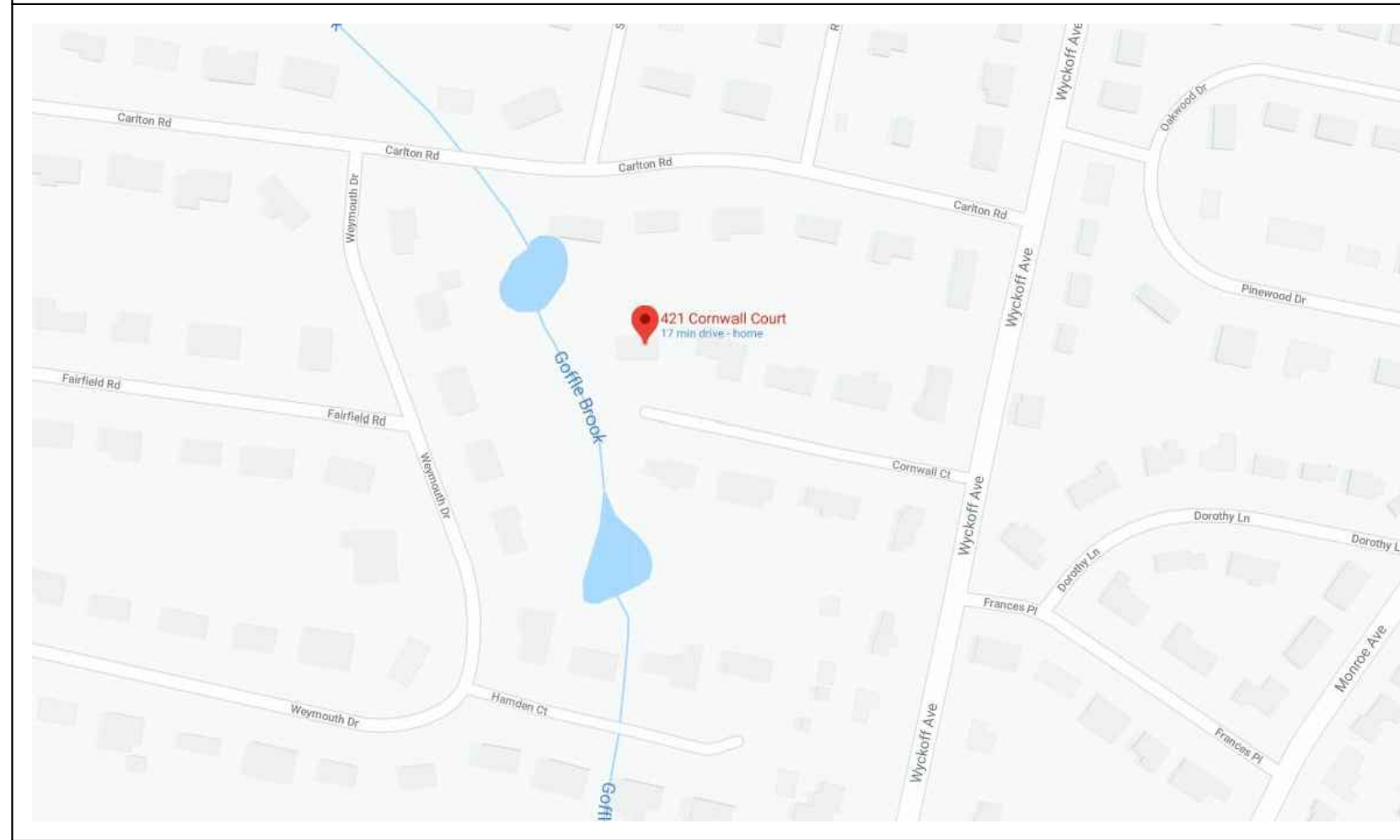


PROPOSED CONCEPTUAL DESIGN FOR: THE GOODMAN RESIDENCE

421 CORNWALL COURT
WYCKOFF, NJ 07481

KEY MAP



ZONING INFORMATION

ZONE: RA-25 BLOCK: 314 LOT: 47 BUILDING USE GROUP: R-5 CONSTRUCTION TYPE: TYPE V-B
STORIES: 2 AREA: 3,320 SF

PRINCIPAL BUILDING					
ZONING ORD. SECTION NO.	REQUIRED	EXISTING	PROPOSED	VARIANCE	
MIN. LOT AREA	186: ATCH. 1	25,000 SF	± 40,313 SF	NO CHANGE	COMPLIES
MIN. LOT WIDTH & FRONTAGE	186: ATCH. 1	125.00'	125.00'	NO CHANGE	COMPLIES
DEPTH	186: ATCH. 1	150.00'	± 210.00'	NO CHANGE	COMPLIES
FRONT YARD	186: ATCH. 1	40.00'	42.10'	NO CHANGE	COMPLIES
EACH SIDE YARD (1)(2)	186: ATCH. 1	20.00'	75.5' (L) ; 21.1' (R)	NO CHANGE	COMPLIES
GROSS BUILDING AREA (2)	186-66C	1,200 SF	2,607 SF	3,320 SF	COMPLIES
REAR YARD	186: ATCH. 1	40.00'	35.5'	33.1'	VARIANCE REQ.
ACC. SIDE YARD (3)	186: ATCH. 1	15.00'	N/A	N/A	N/A
ACC. REAR YARD	186: ATCH. 1	20.00'	N/A	N/A	N/A
MAX. STORIES	186: ATCH. 1	2 1/2	2	NO CHANGE	COMPLIES
MAX. BUILDING HEIGHT	186: ATCH. 1	35.00'	±31.5'	NO CHANGE	COMPLIES
MIN. HABITABLE F.A. PER DWELLING UNIT	186: ATCH. 1	1,200 S.F.	4,082 SF	4,434 SF	COMPLIES
MAX. PERCENT OF LOT COVERAGE BY PRINCIPAL BUILDING	186: ATCH. 1	15%	6.47%	8.24%	COMPLIES
		EXISTING COVERAGE: 2,607 SF 40,313 SF = 6.47%		PROPOSED COVERAGE: 3,320 SF 40,313 SF = 8.24%	
MAX. PERCENT OF LOT COVERAGE BY PRINCIPAL AND ACCESSORY BUILDING	186: ATCH. 1	20%	7.71%	9.39%	COMPLIES
		EXISTING LOT COVERAGE: 3,107 SF 40,313 SF = 7.71%		PROPOSED LOT COVERAGE: 3,784 SF 40,313 SF = 9.39%	
MAX. PERCENT OF IMPERVIOUS COVERAGE (4)	186-23:P	28.5%	16.31%	16.61%	COMPLIES
		EXISTING LOT COVERAGE: 6,574 SF 40,313 SF = 16.31%		PROPOSED LOT COVERAGE: 6,696 SF 40,313 SF = 16.61%	
MAX. PERCENT OF REAR YARD COVERAGE BY ACCESSORY BUILDINGS (5)	186-22:K	40%	N/A	N/A	N/A
		EXISTING LOT COVERAGE: --		PROPOSED LOT COVERAGE: --	

