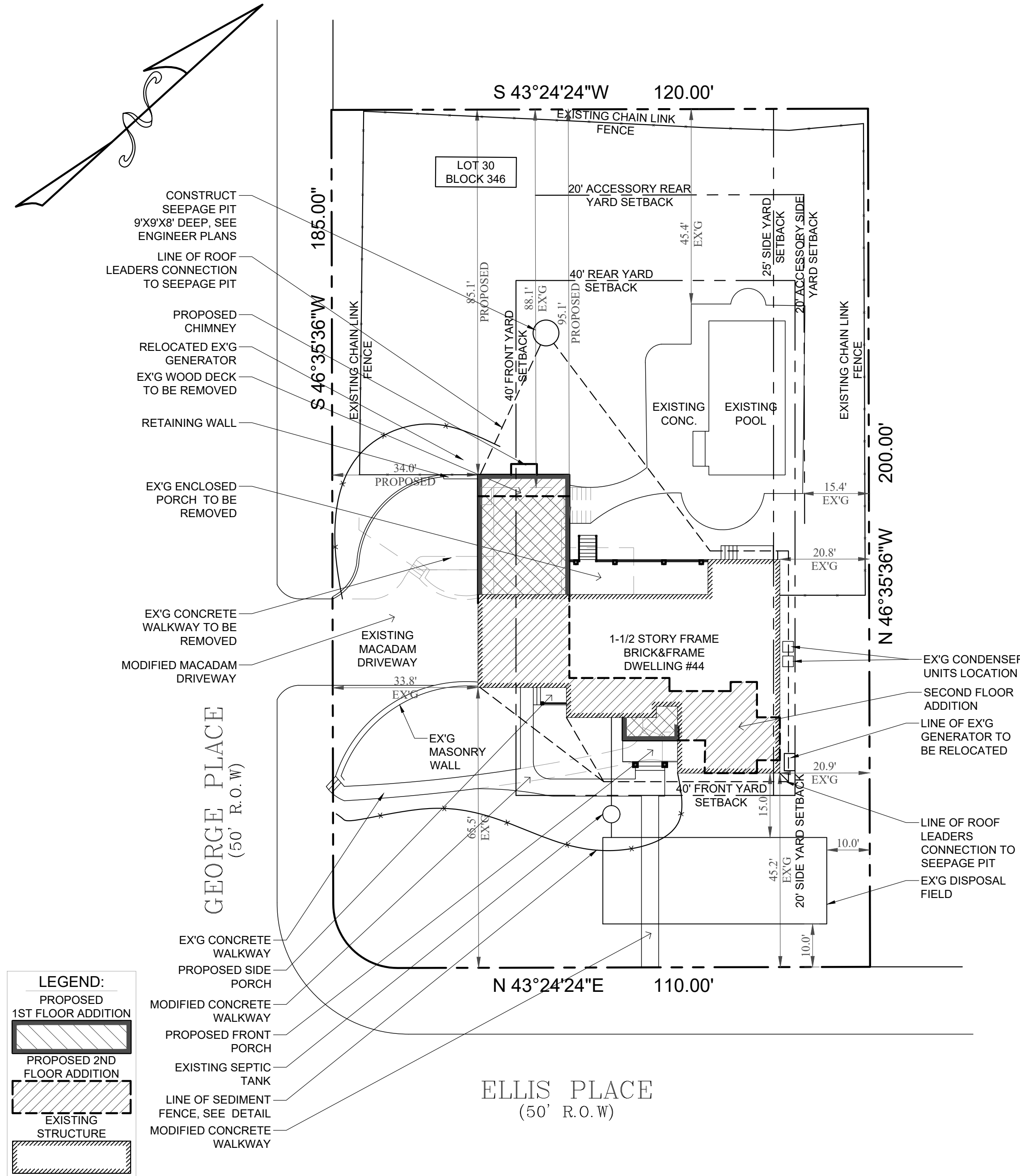


NEW ADDITION / RENOVATION FOR: MR. & MRS. FOX

441 ELLIS PLACE
WYCKOFF, NJ 07481

LIST OF DRAWINGS

- SP-1 ZONING REVIEW
- A-1 ELEVATIONS
- A-2 FOUNDATION PLAN
- A-3 FIRST FLOOR PLAN
- A-4 SECOND FLOOR PLAN
- A-5 ELEVATIONS



SITE PLAN

SCALE: 1"=20'

GRADE DRAINAGE SLOPE:

LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET, AS PER R401.3.

SEQUENCE OF CONSTRUCTION:

1. INSTALL SILT FENCE / SEDIMENT BARRIERS AT LOCATION SHOWN ON PLAN CLEAR, SITE AND STOCKPILE TOPSOIL
2. REMOVE EXISTING IMPROVEMENTS
3. EXCAVATE AND INSTALL FOUNDATION
4. CONNECT UTILITIES, INSTALL SEEPAGE PIT AND COMPLETE GARAGE CONSTRUCTION
5. TOPSOIL AND SEED, PERMANENTLY STABILIZED ALL DISTURBED AREAS
6. INSTALL FINAL PAVEMENT SURFACE COURSE, REMOVE SILT FENCE AND PERMANENTLY STABILIZING ANY REMAINING DISTURBED AREA.

TREE REMOVAL

NO EXISTING TREES TO BE REMOVED FOR NEW GARAGE

GRADE NOTE:

ALL EXISTING GRADES TO REMAIN

ROOF LEADERS NOTE:

ALL ROOF LEADERS SHALL BE CONNECTED TO THE SEEPAGE PIT AS REQUIRED.

NOTE:

SEE APPROVED SEPTIC PLAN PREPARED BY LOSCALZO ENGINEERING.

ACCESSORY BLDG. COVERAGE

STRUCTURE	EXISTING	AREA
EX'G POOL		669 SQFT
EX'G DECK	+	481 SQFT
TOTAL EX'G COVERAGE	=	1,150 SQFT = 4.61%
PROPOSED		
EX'G ACCESSORY BLDG. COVERAGE		1,150 SQFT
EX'G DECK TO BE REMOVED	-	481 SQFT
TOTAL PROPOSED COVERAGE	=	669 SQFT = 2.68%

IMPERVIOUS COVERAGE

STRUCTURE	EXISTING	AREA
EX'G BUILDING COVERAGE		2,496 SQFT
EX'G DRIVEWAY	+	665 SQFT
EX'G WALKWAYS	+	251 SQFT
EX'G WOOD PLATFORM AND STAIR	+	39 SQFT
EX'G DECK	+	481 SQFT
TOTAL EX'G COVERAGE	=	3,932 SQFT = 15.76%
PROPOSED		
TOTAL EX'G COVERAGE		3,932 SQFT
EX'G DECK TO BE REMOVED	-	481 SQFT
PROPOSED ADDITION	+	747 SQFT
PROPOSED CHIMNEY	+	15 SQFT
PROPOSED FRONT COVERED PORCH	+	68 SQFT
PROPOSED SIDE PORCH	+	24 SQFT
PROPOSED REAR COVERED PORCH	+	288 SQFT
MODIFIED DRIVEWAY	+	678 SQFT
MODIFIED WALKWAY	+	297 SQFT
TOTAL PROPOSED COVERAGE	=	5,548 SQFT = 22.23%

