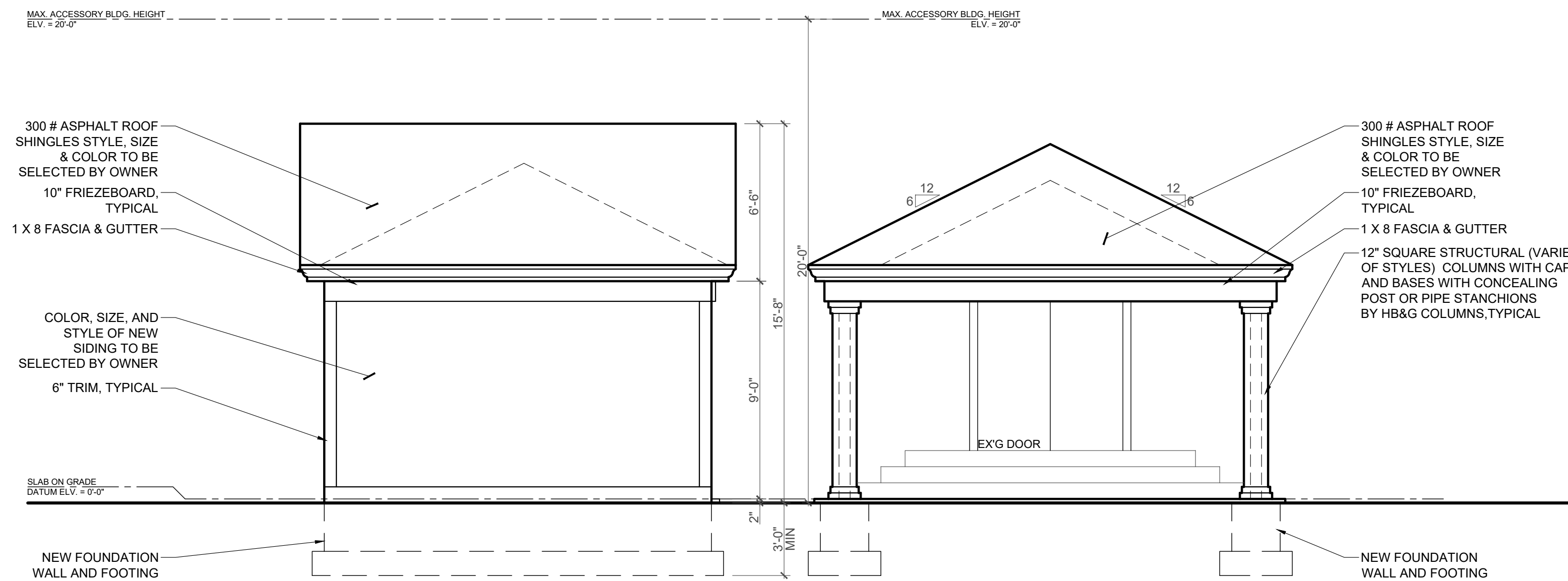


ICE & SNOW SHIELD NOTES

ICE & SNOW SHIELD
8'-0" UP FROM FASCIA

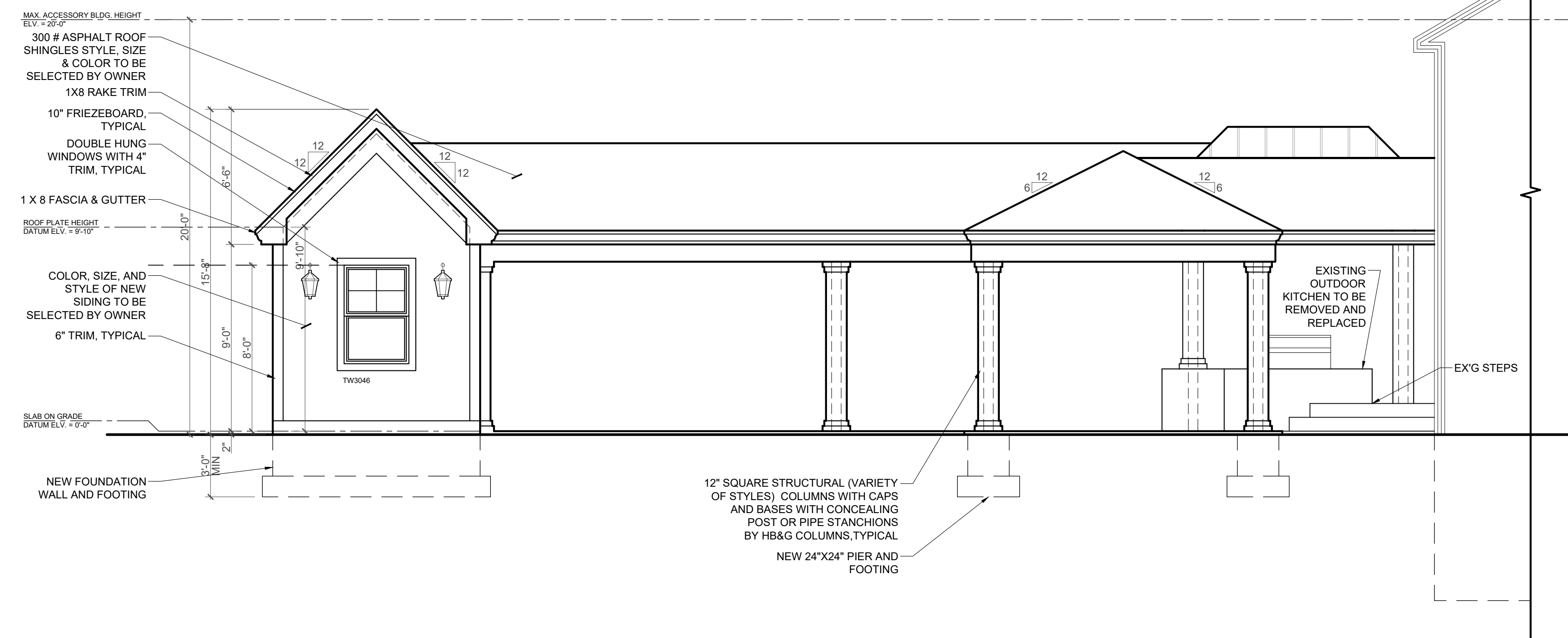
GENERAL NOTES

1. ALL WORK IS TO COMPLY WITH ALL BUILDING CODES AND ZONING ORDINANCES ADOPTED BY THE TOWNSHIP OF WYCKOFF, BERGEN COUNTY, NEW JERSEY
2. BUILDING HEIGHT/RIDGE HEIGHT TO BE VERIFIED BY SITE ENGINEER PRIOR TO CONSTRUCTION. BUILDING HEIGHT MAXIMUM TO BE: AS PER LOCAL ORDINANCE
3. CONTRACTOR IS TO VERIFY ALL CONDITION IN THE FIELD PRIOR TO STARTING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN PLAN OR ITEMS REQUIRING CLARIFICATION BEFORE PROCEEDING WITH CONSTRUCTION
4. JOB SITE IS TO BE KEPT REASONABLY CLEAN AND ALL CONSTRUCTION DEBRIS IS TO BE CARTED AWAY AT THE END OF THE JOB.
5. ALL WORK IS TO BE DONE BY SKILLED MECHANICS IN A WORKMANLIKE MANNER SET STRAIGHT AND PLUMB.