(1) IN THE RA-25 AND RA-15 ZONES, GARAGES WHICH FACE THE SIDE YARD SHALL BE NO LESS THAN 27 FEET FROM THE SIDE YARD PROPERTY LINE.
(2) IN THE RA-25 ZONE, IF A HOME HAS A GROSS BUILDING AREA WHICH EXCEEDS 3,700 SF, THE MINIMUM SIDE YARD SETBACK SHALL BE 25' EXCLUSIVE OF FARM BUILDINGS.
(3) EXCLUSIVE OF FARM BUILDINGS.
(4) MAXIMUM IMPERVIOUS COVERAGE IS TO BE DETERMINED AS FOLLOWS:
- LOTS <10,000 SF: 45%
- LOTS >25,000 SF: 28.5%
- LOTS >10,000 SF AND <25,000 SF: EQUAL TO 45 DIVIDED BY THE SQUARE ROOT OF THE LOT AREA
(5) DOES NOT APPLY TO GARAGES AND PRIVATE SWIMMING POOLS OR AN ACCESSORY BUILDING WHICH IS ATTACHED TO ITS PRINCIPAL BUILDING BY A COVERED PASSAGEWAY OR WHICH HAS ONE WALL IN COMMON WITH IT. SUCH BUILDING SHALL BE SUBJECT TO ALL THE YARD REQUIREMENTS APPLICABLE TO THE PRINCIPAL BUILDING.

BOARD APPROVALS

CHAIRMAN	DATE
SECRETARY	DATE
BOARD ENGINEER	DATE

DRAWING LIST

DWG NO.	DESCRIPTION	LATEST REVISION
A.000	KEY MAP, TITLE, NOTES, SITE PLAN	JUL. 06, 2021
A.100	EXISTING PLAN: BASEMENT - FIRST & ROOF PHOTOS	JUL. 06, 2021
A.200	PROPOSED PLAN: BASEMENT	JUL. 06, 2021
A.201	PROPOSED PLAN: FIRST FLOOR	DEC. 10, 2020
A.500	EXTERIOR ELEVATIONS	DEC. 10, 2020
A.600	CONCEPTUAL RENDERINGS	DEC. 10, 2020

SQUARE FOOTAGE

SQUARE FOOTAGE	EXISTING	PROPOSED	TOTAL
BASEMENT	1,503	423	1,926
FIRST FLOOR	2,337	411	2,748
SECOND FLOOR	561	0	561
TOTAL S.F.	4,401	834	5,235

DESIGN DRAWINGS

PLAN ARCHITECTURE
125 PATERSON AVE, Second Floor
Little Falls, NJ 07424
dan@plnarc.com
T: 973-837-8399

REVISIONS:

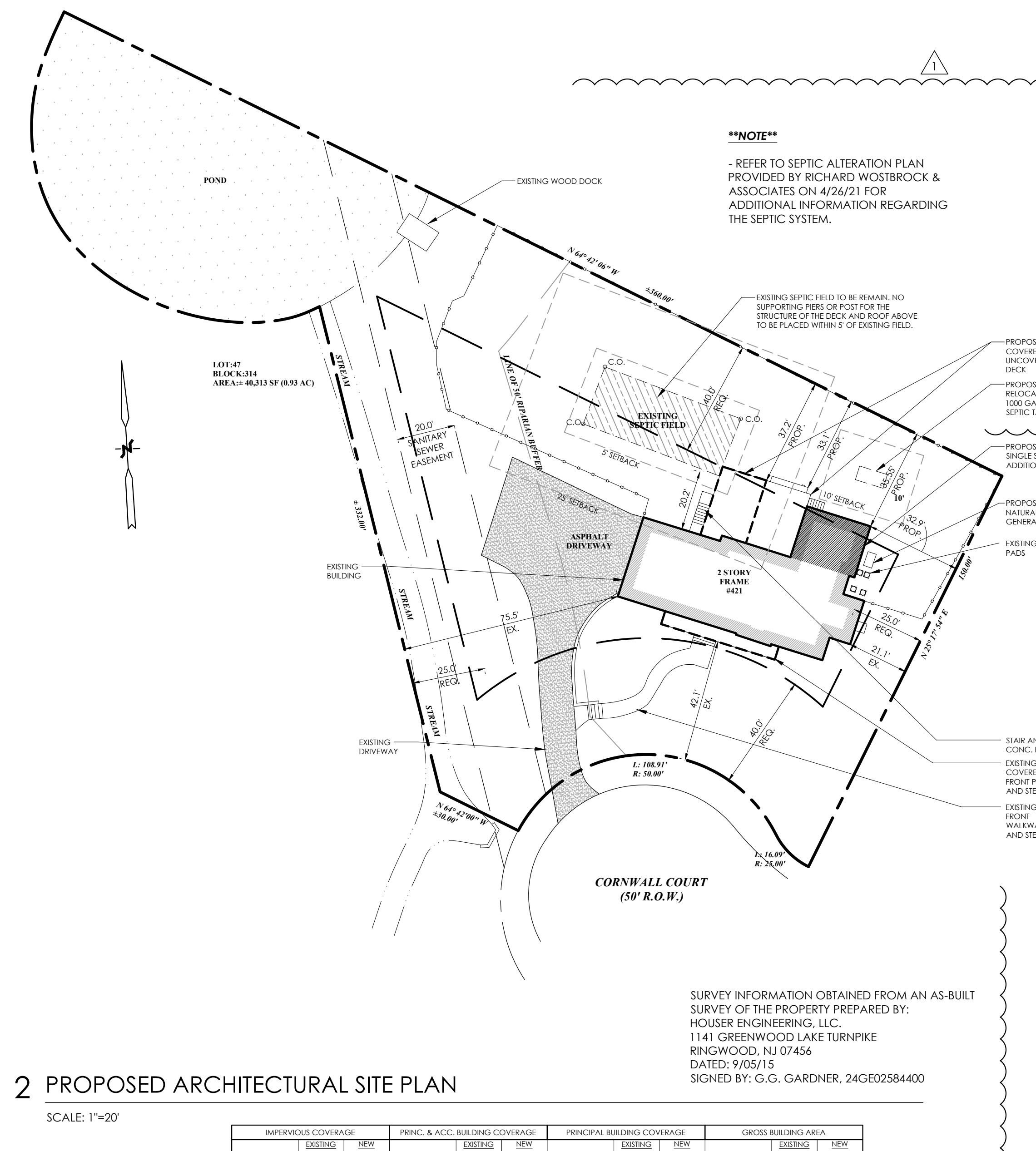
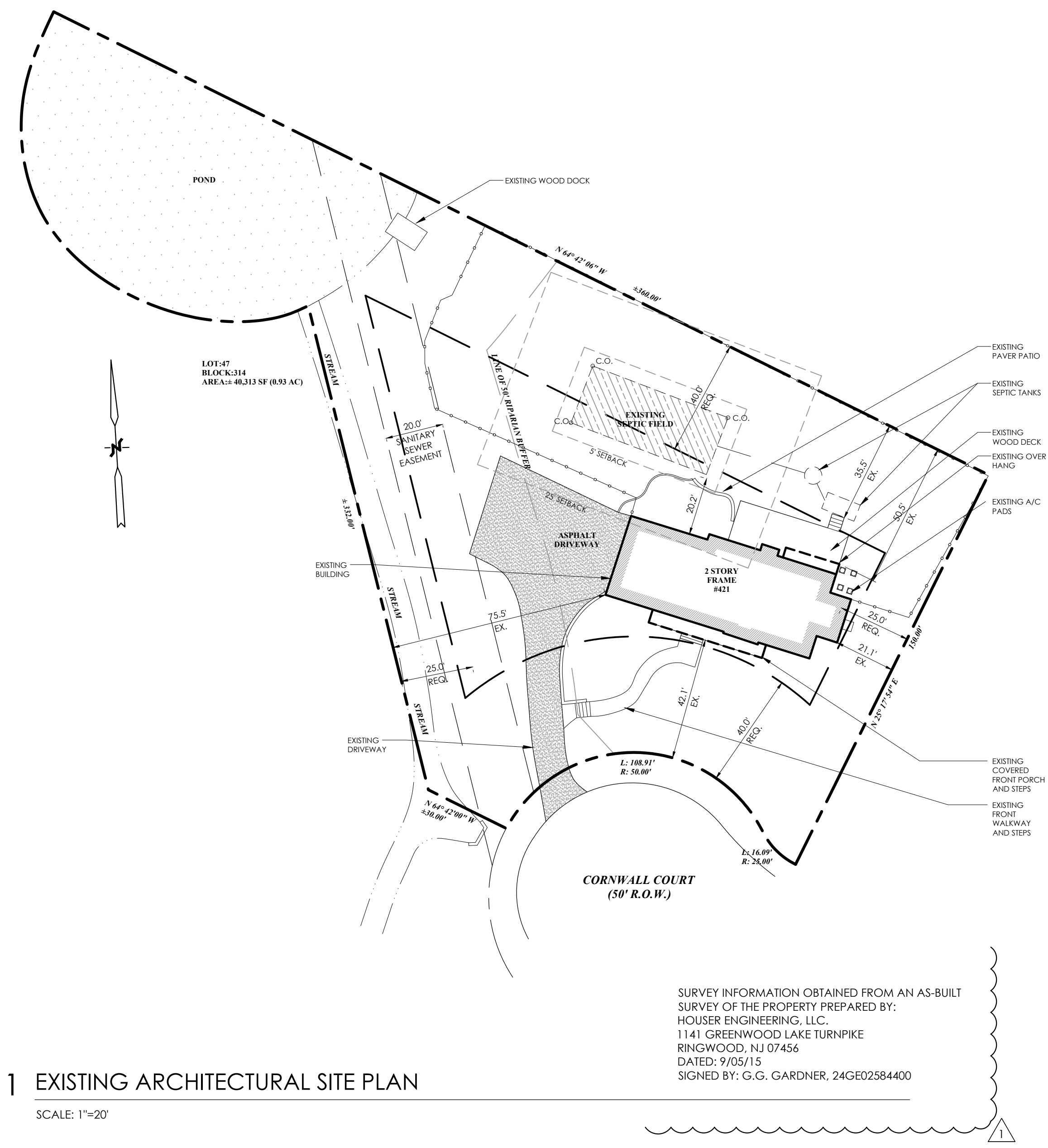
NO.	ENG. DEPT. COMMENTS	DATE
1	ENG. DEPT. COMMENTS	07.06.21

PROJECT: PROPOSED CONCEPTUAL DESIGNS FOR
THE GOODMAN RESIDENCE
421 CORNWALL COURT
WYCKOFF, NJ 07481

FLOOR OR FLOORS (IF APPLICABLE):
TITLE
PROPOSED AND EXISTING SITE PLAN, ZONING

SEAL & SIGNATURE: _____ DATE: DEC. 10, 2020
PROJECT NO.: 19-0928
SCALE: AS NOTED
DWG. BY: JP
CHK. BY: DD
DWG. NO.: **A.000**