GROSS BUILDING AREA

STRUCTURE	EXISTING	AREA
EX'G GARAGE	+	555 SQFT
EX'G FIRST FLOOR	+	2,303 SQFT
EX'G SECOND FLOOR	+	918 SQFT
TOTAL EX'G GROSS BUILDING AREA	=	3,776 SQFT
PROPOSED		
EX'G GROSS BUILDING AREA		3,776 SQFT
NEW FIRST FLOOR	+	747 SQFT
NEW SECOND FLOOR	+	2,504 SQFT
TOTAL GROSS BUILDING AREA	=	7,027 SQFT

BUILDING COVERAGE

STRUCTURE	EXISTING	AREA
EX'G BUILDING FOOTPRINT		2,303 SQFT
EX'G ENCLOSED PORCH	+	179 SQFT
EX'G FRONT BAY WINDOW	+	14 SQFT
TOTAL EX'G COVERAGE	=	2,496 SQFT = 10.00%
PROPOSED		
EX'G BUILDING COVERAGE		2,496 SQFT
REMOVED EX'G ENCLOSED PORCH	-	179 SQFT
PROPOSED ADDITION	+	747 SQFT
PROPOSED CHIMNEY	+	15 SQFT
PROPOSED FRONT COVERED PORCH	+	68 SQFT
PROPOSED SIDE PORCH	+	24 SQFT
PROPOSED REAR COVERED PORCH	+	288 SQFT
TOTAL PROPOSED COVERAGE	=	3,439 SQFT = 13.78%

TOWNSHIP OF WYCKOFF

LOT: 30				
BLOCK: 346				
ZONE: RA-25				
USE: Single Family Dwelling				
BULK REQUIREMENTS:				
ITEM	REQUIRED	EXISTING	PROPOSED	VARIANCE
LOT INFORMATION:				
MINIMUM LOT AREA (ft ²)	25,000	24,952	N/A	ENC
MINIMUM LOT FRONTAGE (ft)	125	295	N/A	
MINIMUM LOT DEPTH (ft)	150	200	N/A	
MAX. PRINCIPAL BUILDING COV. (%)	15	10.00	13.78	
MAX. ACCESSORY STRUCTURE (%)	5	4.61	2.68	
MAX. COMBINED BUILDING COV. (%)	20	14.61	16.46	
MAX. IMPERVIOUS COVERAGE (%)	28.5	15.76	22.23	
PRINCIPAL BUILDING INFORMATION:				
FRONT YARD #1 (ft)	40	45.2	45.2	
FRONT YARD #2 (ft)	40	33.8 ENC	34.0	YES
REAR SIDE YARD (ft)	40	88.1	85.1	
RIGHT SIDE YARD (ft)	25	20.8	20.8	YES
HEIGHT (ft)	35	28.3	34.3	
HEIGHT (stories)	2.5	1.5	2	
ACCESSORY BUILDING (POOL):				
REAR YARD (ft)	20	45.4	N/A	
SIDE YARD (ft)	15	15.4	N/A	

N/A = NOT AFFECTED BY THIS WORK
ENC = EXISTING NONCONFORMING

*IF GROSS BUILDING AREA IS OVER 3,700 SQFT, THE SIDE YARD INCREASES TO 25 FT MIN & GARAGE FACE SIDE YARD BECOMES 27 FT MIN. THE GROSS BUILDING AREA

FLOOR AREA, GROSS

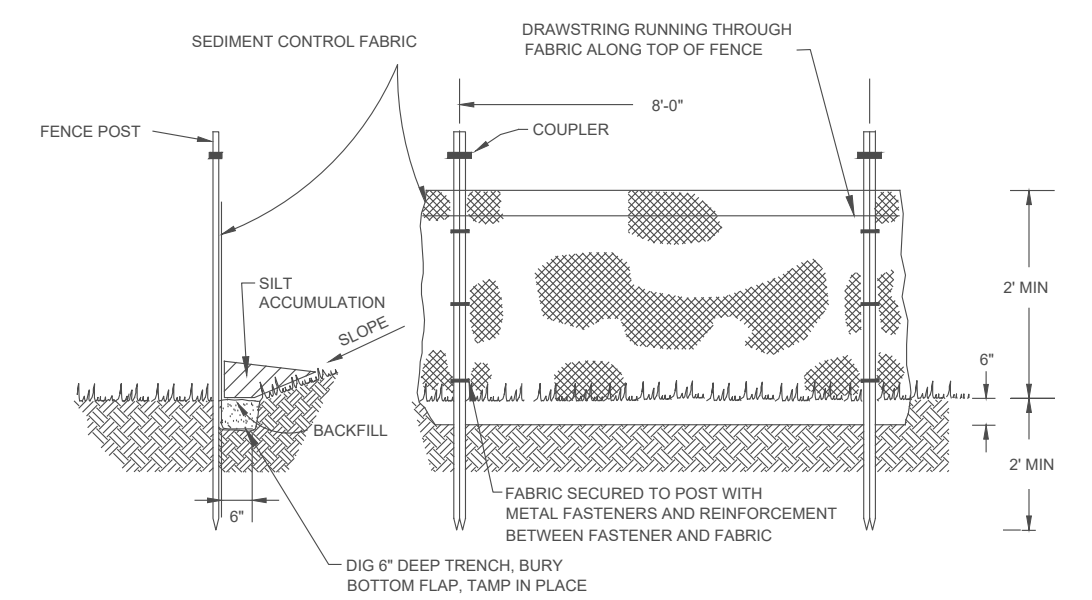
The sum of the gross horizontal areas of a floor or several floors of a building, including enclosed building projections, porches or similar enclosed structures, and including areas used for human occupancy in basements, all as measured from the exterior building dimensions. It shall not include unoccupied floors in any basement, cellar, open porches or balconies, garage space or accessory building. [amended 6-13-1989 by ord. no. 1069]

IMPERVIOUS COVERAGE

Land surface areas that do not allow rainwater to be directly absorbed by the ground. These surfaces shall include but not be limited to building coverage, driveways (paved, gravel, cinder or pavers), paved areas, and decks which do not allow free drainage of rainwater through to the ground underneath. Impervious coverage in residential zones shall not include retaining walls, surface areas of swimming pools and their surrounding patios or hardscape features, air-conditioning units, generators, pool equipment, walkways and at-grade patios located in the rear yard of the property, regardless of material types. Driveways, front and side yard walkways and patios, structures, and any type of sport athletic court shall be considered impervious coverage and shall remain as part of the impervious calculation. [added 2-19-2008 by ord. no. 1576, amended 8-2-2016 by ord. no. 1807]

PRINCIPAL BUILDING

A building or buildings in which is conducted the main or principal use of the lot on which said building is situated.



SEDIMENT FENCE DETAIL
N.T.S.

SITE PLAN DRAWN FROM SURVEY TAKEN BY:
WELLS ASSOCIATES LAND SURVEYING
15 WALKER DRIVE, RINGWOOD, NJ 07456
DATED: FEBRUARY 7, 2005
SITE PLAN TO BE USED FOR ZONING AND ARCHITECTURAL PURPOSES ONLY.