6. ALL MATERIALS USED TO BE OF FIRST QUALITY FREE FROM DEFECTS.
7. ARCHITECT DOES NOT HAVE FIELD SUPERVISION OR CONSTRUCTION ADMINISTRATION RESPONSIBILITIES FOR THIS PROJECT.
8. CONTRACTOR IS TO LOCATE STRUCTURE AND SET ELEVATIONS AND CONTOURS WITH HIS SURVEYOR AND LICENSED PROFESSIONAL ENGINEER.
9. CONTRACTOR TO VERIFY, IN WRITING, IF STRUCTURE DOES NOT COMPLY WITH LOCAL BUILDING HEIGHT CODE DURING CONSTRUCTION AND PRIOR TO CONSTRUCTION OF THE RIDGE.
10. CONTRACTOR AND/OR HOMEOWNER IS REQUIRED TO HAVE BUILDER'S INSURANCE AND HOMEOWNER'S WARRANTY PROGRAM.
11. GIVEN ANY DISCREPANCIES IN SPECIFICATIONS OR MATERIALS CONTRACTOR MUST USE MATERIAL OF SUPERIOR QUALITY.
12. ALL FRAMED WINDOW OPENINGS TO BE VERIFIED WITH BUILDER AND WINDOW SUPPLIER PRIOR TO ORDERING.
13. CONTRACTOR TO INSTALL RAM BOARD AND TAPE ALL JOINTS FLOOR PROTECTIONS
14. CONTRACTOR TO FOLLOW RESCHECK