DANIEL D'AGOSTINO, A.I.A.
N.J. LIC. NO. 2140188000

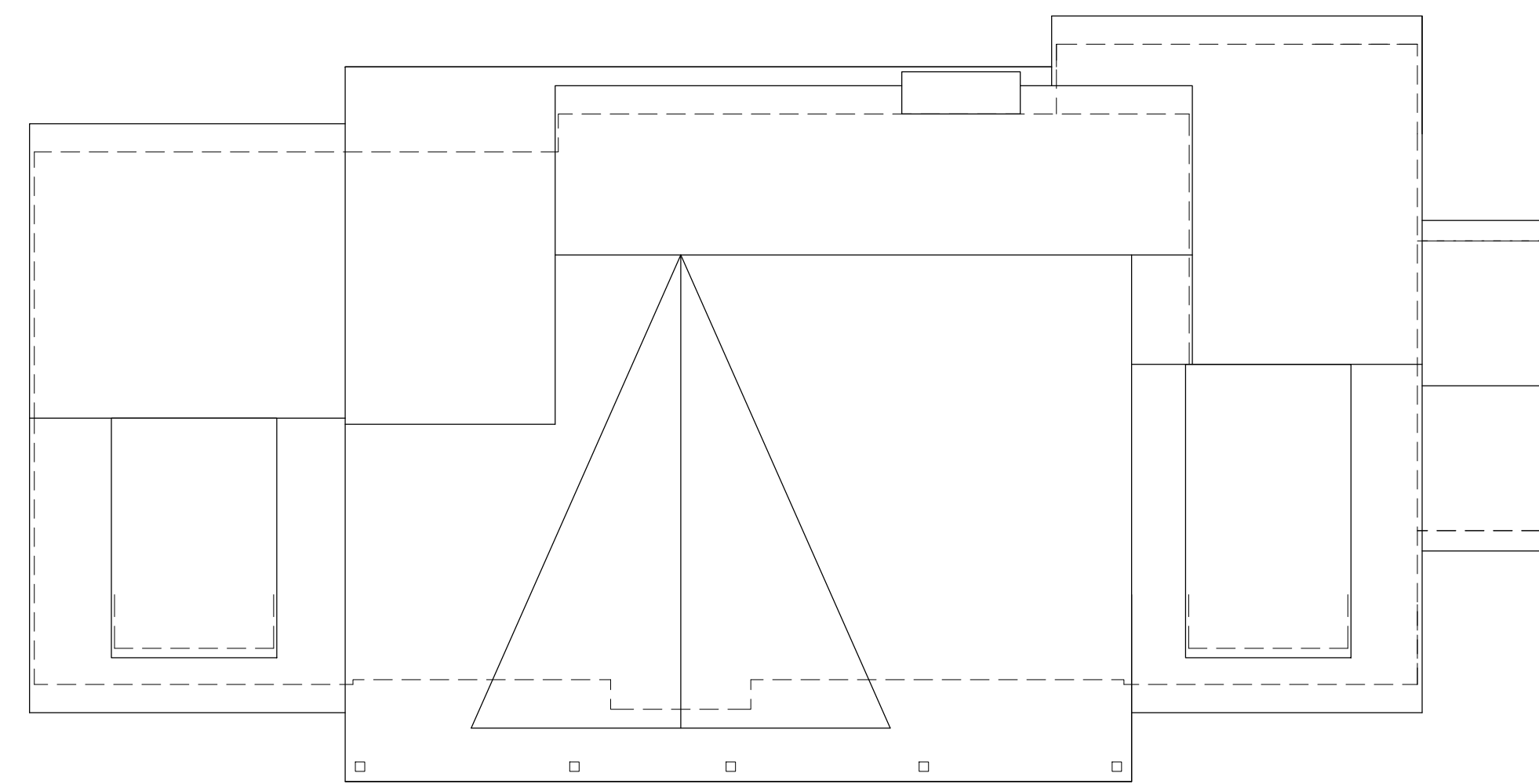


IMPERVIOUS COVERAGE		PRINC. & ACC. BUILDING COVERAGE		PRINCIPAL BUILDING COVERAGE		GROSS BUILDING AREA		
EXISTING	NEW	EXISTING	NEW	EXISTING	NEW	EXISTING	NEW	
BUILDING	2337	2748	BUILDING	2337	2748	BUILDING	2337	2748
FRONT PORCH	308	308	FRONT PORCH	200	200	FRONT PORCH	200	200
FRONT WALK	304	304	FRONT WALK	0	0	FRONT WALK	0	0
DRIVEWAY	2577	2577	DRIVEWAY	0	0	DRIVEWAY	0	0
REAR PATIO	370	0	REAR PATIO	0	0	REAR PATIO	0	0
REAR D.H.	70	0	REAR D.H.	70	0	REAR D.H.	70	0
A/C PADS	16	0	A/C PADS	0	0	A/C PADS	0	0
GENERATOR	0	15	GENERATOR	0	0	GENERATOR	0	0
DECK	500	390	DECK	500	390	DECK	500	390
COVERED DECK	0	372	COVERED DECK	0	372	COVERED DECK	0	372
STAIRS & CONC.	0	74	STAIRS & CONC.	0	74	STAIRS & CONC.	0	74
DOCK	0	0	DOCK	0	0	DOCK	0	0
TOTAL S.F.	4574	4694	TOTAL S.F.	3107	3784	TOTAL S.F.	2607	3320

SURVEY INFORMATION OBTAINED FROM AN AS-BUILT SURVEY OF THE PROPERTY PREPARED BY:
HOUSER ENGINEERING, LLC.
1141 GREENWOOD LAKE TURNPIKE
RINGWOOD, NJ 07456
DATED: 9/05/15
SIGNED BY: G.G. GARDNER, 24GE02584400

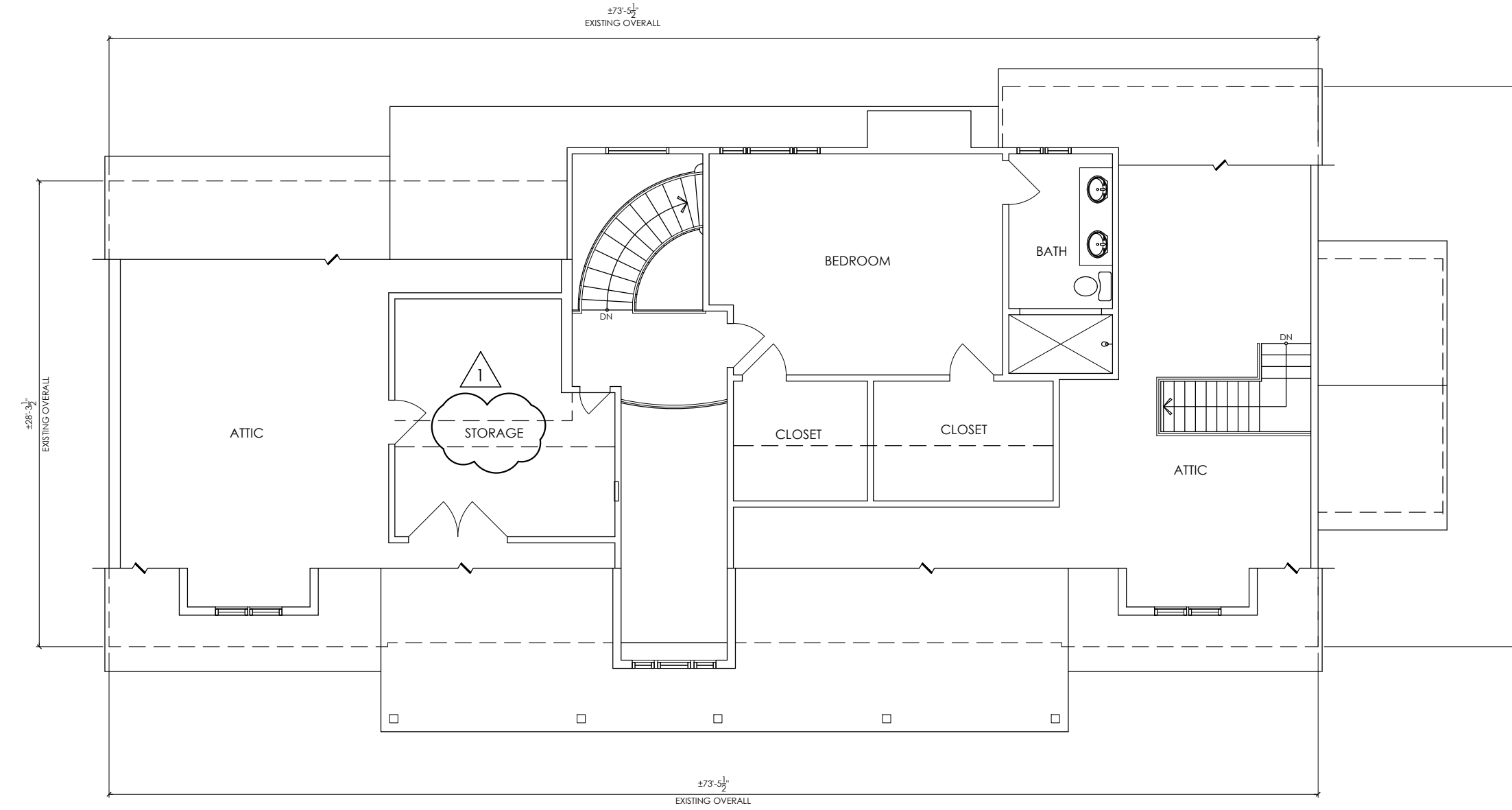
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EXISTING PHOTOS



