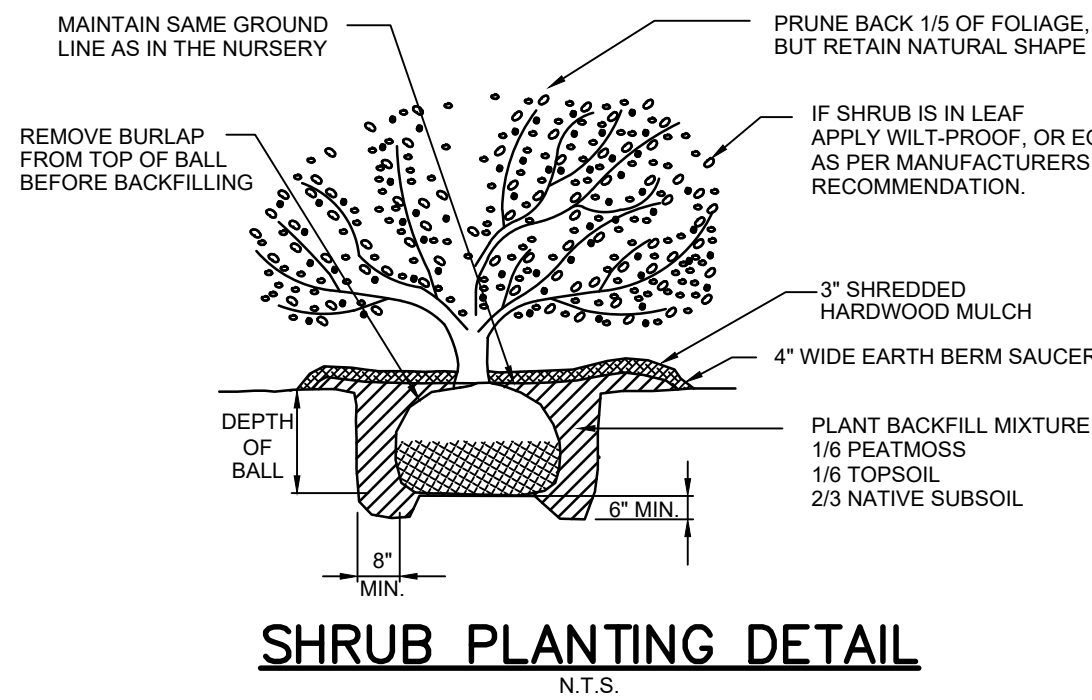
270

VOLUME REQUIRED (C.F.)

191

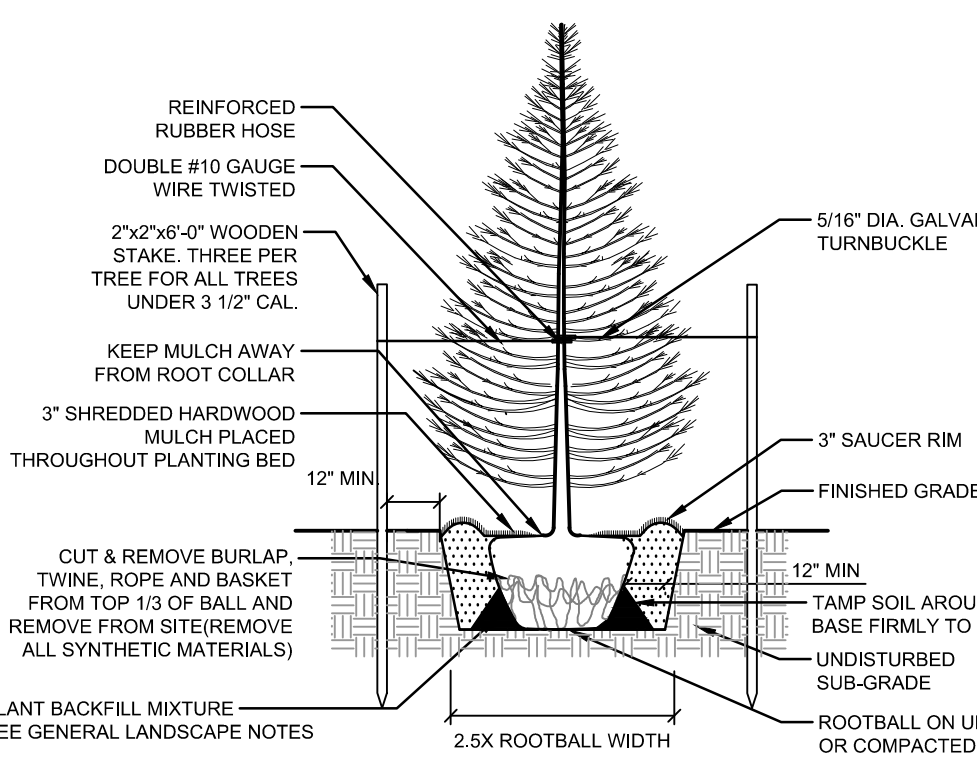
SYSTEM IS O.K.