FRONT ELEVATION

SCALE: 1/4"=1'-0"



RIGHT ELEVATION

SCALE: 1/4"=1'-0"

KICK OUT FLASHING:

KICK OUT FLASHING TO BE PROVIDED ON ALL AT ROOF FASCIA TO WALL / ROOF INTERFACE. AS PER R905.2.8.3

WINDOW & TRIM NOTE:

ALL ANDERSON WINDOW TO HAVE AZEK SILL 3/4"X4 LEGS & 3/4" 6" TOP WITH RAMS CROWN AND FLASHING ALL TRIM TO BE AZEK TRIM

NOTE:
MIN 6" PROTECTION CLEARANCE FROM GRADE AS PER SECTION R317.1 NOTE 5 WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6" FROM THE GROUND OR LESS THAN 2 INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER

DRIP EDGE NOTE:

DRIP EDGE TO BE PROVIDED ON EAVES AND RAKES ON ALL SHINGLE ROOFS, AS PER R905.2.8.5.

LIST APPLICABLE CODES

This project has been designed in strict accordance with the following codes:

- Building:** 2018 International Building/Residential Code the New Jersey Edition
- Mechanical:** International Mechanical Code 2018 and the International Fuel Gas Code 2018
- Plumbing:** National Standard Plumbing Code / NSPC 2018
- Electric:** National Electrical Code / NFC 2017
- Fire:** NFPA 13 2018, IBC NJ ed. 2018
- Handicapped:** NJAC 5:23-7 and ICC / ANSI A117.1-2018
- Existing Bldg.** UCC Rehabilitation Subcode NJAC 5:23-6
- Energy:** IECC 2015/ Ashra std. 90.1 2016

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ADDITION / RENOVATION FOR:
MR. ANTHONY GRANO
178 COTTAGE ROAD
WYCKOFF, NJ 07481
BLOCK: 456; LOT: 24
(NAME & NAME)

DRAWING TITLE:
ELEVATIONS
PROJECT NUMBER: 21-104 SCALE: 1/4"= 1'-0"
DRAWN BY: AG/EC CHECKED BY: SUPV
DATE:
MARCH 29, 2021; APRIL 5, 2021;
OCTOBER 8, 2021