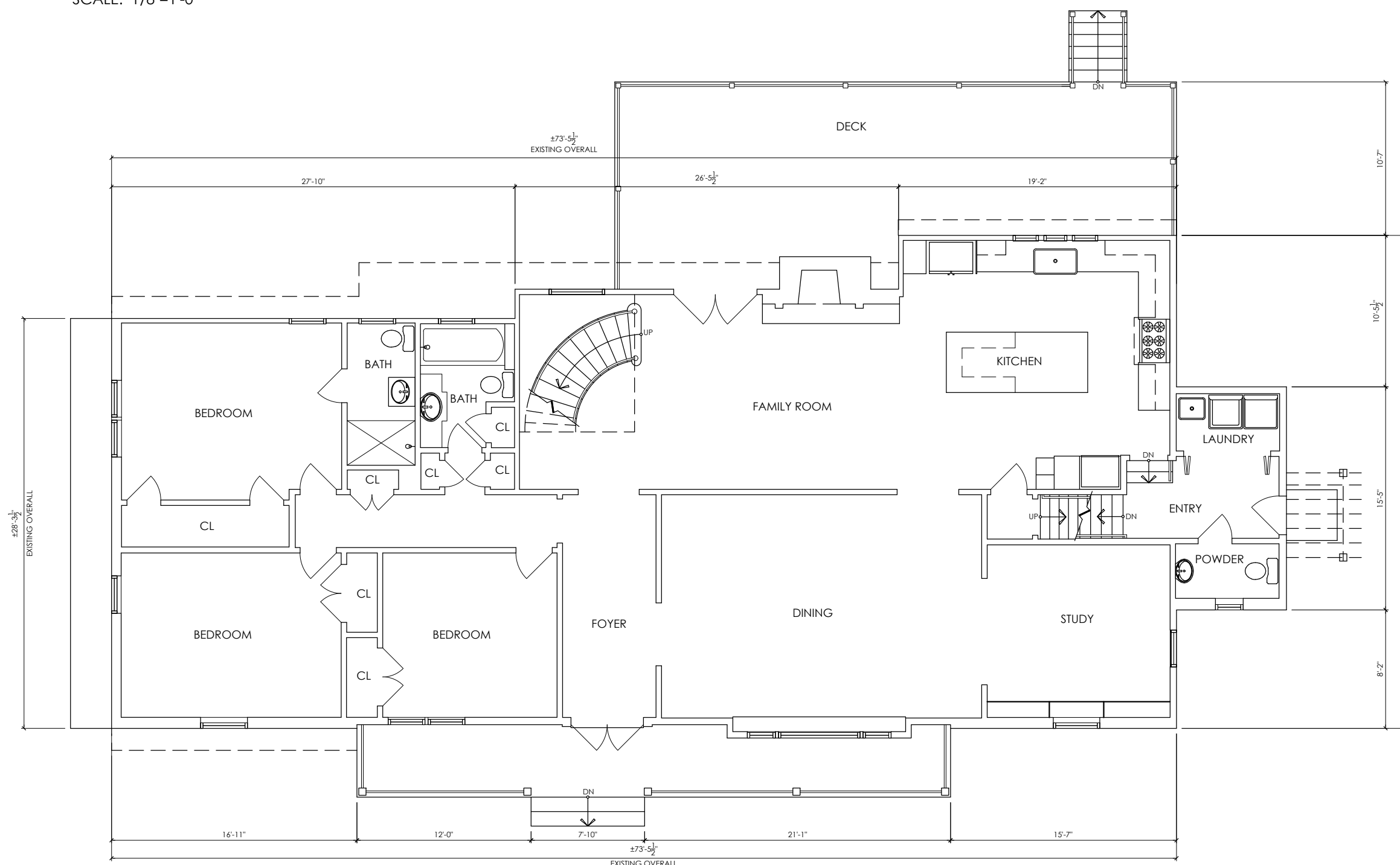
4 EXISTING FLOOR PLAN: ROOF

SCALE: 1/8"=1'-0"