William G. Brown, Architects
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07481
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CT ARCH 8445
NY ARCH 018837
NJ ARCH 10226
PA ARCH RA-011586-B
VA ARCH RA-007125
FL ARCH AR99022

NOT VALID UNLESS SIGNED AND SEALED

William G. Brown, Jr.

WILLIAM G. BROWN, JR., AIA
SP-1 ZONING REVIEW

COVER SHEET

ADDITION / RENOVATION FOR:
MR. AND MRS. FOX
441 ELLIS PLACE
WYCKOFF, NJ 07481
(Zachary & Danielle)

PROJECT: 21-230 DATE: 10/18/21; 1/10/22
DRAWN BY: EC MARCH 2, 2022; JUNE 3, 2022

ISSUED FOR VARIANCE: MARCH 22, 2022

WINDOW & TRIM NOTE:

ALL ANDERSON WINDOW TO HAVE AZEK SILL 3/4"x4 LEGS & 3/4" 6" TOP WITH RAMS CROWN AND FLASHING ALL TRIM TO BE AZEK TRIM

DRIP EDGE NOTE:

DRIP EDGE TO BE PROVIDED ON EAVES AND RAKES ON ALL SHINGLE ROOFS, AS PER R905.2.8.5.

KICK OUT FLASHING:

KICK OUT FLASHING TO BE PROVIDED ON ALL AT ROOF FASCIA TO WALL / ROOF INTERFACE, AS PER R905.2.8.3

NOTE:

MIN 6" PROTECTION CLEARANCE FROM GRADE AS PER SECTION R317.1 NOTE 5 WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6" FROM THE GROUND OR LESS THAN 2 INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER

ICE & SNOW SHIELD NOTES

ICE & SNOW SHIELD
8'-0" UP FROM FASCIA

300 # ASPHALT ROOF SHINGLES STYLE, SIZE & COLOR TO BE SELECTED BY OWNER

MAX BUILDING HEIGHT

10" FRIEZEBOARD, TYPICAL
1X8 RAKE TRIM
1 X 8 FASCIA & GUTTER
LINE OF REMOVED ROOF, TYPICAL

EXG ATTIC

6" TRIM
BOARD AND BATTEN SIDING, COLOR TO BE SELECTED BY OWNER

SECOND FLOOR

METAL ROOF, TYPICAL

EXISTING FIRST FLOOR

EXISTING BASEMENT

NEW FOUNDATION WALL AND FOOTING
LINE OF EXISTING FOUNDATION WALL

1X8 RAKE TRIM
300 # ASPHALT ROOF SHINGLES STYLE, SIZE & COLOR TO BE SELECTED BY OWNER
MAX BUILDING HEIGHT

10" FRIEZEBOARD, TYPICAL
1 X 8 FASCIA & GUTTER

EXG ATTIC

SECOND FLOOR

EXISTING FIRST FLOOR

EXISTING BASEMENT

CASEMENT WINDOWS WITH 4" TRIM, TYPICAL
300 # ASPHALT ROOF SHINGLES STYLE, SIZE & COLOR TO BE SELECTED BY OWNER
MAX BUILDING HEIGHT

10" FRIEZEBOARD, TYPICAL
1X8 RAKE TRIM
1 X 8 FASCIA & GUTTER
LINE OF REMOVED ROOF, TYPICAL
6" TRIM

EXG ATTIC

COLOR, SIZE, AND STYLE OF NEW SIDING TO BE SELECTED BY OWNER

SECOND FLOOR

DOUBLE HUNG WINDOWS WITH 4" TRIM, TYPICAL

EXISTING FIRST FLOOR

10" STRUCTURAL (VARIETY OF STYLES) COLUMNS WITH SIMPSON STRONG LPC6 POST CAP & ABL63Z POST BASE WITH CONCEALING POST OR PIPE STANCHIONS BY HB&G COLUMNS, TYPICAL

EXISTING BASEMENT

300 # ASPHALT ROOF SHINGLES STYLE, SIZE & COLOR TO BE SELECTED BY OWNER

10" FRIEZEBOARD, TYPICAL
1 X 8 FASCIA & GUTTER
1X8 RAKE TRIM
6" TRIM

EXG ATTIC

SECOND FLOOR

RAILING 36" A.F.F. AS PER CODE, SECTION 316.1 & 316.2 WITH 2"x2" COLUMNS AND BALUSTRADE @ 4" O.C. TO BE WOLM OR COMPOSITE HIGH DENSITY STRUCTURAL ELEMENTS

SECOND FLOOR

EXISTING FIRST FLOOR

EXISTING BASEMENT

GENERAL NOTES

- ALL WORK IS TO COMPLY WITH ALL BUILDING CODES AND ZONING ORDINANCES ADOPTED BY THE TOWNSHIP OF WYCKOFF, BERGEN COUNTY, NEW JERSEY
- BUILDING HEIGHT/RIDGE HEIGHT TO BE VERIFIED BY SITE ENGINEER PRIOR TO CONSTRUCTION. BUILDING HEIGHT MAXIMUM TO BE: 35'-0" AS PER LOCAL ORDINANCE
- CONTRACTOR IS TO VERIFY ALL CONDITION IN THE FIELD PRIOR TO STARTING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN PLAN OR ITEMS REQUIRING CLARIFICATION BEFORE PROCEEDING WITH CONSTRUCTION
- JOB SITE IS TO BE KEPT REASONABLY CLEAN AND ALL CONSTRUCTION DEBRIS IS TO BE CARTED AWAY AT THE END OF THE JOB.
- ALL WORK IS TO BE DONE BY SKILLED MECHANICS IN A WORKMANLIKE MANNER SET STRAIGHT AND PLUMB.
- ALL MATERIALS USED TO BE OF FIRST QUALITY FREE FROM DEFECTS.
- ARCHITECT DOES NOT HAVE FIELD SUPERVISION OR CONSTRUCTION ADMINISTRATION RESPONSIBILITIES FOR THIS PROJECT.
- CONTRACTOR IS TO LOCATE STRUCTURE AND SET ELEVATIONS AND CONTOURS WITH HIS SURVEYOR AND LICENSED PROFESSIONAL ENGINEER.
- CONTRACTOR TO VERIFY, IN WRITING, IF STRUCTURE DOES NOT COMPLY WITH LOCAL BUILDING HEIGHT CODE DURING CONSTRUCTION AND PRIOR TO CONSTRUCTION OF THE RIDGE.
- CONTRACTOR AND/OR HOMEOWNER IS REQUIRED TO HAVE BUILDER'S INSURANCE AND HOMEOWNER'S WARRANTY PROGRAM.
- GIVEN ANY DISCREPANCIES IN SPECIFICATIONS OR MATERIALS CONTRACTOR MUST USE MATERIAL OF SUPERIOR QUALITY.
- ALL FRAMED WINDOW OPENINGS TO BE VERIFIED WITH BUILDER AND WINDOW SUPPLIER PRIOR TO ORDERING.
- CONTRACTOR TO INSTALL RAM BOARD AND TAPE ALL JOINTS FLOOR PROTECTIONS
- CONTRACTOR TO FOLLOW RESCHECK