ISSUED FOR VARIANCE: OCTOBER 8, 2021

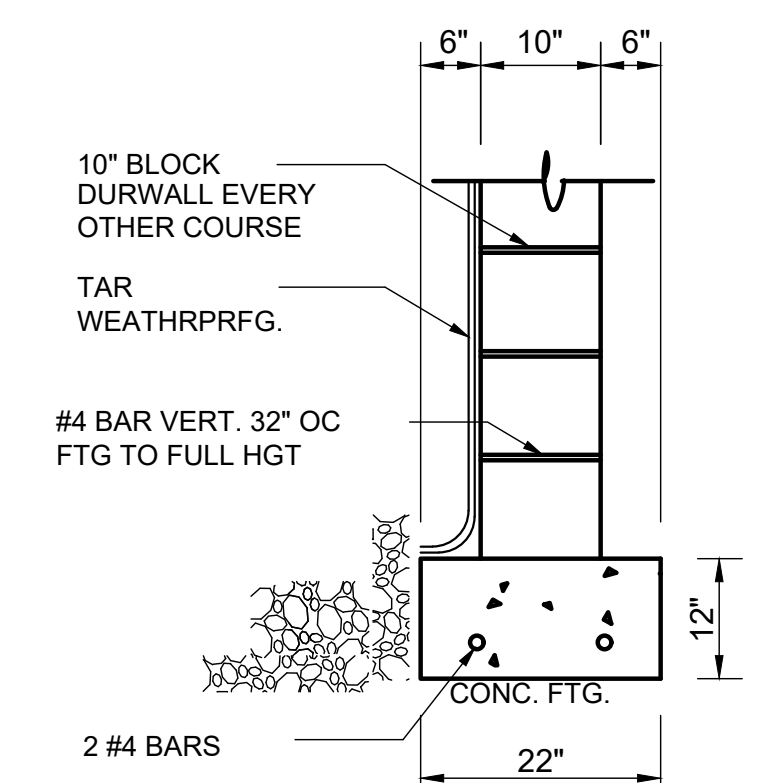
DRAWING #
A-1
1 OF 4

GENERAL NOTES

- IF ANY DISCREPANCIES OCCUR IN THESE CONSTRUCTION DOCUMENTS THE HIGHER QUALITY PRODUCT OR INSTALLATION PROCEDURE SHALL SUPERSEDE
- DESIGN LOADS
 - FLOOR: 40 P.S.F. LIVE LOAD / 10 P.S.F. DEAD LOAD
 - ROOF: 30 P.S.F. LIVE LOAD / 10 P.S.F. DEAD LOAD
 - SOIL PRESSURE: 2000 P.S.F.
 - CONCRETE
 - A. UNLESS OTHERWISE NOTED, ALL SLABS ON GRADE SHALL BE 3000 P.S.I. (28 DAY COMPRESSIVE STRENGTH) CONCRETE ON 4" SAND OR GRAVEL FILL WITH 6X6-10" W/M REINFORCING. INTERIOR SLABS SHALL BE PLACED ON A 6 MILL POLYETHYLENE VAPOR BARRIER
 - B. PROVIDE 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS ON ADJUTING CONCRETE OR MASONRY WALLS OCCURRING IN EXTERIOR OR UNHEATED INTERIOR AREAS
 - FOUNDATIONS
 - A. VERIFY DEPTH OF FROST FOOTINGS WITH LOCAL CODES
 - B. UNLESS OTHERWISE NOTED, FOUNDATION WALLS SHALL BE CONSTRUCTED WITH:
 - GRADE "M" TYPE 1, HOLLOW LOAD-BEARING CONCRETE MASONRY UNITS.
 - TYPE "M" MORTAR
 - HORIZONTAL REINFORCING: "DURO-O-WALL" CONTINUOUS EVERY OTHER BLOCK COURSE
 - VERTICAL REINFORCING: REINFORCE WALLS OF EXCAVATED AREAS WITH #4 VERTICAL REBAR AT 32" O.C. AND ONE AT EACH CORNER AND BOTH SIDES OF ANY OPENINGS
 - PLACE 1/2" DIA. X 12" LONG, SILL PLATE ANCHOR BOLTS AT EACH VERTICAL REBAR (WHERE OCCURRING) OR AT 6'-0" O.C. AND AT EACH CORNER AND BOTH SIDES OF OPENINGS
 - WATERPROOF WALLS OF EXCAVATED AREAS WITH TWO COATS OF TROWLED ON ASPHALTIC BASE WATERPROOFING COMPOUND, UNLESS OTHERWISE NOTED.
 - 4" DIA. DRAINAGE TILE AT PERIMETER OF EXCAVATED AREAS. COVER TOP OF JOINTS WITH 1 LB. FELT AND MINIMUM OF 1" COARSE ROCK OR GRAVEL. SLOPE TILE 3/16" PER FOOT MINIMUM TO POINT OF DISCHARGE.
 - PROVIDE TERMITES PROTECTION AS REQUIRED BY HUD MIN. PROPERTY STANDARDS.
 - SUB-SOIL DRAINS SHALL BE PIPED TO AN APPROPRIATE WATER COURSE AS PER THE NATIONAL PLUMBING CODE, 13.1.5.
 - FIREPLACE SPECIFICATIONS AS PER CODE R1001
 - HEARTH EXTENSIONS SHALL BE A MIN. OF 16" FRONT & 8" ON SIDES. IF FIREBOX OPENING IS LESS THAN 6 SQFT, IF GREATER THAN 6 SQFT, 20" EXTENSION FRONT, 8" ON SIDES