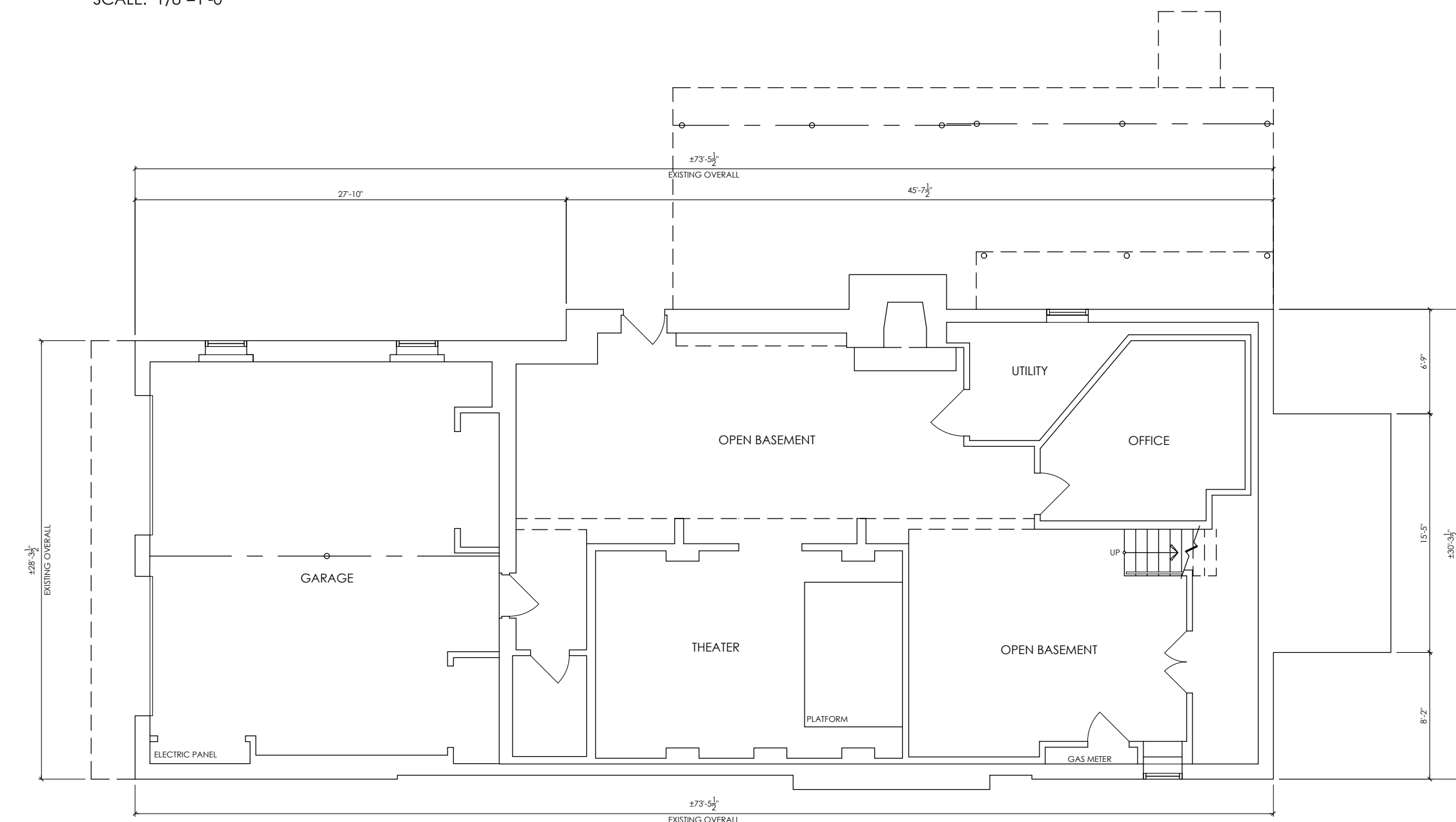
3 EXISTING FLOOR PLAN: SECOND FLOOR

SCALE: 1/8"=1'-0"



2 EXISTING FLOOR PLAN: FIRST FLOOR

SCALE: 1/8"=1'-0"



1 EXISTING FLOOR PLAN: BASEMENT

SCALE: 1/8"=1'-0"

DESIGN DRAWINGS

PLAN ARCHITECTURE
 125 PATERSON AVE, Second Floor
 Little Falls, NJ 07424
 dan@plnarc.com
 T: 973-837-8399

REVISIONS:

NO.	ENG. DEPT. COMMENTS	07.06.21
NO.	DESCRIPTION	YEAR.MO.DA

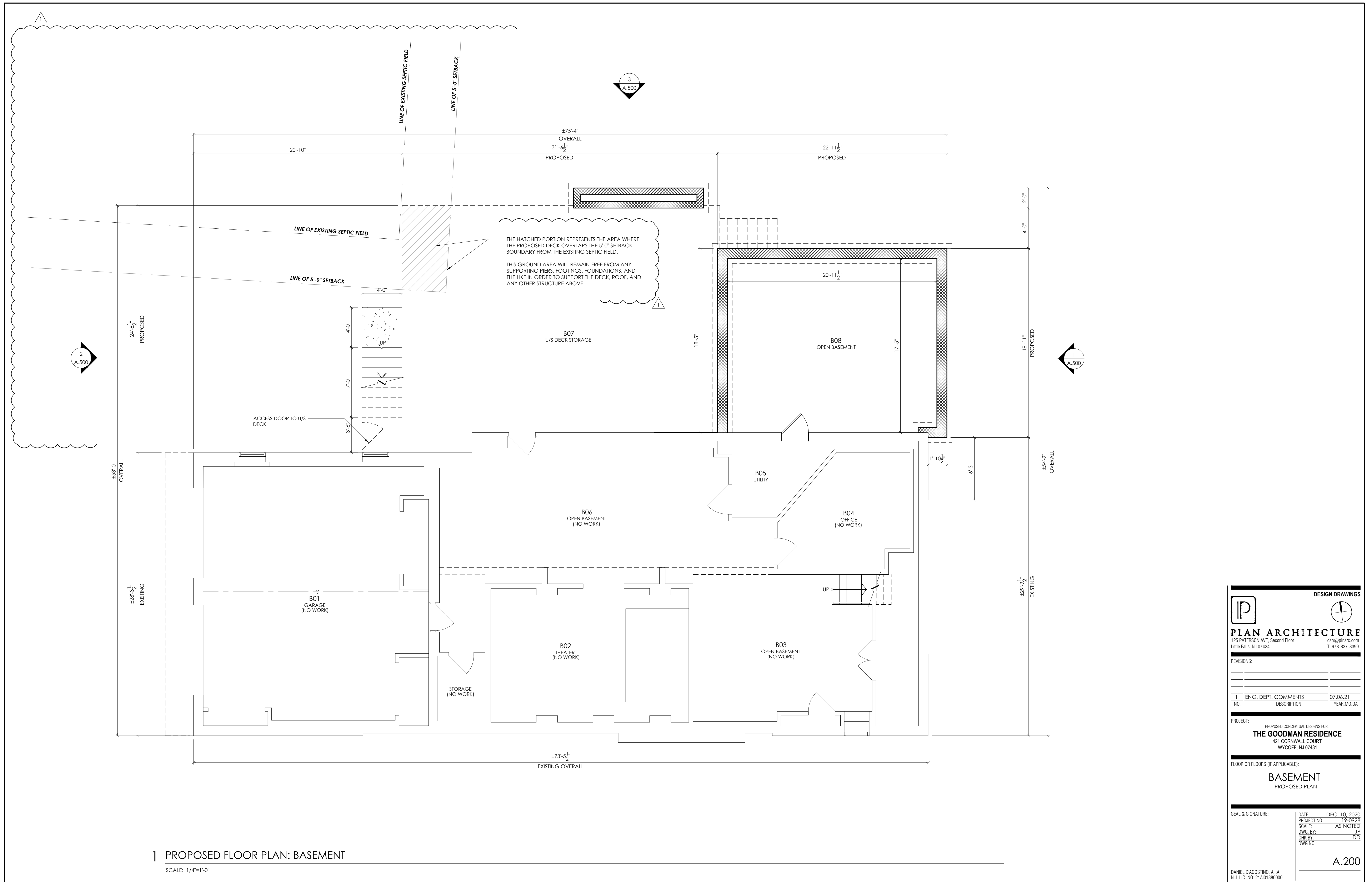
PROJECT: PROPOSED CONCEPTUAL DESIGNS FOR
THE GOODMAN RESIDENCE
 421 CORNWALL COURT
 WYCOFF, NJ 07481