PLANT SCHEDULE				
Key	Qty	Scientific Name	Common Name	Height
Evergreen Trees				
JCB	2	Juniperus chinensis 'Blue Point'	Blue Point Juniper	6'-7'
JCS	4	Juniperus chinensis 'Spartan'	Spartan Juniper	6'-7'
Shrubs				
RH	6	Rhododendron 'PJM'	PJM Rhododendron	30-36"
IV	10	Itea virginica 'Merlot'	Merlot Sweetspire	18-24"



SHRUB PLANTING DETAIL

N.T.S.



EVERGREEN TREE PLANTING

N.T.S.

- NOTES:
- WATER THOROUGHLY TWICE WITHIN THE FIRST 48 HOURS.
 - TOP OF ROOTBALL SHALL BE SET FLUSH TO GRADE, TRUNK FLARE SHALL BE VISIBLE AT TOP OF ROOTBALL, DO NOT COVER TOP OF ROOT BALL WITH SOIL.

GENERAL LANDSCAPE NOTES

PLANTING:

- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING AND LIGHTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES, STRUCTURES, ETC. AND NOTIFY THE LANDSCAPE ARCHITECT IN REFERENCE TO ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
- THE CONTRACTOR SHALL ENSURE THAT WORK DOES NOT INTERRUPT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.
- IN THE EVENT OF VARIATION BETWEEN WRITTEN QUANTITIES AND QUANTITIES SHOWN ON THE PLAN, THE PLANS SHALL TAKE PRECEDENCE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO THE COMMENCEMENT OF WORK. SOD AND SEED QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT OR ENGINEER FOR CLARIFICATION PRIOR TO BIDDING. THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN SIZES AS SPECIFIED IN PLANT LIST.
- ALL PLANTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS OR AS DESIGNATED IN THE FIELD.
- ALL PLANT MATERIAL SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA). TREES SHALL BE NURSERY-GROWN, FREE OF DISEASE, SUBSTANTIALLY UNIFORM IN SIZE AND SHAPE AND HAVE STRAIGHT TRUNKS.
- ALL PLANTS (BAG OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS SECURELY ATTACHED THERETO BEFORE DELIVERY TO PROJECT SITE. LABELS SHALL IDENTIFY PLANTS BY SPECIES AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE LANDSCAPE ARCHITECT OR ENGINEER.
- ANY MATERIAL AND/OR WORK MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
- PLANT SUBSTITUTIONS SHALL BE PERMITTED ONLY WITH WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT RELATIVE TO SIZE, SPECIES AND VARIETY. ALL PLANT MATERIAL SHALL BE TO TRUE SPECIES, VARIETY, AND SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. WRITTEN PROOF OF UNAVAILABLE PLANT MATERIAL MUST BE DOCUMENTED.
- ALL PROPOSED TREES TO BE INSTALLED EITHER ENTIRELY IN OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BEDS SHALL NOT BE DESTROYED. ALL SHRUBS AND GROUND COVER AREAS SHALL BE PLANTED IN CONTINUOUS PREPARED BED AND TOP DRESSED WITH A 3 INCH LAYER OF SHREDDED HARDWOOD MULCH. MULCH SHALL HAVE BEEN SHREDDED WITHIN THE LAST SIX MONTHS.
- TRANSPLANTING:
 - PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
 - ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
 - IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEADED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
 - UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
 - TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
 - IF TRANSPLANTS DIE, SHRUBS LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND.
- BULBS SHALL BE PLANTED IN ACCORDANCE WITH SECTION 11 OF THE ANLA STANDARDS.
- THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF ALL TREES SHALL BE DONE AS INDICATED ON THE DOCUMENTS.
- ALL TREE STAKES AND WIRES WILL BE REMOVED BY THE APPLICANT AFTER ONE (1) YEAR FROM THE DATE OF INSTALLATION.
- VEGETATION PROPOSED AMONG EXISTING VEGETATION IS TO BE PLANTED TO AVOID DAMAGE TO THE EXISTING VEGETATION.
- ALL STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 10 FEET ABOVE THE GROUND. ALL SHRUBS AND GROUND COVER AREAS SHALL BE PLANTED IN CONTINUOUS PREPARED BED AND TOP DRESSED WITH A 3 INCH LAYER OF SHREDDED HARDWOOD MULCH. MULCH SHALL HAVE BEEN SHREDDED WITHIN THE LAST SIX MONTHS.
- ALL PLANTING BEDS SHALL RECEIVE 3 INCHES OF SHREDDED HARDWOOD MULCH WITH WEED INHIBITING FABRIC BENEATH.
- PLANT MATERIALS SHALL NOT BE INSTALLED UNTIL FINISHED GRADING HAS BEEN COMPLETED.
- UPON COMPLETION OF ALL LANDSCAPING, AN ACCEPTANCE MEETING OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR ENGINEER OR OWNER FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
- ALL TREES SHALL BE GUARANTEED FOR 24 MONTHS FROM TO DATE OF ACCEPTANCE. ALL SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR 24 MONTHS FROM THE DATE OF ACCEPTANCE. REPLACEMENT PLANTS USED SHALL BE GUARANTEED FOR AN ADDITIONAL 90 DAYS.
- PLANTING DATES:

FALL	AUGUST 15 - DECEMBER 15:	EVERGREEN TREES
SPRING	OCTOBER 15 - DECEMBER 15:	DECIDUOUS TREES
MARCH 1 - MAY 15:		ALL PLANTS

LAWN:

- ALL DISTURBED AREA OF THE SITE NOT PLANTED WITH SHRUBS OR GROUND COVER SHALL BE FINE GRADED AND SEEDED OR SODDED.
- ALL SOD SHALL BE OBTAINED FROM AREAS HAVING GROWING CONDITIONS FAMILIAR TO AREAS TO BE COVERED. AREAS TO BE SODDED SHALL BE RAKED OF STONES AND DEBRIS. DEBRIS AND STONES OVER 1 INCH IN DIAMETER SHALL BE REMOVED FROM THE SITE. ALL DAMAGED SOD WILL BE REJECTED. ALL SOD MUST BE PLACED WITH STAGGERED JOINTS, BUTTED WITH NO INEQUALITIES IN GRADE. PLACE ALL SOD IN ROWS AT RIGHT ANGLES TO SLOPES (WHERE APPLICABLE).
- ALL PLANTING BEDS ADJACENT TO LAWN AREAS (SOD OR SEEDED) SHALL BE SPADE EDGED.

SOILS:

- CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL TEST OF EXISTING ON SITE SOILS TO BE USED AS PART OF PLANTING BACKFILL MIXTURE.
- PLANT BACKFILL MIXTURE: BACKFILL PLANT PITS WITH A MIXTURE OF TOPSOIL AND SOIL AMENDMENTS. AMENDMENTS SHALL BE ADDED AS RECOMMENDED BY CERTIFIED SOIL TEST.
- CONTRACTOR SHALL PROVIDE PLANTING BACKFILL MIXTURE TO PROPOSED DEPTHS AS FOLLOWS: TREES (24 INCH MINIMUM OF PLANTING BACKFILL MIXTURE), SHRUBS (18 INCH MINIMUM OF PLANTING BACKFILL MIXTURE), PERENNIALS AND GROUNDCOVER (12 INCH MINIMUM OF PLANTING BACKFILL MIXTURE).
- IF WET SOIL CONDITIONS EXIST THEN PLANT PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND THE ADDITIONAL AREA FILLED WITH SAND.
- IMPORTED OR ON-SITE TOPSOIL MAY BE USED TO REFILL THE EXCAVATED AREA. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY STORED AND PROTECTED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FURNISH TO THE APPLYING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. CONTRACTOR TO MODIFY THE SOIL AS NEEDED TO MEET REQUIRED PH AND NUTRIENT LEVELS.
- LAWN/LANDSCAPE RESTORATION AREAS: CONTRACTOR TO COMPLETELY REMOVE ALL UNDERLYING CONSTRUCTION MATERIALS AND SCARIFY/RIP REMAINING SOIL TO A DEPTH OF 24", INCLUDING A MINIMUM OF 6" THICK TOPSOIL.
- ALL AREAS, WHICH ARE TO BE SEEDED, SHALL RECEIVE 5" OF TOPSOIL PRIOR TO SEEDING. PRIOR TO TOPSOIL PLACEMENT, THE EXISTING SOIL SHALL BE RAKED CLEAN OF WEEDS, VEGETATION AND EXTRANEOUS MATERIALS SUCH AS WOOD, STONES, ROCKS, CONSTRUCTION DEBRIS, ETC. LARGER THAN TWO (2) INCHES IN ANY DIMENSION. TOPSOIL SHALL BE SANDY LOAM FREE FROM SUBSOIL, STONES LARGER THAN 1", OR ANY UNDESIRABLE MATERIAL. CONTAIN 5% ORGANIC MATTER, 6.0 TO 6.5 PH. TOPSOIL SHALL NOT BE WORKED IN MUDDY OR WET CONDITIONS.
- TOPSOIL AND SEED ALL AREAS DISTURBED AS A RESULT OF ANY AND ALL CONSTRUCTION DISTURBANCES AND STORAGE OF EQUIPMENT, WHETHER SUCH AREAS ARE SHOWN ON THE PLANS OR NOT. CONTRACTOR TO FIELD VERIFY AREA PRIOR TO SEED AND SOD PRIOR TO SUBMITTING A BID.
- THE CONTRACTOR IS RESPONSIBLE FOR TESTING PROJECT SOILS. THE CONTRACTOR IS TO PROVIDE A CERTIFIED SOILS REPORT TO THE OWNER. THE CONTRACTOR SHALL VERIFY THAT THE SOILS ON SITE ARE ACCEPTABLE FOR THE PROPER GROWTH OF THE PROPOSED PLANT MATERIAL. SHOULD THE CONTRACTOR FIND POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE SOIL AMENDMENTS AS NECESSARY. THE AMENDMENTS SHALL INCLUDE, BUT NOT BE LIMITED TO, FERTILIZERS, LIME, AND TOPSOIL. PROPER PLANTING SOILS MUST BE VERIFIED PRIOR TO PLANTING OF MATERIALS.
- ALL PLANTING AREAS WITHIN EXISTING ASPHALT PAVEMENT AREAS SHALL BE DECOMPACTED A MINIMUM DEPTH OF 24 INCHES. CONTRACTOR TO REMOVE ASPHALT BASE MATERIALS AND SCARIFY/RIP REMAINING SOIL TO A DEPTH OF 24". TAKE CARE TO NOT RIP SOIL WITHIN THE DRIP LINE OF EXISTING TREES.

COORDINATION:

- THE CONTRACTOR SHALL COORDINATE WITH LIGHTING CONTRACTOR (WHEN / WHERE APPLICABLE) REGARDING TIMING OF INSTALLATION OF PLANT MATERIAL.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF UNDERGROUND UTILITIES ON THE SITE THREE (3) DAYS PRIOR TO ANY EXCAVATION. THEIR EXACT LOCATION SHALL BE VERIFIED IN THE FIELD WITH THE OWNER OR GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. IN THE EVENT UTILITIES ARE UNCOVERED, THE CONTRADOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO THE UTILITIES AND SUCH DAMAGE SHALL NOT RESULT IN ANY ADDITIONAL EXPENSES TO THE OWNER. ANY DAMAGE OF UNREPORTED LINES SHALL NOT BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IF UTILITY LINES ARE ENCOUNTERED IN EXCAVATION OF TREE PITS, OTHER LOCATIONS FOR TREES SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO CHANGES OF LOCATION SHALL BE MADE WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT OR ENGINEER.

INSTALLATION:

- ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER THE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW.
- DURING PLANTING OPERATIONS EXCESS WASTE MATERIALS SHALL BE PROMPTLY AND FREQUENTLY REMOVED FROM THE SITE.
- EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND FURNISHING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE EXECUTION OF THE WORK.

MAINTENANCE:

- MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL 90 DAYS AFTER FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE. MAINTENANCE INCLUDING: PRUNING, FERTILIZING, WEEDING, MULCHING, REPLACEMENT OF DISEASED OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF PLANTS.

PROJ.: 191106
DATE: 01/21/20
CONTAINED HEREIN IS A PROFESSIONAL LANDSCAPE ARCHITECT'S SEAL AND SIGNATURE. THE WORK WAS CONTRACTED TO OR BY THE FIRM OF M. LAND & S. STERKORN, INC. AND WAS NOT BE COMPLETED OR TO BE COMPLETED BY THE FIRM OF M. LAND & S. STERKORN, INC. ALL RIGHTS RESERVED.

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Michael J. Sterkorn
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U.E. 24ES42951

LOT FOR
177 VAN HOUTEN AVENUE
DEMOLITION PLAN / PLOT PLAN /
CONSTRUCTION DETAILS
BLOCK 292, LOT 9
TOWNSHIP OF WYCKOFF, BERGEN COUNTY, NEW JERSEY

SHEET No.
2
OF
2