 - ALL COMBUSTIBLE FORMS SHALL BE REMOVED
 - TOP CLEARANCE TO MANTEL, MANTELS WITHIN 12 INCHES OF THE FIREPLACE OPENING SHALL NOT PROJECT MORE THAN 2 INCH FOR EACH 1-INCH DISTANCE FROM SUCH AN OPENING AS PER CODE R1001.11.
 - STRUCTURAL STEEL
 - A. ALL STRUCTURAL STEEL SHALL CONFIRM WITH ASTM SPECIFICATION A-36
 - B. UNLESS OTHERWISE NOTED, PROVIDE A 2-BY PLATE BOLTED TO THE TOP FLANGE OF ALL STEEL BEAMS WITH 3/8" DIA. BOLTS RAFTERS AND JOISTS.
 - CARPENTRY
 - A. UNLESS OTHERWISE NOTED, FRAMING LUMBER SHALL BE DOUGLAS FIR CONSTRUCTION GRADE. BEAMS, HEADERS AND FLOOR JOISTS SHALL HAVE AN ALLOWABLE BENDING STRESS OF 1200 P.S.I.
 - B. UNLESS OTHERWISE NOTED PROVIDE:
 - DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS
 - DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS AND ALL POINT LOADS
 - DOUBLE 2X12 HEADERS WITH 1/2" PLYWOOD BETWEEN AT ALL DOOR AND WINDOW OPENINGS (UNLESS OTHERWISE NOTED ON PLAN)
 - 2 ROWS OF 1"X3" CROSS BRIDGING PER JOIST SPAN
 - CARPENTRY CONTINUED
 - FLOOR CONSTRUCTION: 3/4" T&G 4'-0"X8'-0" ADVANTECK FLOOR SYSTEM GLUED AND SCREWED.
 - USE WATER RESISTANT GYPSUM BOARD FOR WALLS AND CEILING. USE PLYWOOD UNDERLAYMENT FLOORING WITH EXTERIOR GLUE IN ALL BATH AND TOILET AREAS.
 - EXTERIOR WALL SHEATHING: 1" EXTRUDED FOAM BOARDS WITH 1/2"X48" WIDE C.D. EXT. PLYWOOD BOTH DIRECTIONS AT ALL CORNERS. (MINIMUM R-5)
 - ALL INTERIOR WALLS AND CEILING ARE TO BE COVERED WITH GYPSUM BOARD, WITH METAL CORNER REINFORCING, TAPE, FLOAT AND SAND. (3 COATS) GARAGE WALLS AND CEILING TO BE COVERED WITH 5/8" FIRE CODE GYP. BOARD, W/IA UL RATING NO. L537
 - WALLS TO BE 6" WHERE ANY 2" DIA. OR GREATER PLUMB, PIPE, IS TO PASS THROUGH
 - MIN. 9" TREAD, MAX 8 1/4" RISER, WINDERS SHALL HAVE MIN. 6" AT ANY POINT
 - INTERIOR TRIM AND FINISHES TO BE SELECTED BY OWNER.
 - "MICROLAM" MANUFACTURED BY TRUSS JOIST CORP., BOISE, IDAHO, BENDING STRESS Fb=2800 P.S.I. THIS PRODUCT IS A LAMINATION SIMILAR TO PLYWOOD. CHECK WITH YOUR LOCAL TRUSS MANUFACTURER FOR LOCAL AVAILABILITY. CONTRACTOR TO ALLOW FOR AN ADDITIONAL 100 LIN. FT. OF MICROLAM WHEN PRICING, TO BE SPECIFIED AT THE DISCRETION OF THE OWNER AND ARCHITECT.