FLOOR OR FLOORS (IF APPLICABLE):
BASEMENT - ROOF
 EXISTING PLAN & EXISTING PHOTOS

SEAL & SIGNATURE: _____ DATE: DEC. 10, 2020
 PROJECT NO.: 19-0928
 SCALE: AS NOTED
 DWG. BY: JP
 CHK. BY: DD
 DWG NO.: _____

DANIEL D'AGOSTINO, A.I.A.
 N.J. LIC. NO. 21A01880000

A.100



1 PROPOSED FLOOR PLAN: BASEMENT

SCALE: 1/4"=1'-0"

DESIGN DRAWINGS

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125 PATERSON AVE, Second Floor
Little Falls, NJ 07424
dan@plnarc.com
T: 973-837-8399

REVISIONS:

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NO.	DESCRIPTION	YEAR.MO.DA
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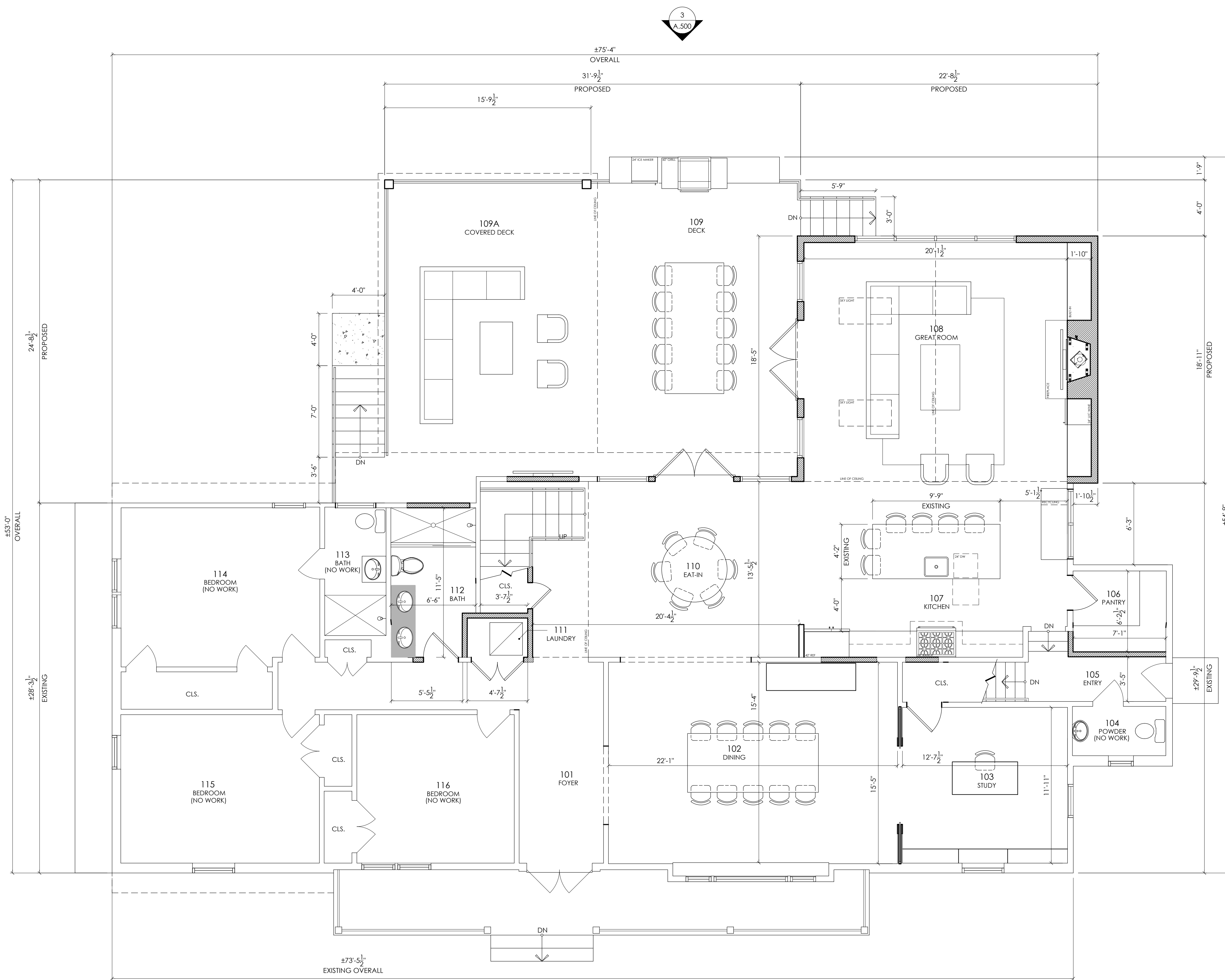
PROJECT: PROPOSED CONCEPTUAL DESIGNS FOR
THE GOODMAN RESIDENCE
421 CORNWALL COURT
WYCOFF, NJ 07481