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ADDITION / RENOVATION FOR:
MR. AND MRS. FOX
441 ELLIS PLACE
WYCKOFF, NJ, 07481
BLOCK:346; LOT:30
(Zachary&Danielle)

DRAWING TITLE:
FRONT & SIDE ELEVATIONS

PROJECT NUMBER: 21-230 SCALE: 1/4" = 1'-0"
DRAWN BY: AG CHECKED BY: SUPV

DATE:
DECEMBER 1, 2021; DECEMBER 6, 2021
JANUARY 10, 2022; JANUARY 11, 2022
MARCH 2, 2022

ISSUED FOR VARIANCE: MARCH 22, 2022

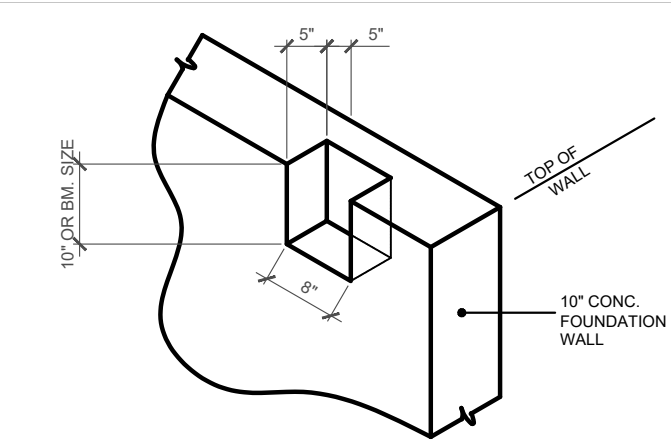
DRAWING #
A-1
2 OF 6

FRONT ELEVATION

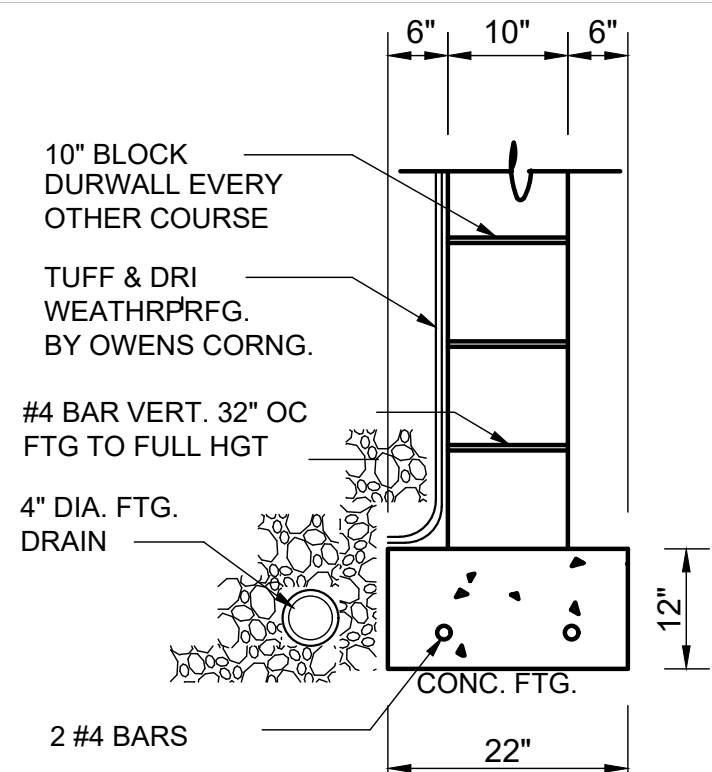
SCALE: 1/4"=1'-0"

RIGHT ELEVATION

SCALE: 1/4"=1'-0"

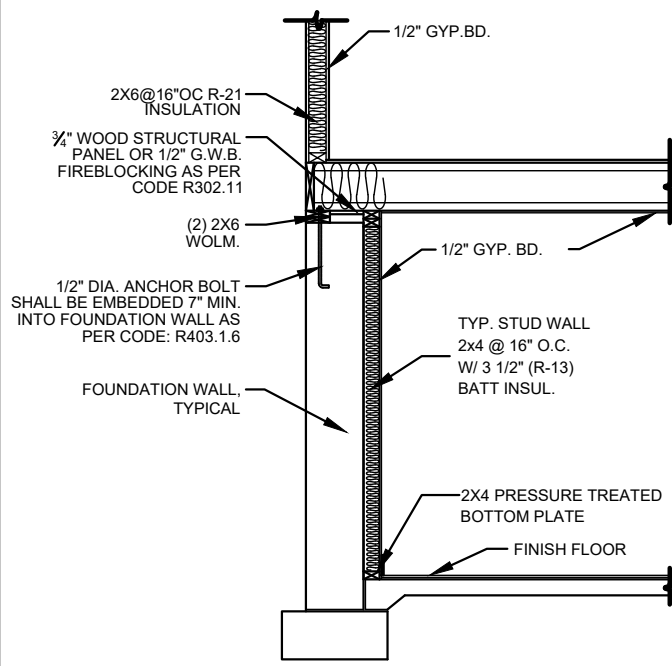


DETAIL OF BEAM POCKET
SCALE: 1/2"=1'-0"



TYP. 10" BLOCK WALL AND FTG.
SCALE: 1"=1'-0"

BACKFILL NOTE:
REINFORCING CALCULATED BASED ON 10'-0" HIGH WALL WITH 9'-0" BACKFILL OR 9'-0" WALL WITH 8'-0" BACKFILL. WHERE CONDITIONS DIFFER, FOUND. WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH TABLES R404.1(1-4) OF THE IRC.



FINISHED BASEMENT WALL PARTITION DETAILS
SCALE: NOT TO SCALE

PROVIDE THE FOLLOWING LINTELS OVER ALL OPENINGS IN MASONRY WALLS, INCLUDING MECHANICAL OPENINGS UNLESS OTHERWISE NOTED:

FOR EACH 4" THICKNESS OF MASONRY - 1 ANGLE AS FOLLOWS:

4 X 3/2" X 3/8" L MAX. M.O. 5'-0"
5 X 3/2" X 3/8" L MAX. M.O. 7'-0"
6 X 3/2" X 3/8" L MAX. M.O. 9'-0"

FOR EACH 6" THICKNESS OF MASONRY - 1 ANGLE AS FOLLOWS:

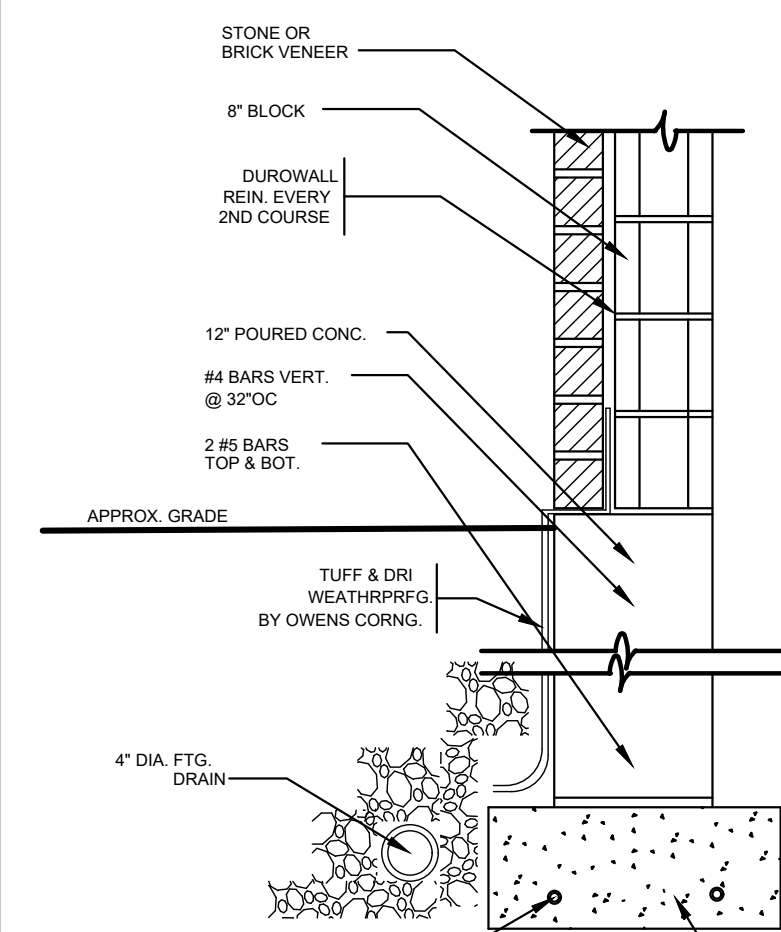
3/2" X 5 X 3/8" L MAX. M.O. 5'-0"
5 X 5 X 3/8" L MAX. M.O. 7'-0"
5 X 5 X 3/8" L MAX. M.O. 9'-0"

FOR 4" AND/OR 6" NON-BEARING MASONRY INTERIOR PARTITIONS:

4" 3/4" X 7/8" LIGHT-WEIGHT CONCRETE
6" 6/8" X 7/8" LIGHT-WEIGHT CONCRETE

ALL LINTELS TO HAVE MINIMUM 8" BEARING EACH END.

SUBMIT THREE SETS OF FABRICATION DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE START OF FABRICATION.

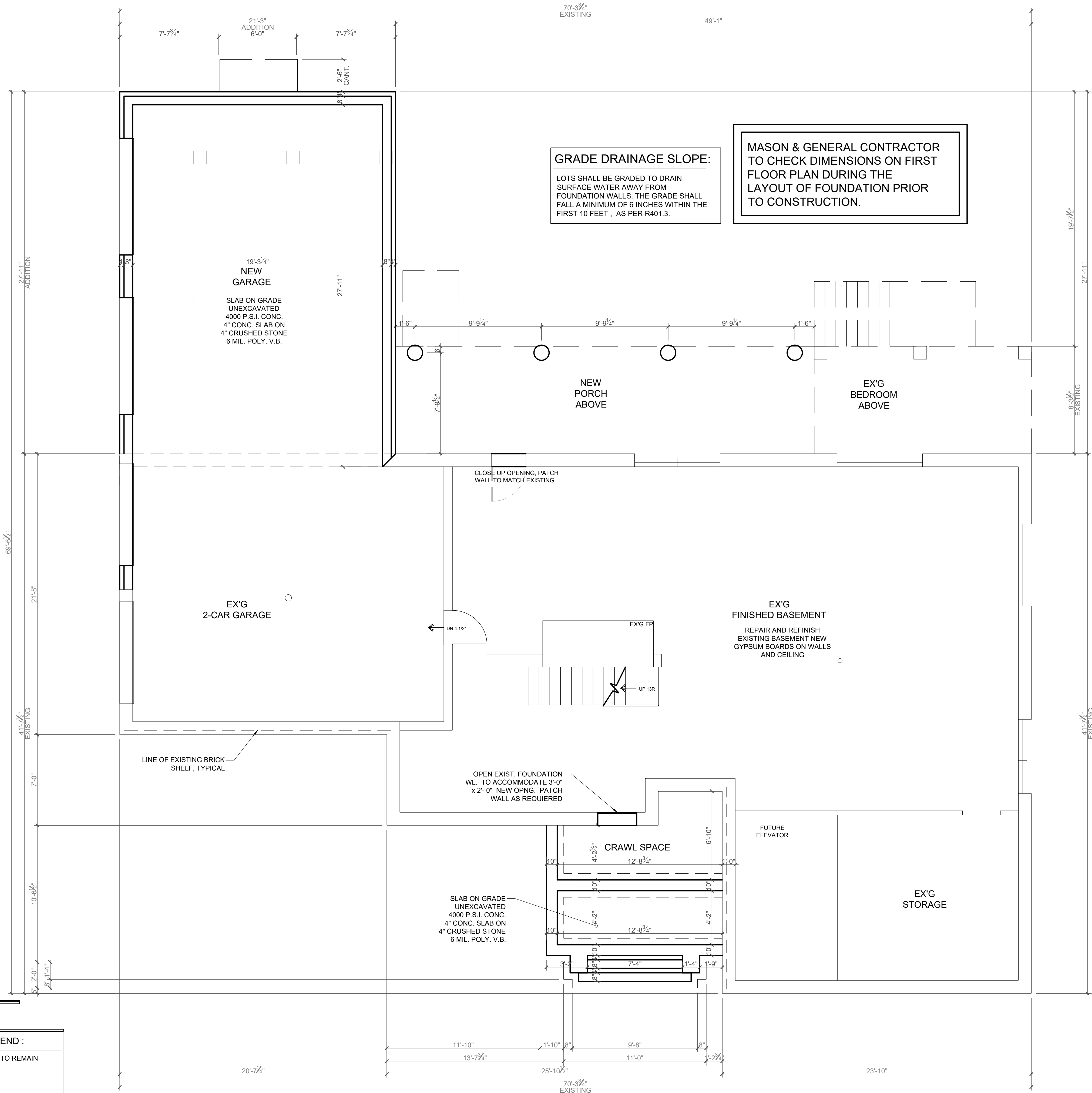


TYP. BRICK VENEER WALL & FTG. DETAIL
SCALE: 1"=1'-0"

FOUNDATION PLAN

SCALE: 1/4"=1'-0"

GENERAL FRAMING LEGEND :	
	= EXISTING CONSTRUCTION TO REMAIN
	= WALLS ABOVE
	= NEW CONSTRUCTION
	= NEW C.M.U. WALL
	= NEW CONCRETE WALL
	= NEW BEAM
	= NEW JOIST MEMBER



GRADE DRAINAGE SLOPE:
LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET, AS PER R401.3.

MASON & GENERAL CONTRACTOR TO CHECK DIMENSIONS ON FIRST FLOOR PLAN DURING THE LAYOUT OF FOUNDATION PRIOR TO CONSTRUCTION.

