PLOT PLAN FOR

177 VAN HOUTEN AVENUE

BLOCK 292, LOT 9

TOWNSHIP OF WYCKOFF
BERGEN COUNTY, NEW JERSEY

GENERAL NOTES:

1. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM PLAN ENTITLED "PROPERTY SURVEY AT 177 VAN HOUTEN AVENUE" PREPARED BY OMLAND & OSTERKORN, INC DATED DECEMBER 2019.
2. REFER TO ARCHITECTURAL PLANS PREPARED BY CANZANI ASSOCIATES ARCHITECTS.
3. THE ENGINEER SIGNING THIS PLAN IS NOT QUALIFIED TO MAKE A DETERMINATION AS TO THE PRESENCE OR ABSENCE OF WETLANDS. THEREFORE, NO STATEMENT IS BEING MADE OR IMPLIED BY THE FACT THAT NO EVIDENCE OF WETLANDS OR WETLAND TRANSITION AREAS (BUFFERS) ARE SHOWN ON THIS PLAN.
4. LOCATIONS OF UTILITIES ARE APPROX. CONTRACTOR SHALL VERIFY EXACT LOCATION IN FIELD WITH UTILITY COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. THE APPLICANT SHALL COMPLY WITH THE TOWNSHIP'S TREE REMOVAL AND REPLACEMENT REQUIREMENTS.
6. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
7. ALL AREAS BEING GRADED AND WHERE SOIL IS BEING SPREAD ACROSS THE YARD SHALL BE TOP SOILED AND SEEDED IMMEDIATELY FOLLOWING GRADING OPERATIONS.
8. A PERCOLATION TEST SHALL BE PERFORMED PRIOR TO INSTALLATION OF DRAINAGE SYSTEM TO ENSURE THAT THE SYSTEM LIES ABOVE THE SEASONAL HIGH WATER TABLE AND THAT THE SOIL IS SUFFICIENTLY PERMEABLE TO DRAIN THE SYSTEM FREE OF WATER WITHIN A 36 HOUR TIME PERIOD.
9. THE TOWNSHIP ENGINEER SHALL BE CONTACTED PRIOR TO PERCOLATION TEST AND RESULTS OF THE TEST SHALL BE FORWARDED TO TOWNSHIP ENGINEER. OMLAND & OSTERKORN SHALL BE NOTIFIED AS WELL FOR PERCOLATION TEST.
10. INSTALLATION OF SEEPAGE PITS ARE SUBJECT TO INSPECTION BY TOWNSHIP ENGINEER. INSPECTION REQUESTS SHALL BE MADE AT LEAST 48 HOURS PRIOR TO REQUIRED INSPECTION. OMLAND & OSTERKORN SHALL BE NOTIFIED AS WELL FOR INSPECTION.
11. SURFACE RUNOFF DURING CONSTRUCTION WILL BE MAINTAINED THROUGH THE USE OF SILT FENCE.
12. PROPOSED ADDITION SHALL MEET MINIMUM REQUIRED SEPTIC SETBACK DIMENSIONS REQUIRED UNDER NJAC 7:9A.
13. STORMWATER MANAGEMENT DESIGN SHALL RESULT IN A ZERO NET INCREASE IN STORMWATER RUNOFF FROM THE DEVELOPED SITE.

ZONING TABLE

BLOCK 292, LOT 9 ZONE: RA-25 (RURAL RESIDENCE DISTRICT)

EXISTING USE: 1-STORY SINGLE-FAMILY DWELLING

PROPOSED USE: 2-STORY SINGLE-FAMILY DWELLING (RENOVATIONS AND ADDITIONS PROPOSED TO EXISTING DWELLING)

ITEM	REQUIRED	EXISTING	PROPOSED
Min. Lot Area	25,000 S.F	16,500 S.F (E)	NO CHANGE
Min. Lot Width and Frontage	125 Ft.	110 Ft. (E)	NO CHANGE
Min. Lot Depth	150 Ft.	150 Ft.	NO CHANGE
Min. Front Yard Setback	40 Ft.	40.3 Ft.	32.3 Ft. Measured to First Step (V)
Min. Side Yard Setbacks	27 Ft. (where garage faces side yard) 25 Ft. (min. for homes with a gross building area that exceeds 3,700 S.F.) 20 Ft. (min. for homes with a gross building area that is less than 3,700 S.F.)	21.8 Ft. (existing dwelling gross building area is less than 3,700 S.F.)	11.1 Ft. (V) (proposed dwelling gross building area is greater than 3,700 S.F.)
Min. Rear Yard Setback	40 Ft.	75.5 Ft.	46.5 Ft.
Max. Building Height	2½ Stories and 35 Ft.	1 Story and Less than 35 Ft.	2 Stories and 32 Ft. Building Height Calculation Lowest finished level of the ground adjacent to outside wall = 5.5 Ft., Finished floor to highest point of the roof = 26.5 Ft. (Refer to architect's plans) Building Height = 5.5 Ft. + 26.5 Ft. = 32 Ft.
Min. Habitable Floor Area per Dwelling Unit	1,200 S.F.	2,106 S.F.	4,496 S.F. (Refer to architect's plans)
Max. Lot Coverage by Principal Building	15%	8.8%	16.1% (V)
Max. Lot Coverage by Principal and Accessory Building	20%	11.2%	18.4%
Max. Impervious Coverage	35%	19.9%	26.2%