 - ALL WOOD RESTING ON MASONRY TO BE PRESSURE TREATED, INCLUDING ALL SILL.
 - ALL FRAMING TO BEAR NOT LESS THAN 1 1/2" ON MT. STIRRUPS, HANGERS, OR A NOMINAL LEDGER STRIP AND NOT LESS THAN 3" ON MASONRY
 - JOIST FROM OPPOSITE DIRECTIONS MUST OVERLAP NO LESS THAN 3" AND MUST BE SECURELY FASTENED
 - SIMPSON STRONG BASE AND CAPITALS SHALL BE PROVIDED TO ALL EXTERIOR COLUMNS. (ABU STYLE)
 - MISCELLANEOUS:
 - A. UNLESS OTHERWISE NOTED PROVIDE:
 - R-21 INSULATION IN 8" EXTERIOR WALLS
 - R-38 BATT INSULATION IN ALL FLOORS
 - R-49 CEILING OR RAFTERS OR ADJACENT TO THE EXTERIOR OR TO UNHEATED SPACES
 - ATTIC DUCTWORK MIN R-VALUE AS PER M106.4.5 MIN. R-VALUE TO BE R-8
 - INSTALL 6 MIL. POLYETHYLENE VAPOR BARRIERS AGAINST INSIDE OF ALL INSULATION
 - 1/2" RIGID INSULATION AT MASONRY FOUNDATION WALLS (MINIMUM R-5)
 - INSULATING DOUBLE GLAZING AT ALL EXTERIOR GLASS AREAS, AND TEMPERED GLASS IN ALL SLIDING GLASS DOORS AND WINDOWS WITH EXPOSED GLASS LESS THAN 18" ABOVE FLOOR & AS PER THE N.J. STATE BUILDING CODE.
 - CAULKING AT ALL SASH, SLIDING GLASS DOORS, ENTRANCE DOORS AND BOTTOM PLATES
 - ICE AND SNOW SHIELD SHOULD BE APPLIED 6'-0" UP FROM ALL EAVES IN ALL VALLEYS & ON ALL HIP.
 - CONTRACTOR MAY USE GPI'S AS AN ALTERNATE WITH EQUAL OR GREATER STRENGTH
 - CONTRACTOR TO FILL AIR BARRIER AND INSULATION CHECKLIST, IF REQUIRED
 - CONTRACTOR TO PROVIDE MAKEUP AIR FOR ALL KITCHEN EXHAUST FANS OVER 400 CFM, WITH A FAN OR GRAVITY DAMPER LOUVER AS PER 2018 MECHANICAL CODE.
 - CONTRACTOR SHOULD INCLUDE BLOWER DOOR TEST BASED ON MECHANICAL EQUIPMENT LOCATION DURING CONSTRUCTION
 - CONTRACTOR TO VERIFY HEIGHT OF WATER TABLE, BASMENT FLOOR HEIGHT MAY BE BASED ON SOIL CONDITIONS & WATER TABLE HEIGHT
 - D RIP EDGE TO BE PROVIDED ON EAVES AND RAKES ON ALL SHINGLE ROOFS, AS PER R605.2.8.5.
 - CONCRETE AND MASONRY FOUNDATION DAMPPROOFING AT SLAB ON GRADE IN CRAWL SPACE AND GARAGE SHALL HAVE BITUMINOUS COATING. FOR MASONRY WALLS SHALL HAVE NOT LESS THAN 3/8-INCH PORTLAND CEMENT PARKING APPLIED TO THE EXTERIOR OF THE WALL. THE PARKING SHALL BE DAMPPROOFED WITH BITUMINOUS COATING. AS PER CODE R406.1