CONCRETE & MASONRY NOTES

- ALL CONCRETE USED SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AFTER 28 DAYS. ALL FORMS TO BE STRIPPED PRIOR TO BACKFILLING
- STEEL REINFORCING BARS ARE TO BE USED IN FOOTINGS SIZED AND LOCATED AS SHOWN ON PLANS AND BE FREE FORM GREASE, OIL, RUST OR SCALE
- CONCRETE MASONRY UNITS TO BE OF LOAD BEARING TYPE WITH TOP AND BOTTOM COURSES FILLED SOLID.
- ALL TILE FLOORS TO BE SET IN MUD.
- FOR MARBLE OR STONE SAMPLES: CONTACT STONE 100 OUTWATER LANE GARFIELD PH: 201-546-9660 FAX: 201-546-9698
- LANDINGS OUTSIDE EGRESS DOORS TO HAVE MIN DEPTH OF 36" IN DIRECTION OF TRAVEL AS PER THE NJ EDITION OF INTERNATIONAL RES. CODE 2018 SECTION R11.3
- CONTROL JOINT SPACING OF 15-25 FT SQUARE RECOMMENDED
- FOUNDATION ANCHORAGE: ANCHOR BOLTS SHALL BE BE 3/8"Ø, 16" LONG @ 6FT APART MAX. AND 12" FROM CORNER AND ENDS OF SECTION OF PLATE/SILL (R403.1.6)
- STEEL MANUFACTURER TO FIELD MEASURE PRIOR TO FABRICATION.
- A RETAINING WALL REQUIRES A FOUNDATION WALL TO HAVE SUPPORT ON BOTH THE TOP AND BOTTOM PRIOR TO BACKFILLING. AS PER SECTION R404.1.1

8"x16" LOUVERED VENT=128 SQ INCH

STAIR NOTES

- STAIR SHOP DRAWINGS TO BE PROVIDED TO ARCHITECT PRIOR TO FABRICATION
- STAIRS TO HAVE A MAX. RISER OF 8 1/2" AND A MIN. TREAD OF 9" AS PER R311 AND R311.7.7
- CONTRACTOR TO PROVIDE PULL DOWN STAIR UNIT ON SECOND FLOOR

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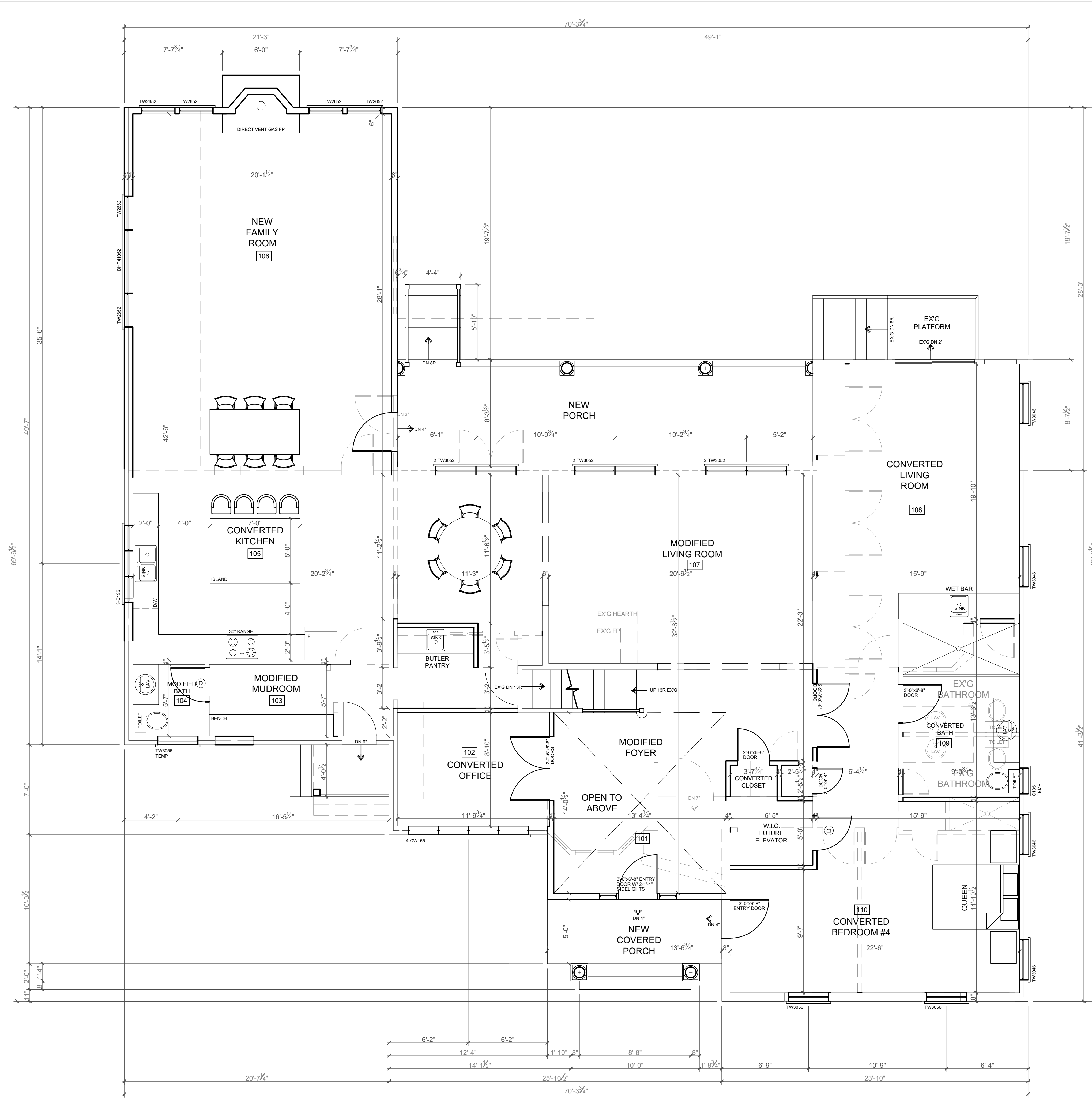
FOUNDATION PLAN

PROJECT NUMBER: 21-230 SCALE: 1/4"=1'-0"
DRAWN BY: AG CHECKED BY: SUPV

DATE:
DECEMBER 1, 2021; DECEMBER 6, 2021
JANUARY 10, 2022; JANUARY 11, 2022
MARCH 2, 2022

ISSUED FOR VARIANCE: MARCH 22, 2022

DRAWING #
A-2
3 OF 6



ENERGY STAR REQUIREMENTS

- WHOLE HOUSE THERMAL EFFICIENCY: EPA THERMAL BYPASS INSPECTION CHECKLIST & AIR BARRIER, INSULATION CHECKLIST
- ENERGY EFFICIENT LIGHTING: SEE www.njenergystarhomes.com
 - MECHANICAL VENTILATION SYSTEM: HVAC INTEGRATED WHOLE-HOUSE VENTILATION SYSTEM
 - HIGH EFFICIENCY CENTRAL HEATING AND COOLING SYSTEMS: CENTRAL AIR CONDITIONING SYSTEMS AND HEAT PUMPS MUST BE PROPERLY SIZED PER ACCA MANUAL J
 - AIR TIGHT DUCTWORK: BUILDING CAVITIES MAY NOT BE USED AS DUCTS; THE ENTIRE SYSTEMS MUST BE FULLY DUCTED
 - INSULATION VERIFIED: INSULATION IS INSPECTED PRIOR TO DRYWALL AND ASSESSED A GRADE LEVEL BASED ON INSULATION QUALITY
 - CONTRACTOR TO FOLLOW RESCHECK
 - CONTRACTOR TO COMPLY WITH IECC AND ENERGY SUBCODE, NJAC 5.23-3.18