VARIANCES REQUESTED

1. Front Yard Setback § 186-Attachment 1	The minimum required front yard setback is 40 feet where 32.3 feet is proposed (measured to the first step).
2. Side Yard Setback § 186-68 C	For homes with a gross building area that exceeds 3,700 square feet, the minimum side yard setback shall be 25 feet where 11.1 feet is proposed.
3. Principal Building Coverage	The maximum required building coverage is 15%, where 16.1% is proposed.

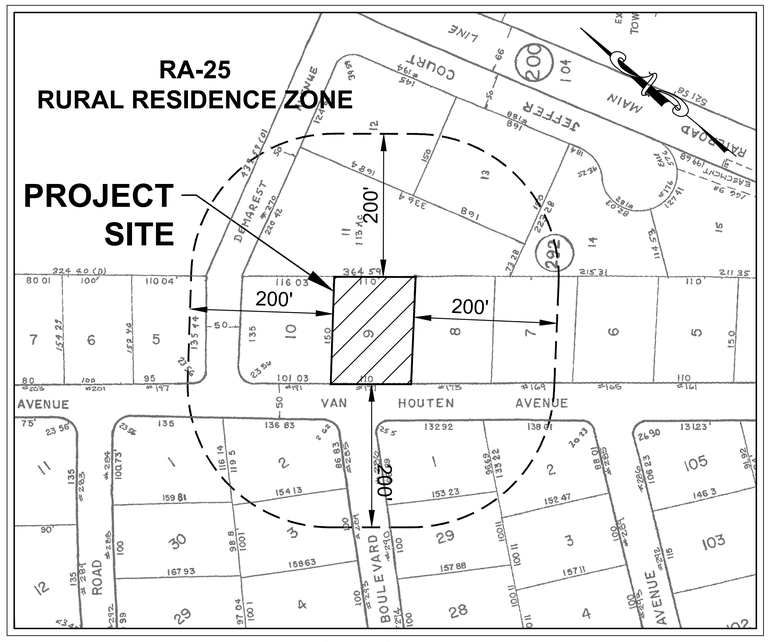
(E) Pre existing non conformity

(V) Variance Requested

COVERAGE TABLE - ZONE RA-25
BLOCK 292, LOT 9

TOTAL LOT AREA 16,500 SF
ALLOWED PRINCIPAL BUILDING COVERAGE (15%) 2,475 SF

Existing Coverages			Proposed Coverages		
Description	Area (SF)	Percentage	Description	Area (SF)	Percentage
Existing Building	1,460	8.8%	Proposed Building (incl. covered porch)	2,652	16.1%
Deck	389	2.4%	Deck	385	2.3%
Total Building Coverage	1,849	11.2%	**Total Building Coverage**	3,037	18.4%
			Increase in Building Coverage	1,188	
Driveway	1,026		Driveway	939	
Walkways, Patio and Stairs	411		Walkways, Patio and Stairs	345	
Total Impervious Coverage	3,286	19.9%	**Total Impervious Coverage**	4,321	26.2%
			Increase in Impervious Coverage	1,035	



ZONING MAP
SCALE: 1"=100'

APPROVALS:

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT COMPLIES WITH ALL APPROVALS GRANTED BY THE APPROVING AUTHORITY.

BOARD ENGINEER DATE

APPROVED BY ZONING BOARD OF ADJUSTMENT OF THE TOWNSHIP OF WYCKOFF.

CHAIRMAN DATE

SECRETARY DATE

6		
5		
4		
3		
2	UPDATE SEPTIC FIELD LOCATION PER FIELD VERIFICATION	05/28/20
1	REV PER TWP ENG COMPLETENESS REVIEW DATED 4/9/20	04/14/20
	REVISION	DATE CHKD

PROJ.: 191106
DATE: 01/21/20
CHKD: KO

OMLAND & OSTERKORN
CONSULTING ENGINEERS & SURVEYORS

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KIERSTEN OSTERKORN, N.J. Professional Engineer & Professional Land Surveyor, Lic. 24GE02293

PLOT PLAN FOR
177 VAN HOUTEN AVENUE
COVER SHEET / ZONING MAP / KEY MAP
BLOCK 292, LOT 9
TOWNSHIP OF WYCKOFF, BERGEN COUNTY, NEW JERSEY

SHEET No. 1 OF 2