FLOOR OR FLOORS (IF APPLICABLE):
BASEMENT
PROPOSED PLAN

SEAL & SIGNATURE: _____ DATE: DEC. 10, 2020
PROJECT NO.: 19-0928
SCALE: AS NOTED
DWS. BY: JP
CHK BY: DD
DWG NO.: _____

DANIEL D'AGOSTINO, A.I.A.
N.J. LIC. NO. 21401880000

A.200



1 PROPOSED FLOOR PLAN: FIRST FLOOR

SCALE: 1/4"=1'-0"

DESIGN DRAWINGS

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 125 PATERSON AVE, Second Floor dan@plnarc.com
 Little Falls, NJ 07424 T: 973-837-8399

REVISIONS:

NO.	DESCRIPTION	YEAR.MO.DA

PROJECT: PROPOSED CONCEPTUAL DESIGNS FOR
THE GOODMAN RESIDENCE
 421 CORNWALL COURT
 WYCOFF, NJ 07481

FLOOR OR FLOORS (IF APPLICABLE):
FIRST FLOOR
 PROPOSED PLAN

SEAL & SIGNATURE:	DATE: DEC. 10, 2020
	PROJECT NO.: 19-0928
	SCALE: AS NOTED
	DWG. BY: JP
	CHK BY: DD
	DWG NO.:

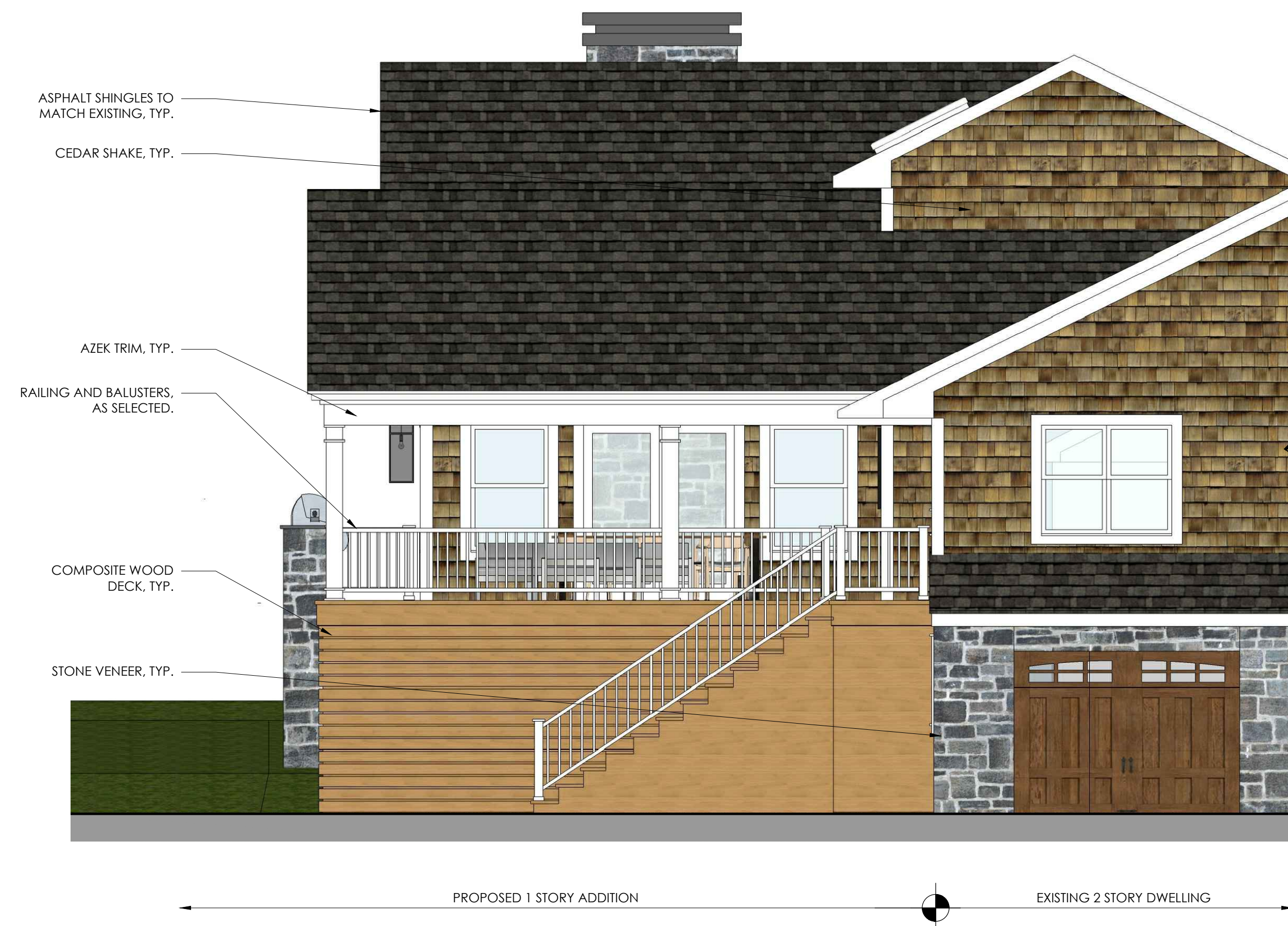
A.201

DANIEL D'AGOSTINO, A.I.A.
 N.J. LIC. NO. 21401880000



3 EXTERIOR ELEVATION: REAR

SCALE: 1/4"=1'-0"



2 PARTIAL EXTERIOR ELEVATION: LEFT

SCALE: 1/4"=1'-0"



1 PARTIAL EXTERIOR ELEVATION: RIGHT

SCALE: 1/4"=1'-0"

DESIGN DRAWINGS

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REVISIONS:

NO.	DESCRIPTION	YEAR.MO.DA

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THE GOODMAN RESIDENCE
 421 CORNWALL COURT
 WYCOFF, NJ 07481

FLOOR OR FLOORS (IF APPLICABLE):
 EXTERIOR ELEVATIONS

SEAL & SIGNATURE: _____ DATE: DEC. 10, 2020
 PROJECT NO.: 19-0928
 SCALE: AS NOTED
 DWG. BY: JP
 CHK BY: DD
 DWG NO.:

A.500

DANIEL D'AGOSTINO, A.I.A.
 N.J. LIC. NO. 21A0188000

CONCEPTUAL RENDERINGS



DESIGN DRAWINGS

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 Little Falls, NJ 07424
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REVISIONS:

NO.	DESCRIPTION	YEAR.MO.DA

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 DWG NO.: _____

DANIEL D'AGOSTINO, A.I.A.
 N.J. LIC. NO. 21A01880000

A.600