WILLIAM G. BROWN, ARCHITECTS CALCULATES SQUARE FOOTAGE FROM THE INSIDE FRAME LINE DIMENSIONS. GARAGE SQUARE FOOTAGE LINE DIMENSIONS. GARAGE SQUARE FOOTAGE IS NOT INCLUDED IN THE TOTAL LIVABLE SQUARE FOOTAGE. IN ADDITION, STAIRWELLS AND FIRE ESCAPE MASSSES ARE ONLY INCLUDED ONCE WITH THE MAIN LEVEL FIGURES

BUILDING DATA		
USE GROUP		R5
CONSTRUCTION CLASS		VB
BUILDING AREA		
EX'G BUILDING FOOTPRINT	2,303	SQFT
NEW BUILDING FOOTPRINT	747	SQFT
TOTAL BUILDING FOOTPRINT	3050	SQFT
EX'G BASEMENT	1,423	SQFT
NEW BASEMENT	0	SQFT
EX'G GARAGE	472	SQFT
NEW GARAGE	538	SQFT
EX'G FIRST FLOOR	2,483	SQFT
NEW FIRST FLOOR	637	SQFT
EX'G SECOND FLOOR	884	SQFT
NEW SECOND FLOOR	1,446	SQFT
EX'G LIVABLE SFTG.	3,367	SQFT
NEW LIVABLE SFTG.	2,083	SQFT
TOTAL LIVABLE SFTG.	5,450	SQFT
CONTAINED VOLUME	22,259	CUFT

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 441 ELLIS PLACE
 WYCKOFF, NJ, 07481
 BLOCK:346; LOT:30
 (Zachary&Danielle)

DRAWING TITLE:
FIRST FLOOR PLAN

PROJECT NUMBER: 21-230 SCALE: 1/4" = 1'-0"
 DRAWN BY: AG CHECKED BY: SUPV
 DATE:
 DECEMBER 1, 2021; DECEMBER 6, 2021
 JANUARY 10, 2022; JANUARY 11, 2022
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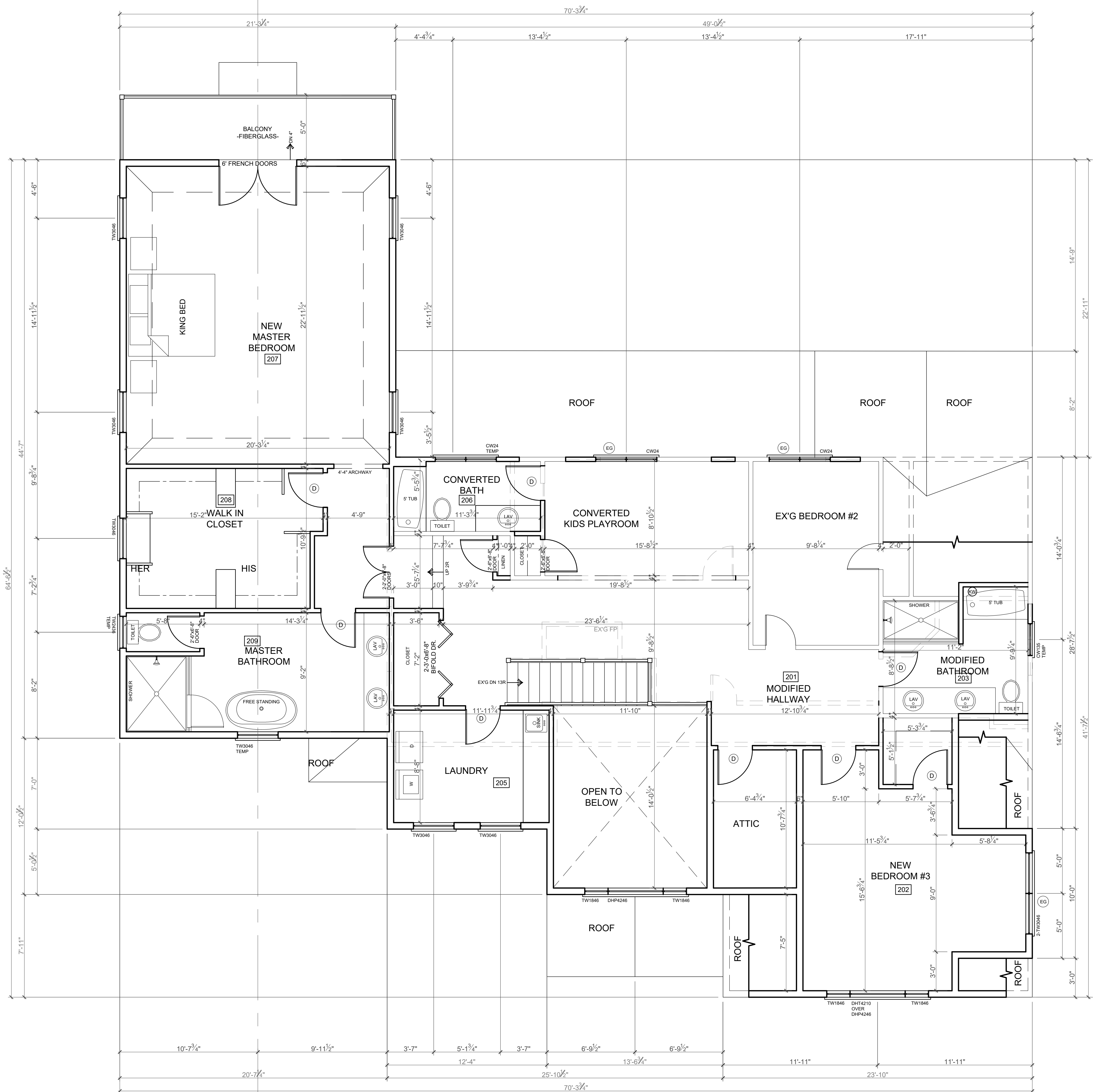
ISSUED FOR VARIANCE: MARCH 22, 2022

FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

GENERAL LEGEND :

	= EXISTING CONSTRUCTION TO REMAIN
	= EXISTING CONSTRUCTION TO BE REMOVED
	= NEW CONSTRUCTION
	= NEW C.M.U. WALL
	= NEW CONCRETE WALL



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

GENERAL LEGEND :	
	= EXISTING CONSTRUCTION TO REMAIN
	= EXISTING CONSTRUCTION TO BE REMOVED
	= NEW CONSTRUCTION
	= NEW C.M.U. WALL
	= NEW CONCRETE WALL