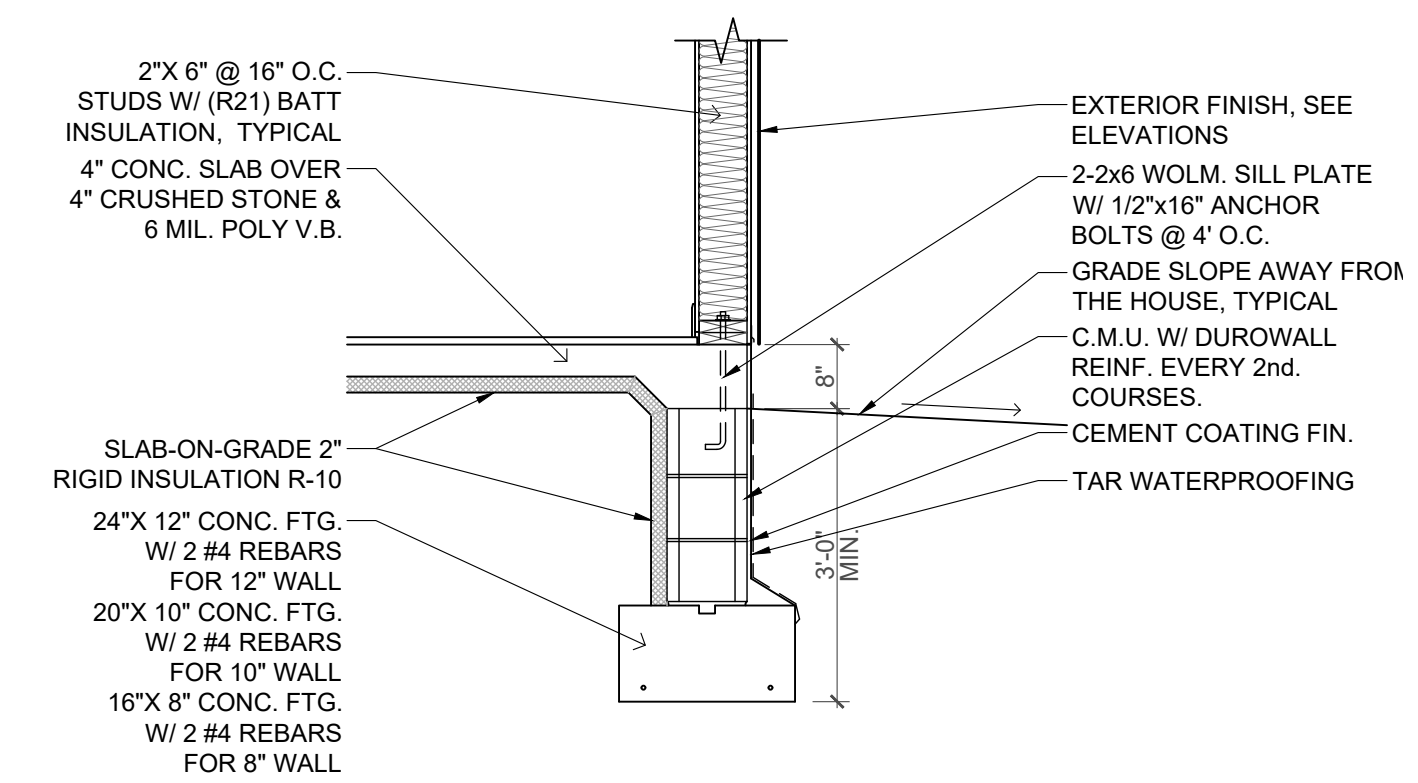
ROOM FINISH SCHEDULE

NO.	ROOM	FLOOR		WALLS	CEILING		REMARKS
		MATERIAL	BASE		MATERIAL	HEIGHT	
101	POWDER ROOM	TILE	WOOD	1/2" GYP.BD.	1/2" GYP.BD.	9'-10"	WATER RESIST. GYP.BD.
102	STORAGE	CONCRETE	NONE			9'-10"	UNFINISHED