CARPENTRY NOTES

1. ALL FRAMING LUMBER IS TO BE DOUGLAS FIR WITH Fb=1500 PSI AND BE OF STRUCTURAL GRADE.
2. ALL DOOR AND WINDOW HEADERS TO BE 2-2"x12" UNLESS NOTED OTHERWISE.
3. ALL DOORS LABELED (D) ARE TO BE 2'-8"x6'-8" SOLID 6 PANEL MASONITE, AS PER CODE, UNLESS OTHERWISE NOTED.
4. ALL DOORS LABELED (D-3) ARE TO BE 2'-8"x8'-0" SOLID CORE 2 PANEL Ovation AS PER CODE, UNLESS OTHERWISE NOTED (1 3/4", 4 HINGES)
5. PERIMETER WALLS FRAMING TO BE 2X6 AT 16" O.C WITH SINGLE CONTINUOUS SOLE PLATE AND DOUBLE CONTINUOUS TOP PLATE JOINTS TO BE STAGGERED.
6. INTERIOR PARTITION FRAMING TO BE 2X4 AT 16" O.C WITH SINGLE CONTINUOUS SOLE PLATE AND DOUBLE CONTINUOUS TOP PLATE JOINTS TO BE STAGGERED.
7. ALL WALLS OVER 8'-0" HIGH ARE TO RECEIVE FIRE BLOCKING AT MIDPOINT.
8. SILLS ON BLOCK WALLS TO BE WOLMANIZED.
9. WINDOWS AND SLIDING DOORS GLASS DOORS TO BE DONE BY: TOWER WINDOWS 1-800-490-1011
10. ALL EXTERIOR WALLS, ROOF OR CEILING TO HAVE FULL-THICK BATT INSULATION.
11. WALLS TO BE 6" WHERE ANY 2" OR LARGER HORIZONTAL HOLE IS DRILLED.
12. TJI HOLE TO BE DRILLED FOLLOWING MANUFACTURES CALCULATIONS TJI'S CANT BE NOTCHED.
13. CONTRACTOR'S MAY USE TJI'S AS AN ALTERNATE, W/ EQUAL OR GREATER STRENGTH MUST NOTIFY ARCHITECT.
14. ALL WOOD FRAMING MEMBERS, INCLUDING SHEATHING, WHICH REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM EXPOSED EARTH SHALL BE OF APPROVED NATURALLY DURABLE AND PRESERVATIVE-TREATED WOOD, INCLUDING LUMBER ON CONCRETE
15. FIRE BLOCKING SHALL BE PROVIDED AT WALL/CEILING INTERSECTION FOR BOTH INTERIOR PARTITIONS AND PERIMETER WALL; ALSO HORIZONTALLY EVERY TEN FEET.
16. INSULATOR TO INSTALL STYROFOAM BAFFLES WHERE NEEDED FOR VENTING

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ADDITION / RENOVATION FOR:
 MR. AND MRS. FOX
 441 ELLIS PLACE
 WYCKOFF, NJ, 07481
 BLOCK:346; LOT:30
 (Zachary&Danielle)

DRAWING TITLE:

SECOND FLOOR PLAN

PROJECT NUMBER: 21-230 SCALE: 1/4"= 1'-0"

DRAWN BY: AG CHECKED BY: SUPV

DATE:
 DECEMBER 1, 2021; DECEMBER 6, 2021
 JANUARY 10, 2022; JANUARY 11, 2022
 MARCH 2, 2022

ISSUED FOR VARIANCE: MARCH 22, 2022

DRAWING #

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RES 2021

BUILDING HEIGHT/RIDGE HEIGHT TO BE VERIFIED BY SITE ENGINEER PRIOR TO CONSTRUCTION. BUILDING HEIGHT MAXIMUM TO BE: 35'-0" AS PER LOCAL ORDINANCE

DRIP EDGE NOTE:
DRIP EDGE TO BE PROVIDED ON EAVES AND RAKES ON ALL SHINGLE ROOFS, AS PER R905.2.8.5.

KICK OUT FLASHING:
KICK OUT FLASHING TO BE PROVIDED ON ALL AT ROOF FASCIA TO WALL / ROOF INTERFACE. AS PER R905.2.8.3

NOTE:
MIN 6" PROTECTION CLEARANCE FROM GRADE AS PER SECTION R317.1 NOTE 5 WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 8" FROM THE GROUND OR LESS THAN 2 INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER

NOTE: WINDOW HEAD HT. MAY BE ADJUSTED FOR 8', 9', OR 10' CEILING HEIGHT.

GRADE DRAINAGE SLOPE:
LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET, AS PER R401.3.

REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"

WINDOW NOTES

- EG INDICATES AN EGRESS WINDOW AS PER THE N.J. EDITION OF THE INTERNATIONAL RESIDENTIAL CODE-2018
- 1. EGRESS WINDOWS SHALL HAVE NO LESS THAN 5.7 SQFT CLEAR OPENING. THE BOTTOM OF THE CLEAR OPENING SHALL BE NO MORE THAN 44" A.F.F.
- 2. WINDOW SUPPLIER TO VERIFY THAT THERE IS AT LEAST ONE EGRESS WINDOW UNIT IN EACH BEDROOM.
- 3. ALL TEMPERED WINDOWS TO BE AS PER THE N.J. EDITION OF THE INTERNATIONAL RESIDENTIAL CODE-2018
- 4. WINDOW HEAD HT. MAY BE ADJUSTED FOR 8', 9' OR 10' CLG HEIGHT.
- 5. CONTRACTOR SHALL NOT ORDER WINDOWS WITHOUT PROVIDING WINDOW MANUFACTURER WITH ALL FLOOR PLANS AND ELEVATIONS TO DETERMINE SIZES, TEMPERING, AND EGRESS REQUIREMENTS AS PER CODE.
- 6. WINDOW SILLS: IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4" DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR. R312.2.1
- 6.1. EXCEPTIONS:
 - 6.1.1. WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE OPENING IS IN ITS LARGEST OPENED POSITION.
 - 6.1.2. OPENINGS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R612.3.
 - 6.1.3. OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
 - 6.1.4. WINDOWS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R312.2.2
 - 6.1.5. ALL NEW WINDOWS MUST BE AT LEAST 24" OVER FINISHED FLOOR R.312.2
- 7. IN ZONE A FLOOD HAZARD AREAS REQUIRE A MINIMUM OF ONE FOOT OF FREEBOARD FOR DWELLINGS AS PER SECTION R322.2.1 IRC 2018

CHIMNEY NOTE

MASONRY CHIMNEY OUTLETS SHALL TERMINATE NO LESS THAN 3'-0" FROM THE HIGHEST POINT THAT THE CHIMNEY PENETRATES THE ROOF. CHIMNEYS SHALL TERMINATE NOT LESS THAN 2'-0" ABOVE ANY PORTION OF THE BUILDING WITH IN 10'-0" AS PER INT. RES CODE 2018 SEC. R100.3

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(Zachary&Danielle)

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REAR & SIDE ELEVATIONS

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RES 2021