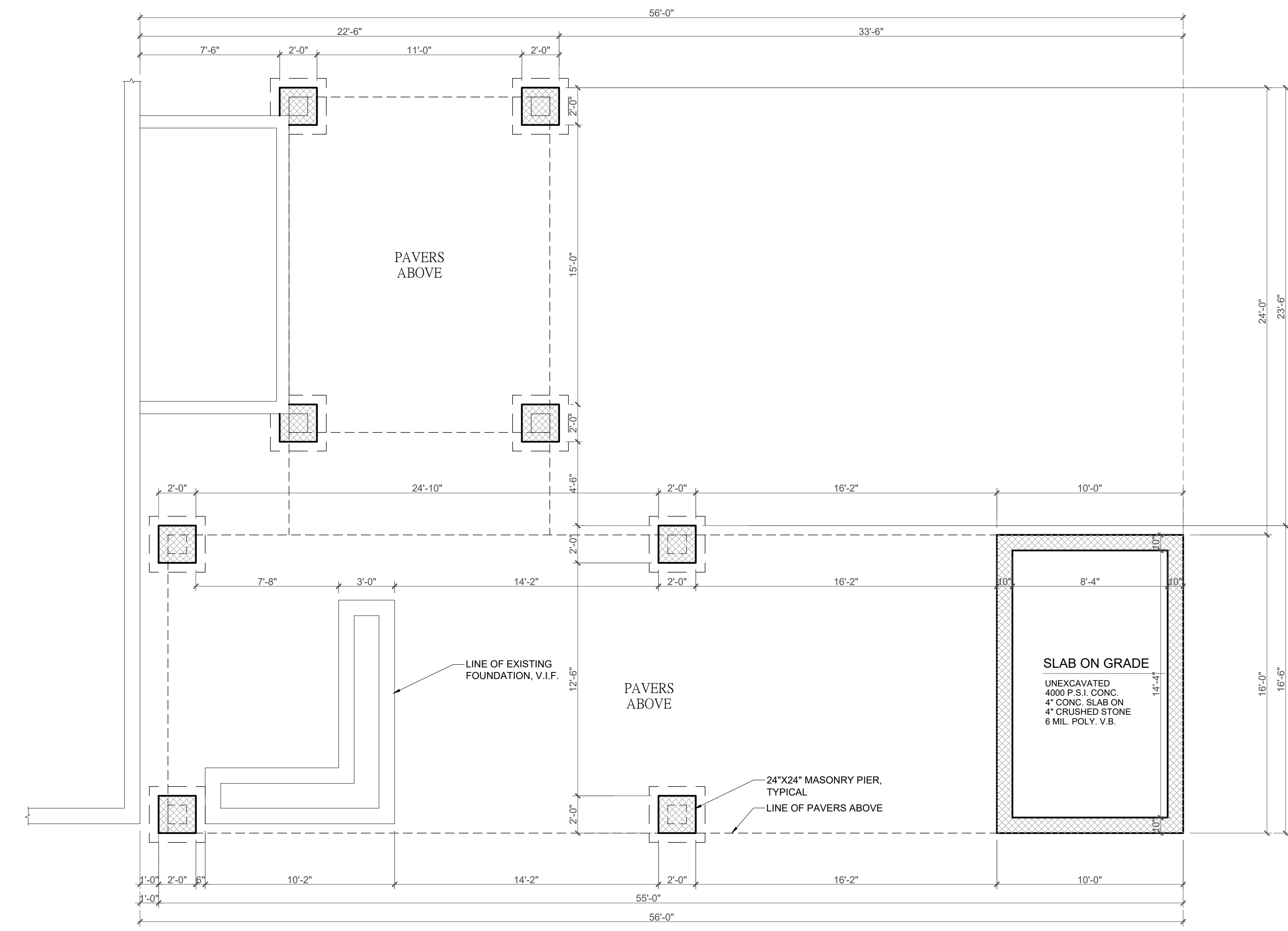


WP-2
A-2
TYP. 10" BLOCK WALL AND FTG.
SCALE: 1"=1'-0"

BACKFILL NOTE:
REINFORCING CALCULATED BASED ON 10'-0" HIGH WALL WITH 9'-0" BACKFILL OR 9'-0" WALL WITH 8'-0" BACKFILL. WHERE CONDITIONS DIFFER, FOUND. WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH TABLES R404.1(1-4) OF THE IRC.



WS-1 SLAB ON GRADE
SCALE: 1/2"=1'-0"



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

MASON & GENERAL CONTRACTOR TO CHECK DIMENSIONS ON FIRST FLOOR PLAN DURING THE LAYOUT OF FOUNDATION PRIOR TO CONSTRUCTION.

GRADE DRAINAGE SLOPE:
LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET, AS PER R401.3.

GENERAL LEGEND :

—	= EXISTING CONSTRUCTION TO REMAIN
- - - -	= EXISTING CONSTRUCTION TO BE REMOVED
—	= NEW CONSTRUCTION
▨	= NEW C.M.U. WALL
▩	= NEW CONCRETE WALL

CONCRETE & MASONRY NOTES

- ALL CONCRETE USED SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AFTER 28 DAYS. ALL FORMS TO BE STRIPPED PRIOR TO BACKFILLING
- STEEL REINFORCING BARS ARE TO BE USED IN FOOTINGS SIZED AND LOCATED AS SHOWN ON PLANS AND BE FREE FORM GREASE, OIL, RUST OR SCALE
- CONCRETE MASONRY UNITS TO BE OF LOAD BEARING TYPE WITH TOP AND BOTTOM COURSES FILLED SOLID. ANCHOR BOLTS TO BE 1/2" DIAMETER AND INSTALLED AT 6'-0" O.C. MIN.
- ALL TILE FLOORS TO BE SET IN MUD.
- FOR MARBLE OR STONE SAMPLES: CONTACT STONE 100 OUTWATER LANE GARFIELD PH: 201-546-9660 FAX: 201-546-9698
- LANDINGS OUTSIDE EGRESS DOORS TO HAVE MIN DEPTH OF 36" IN DIRECTION OF TRAVEL AS PER THE NJ EDITION OF INTERNATIONAL RES. CODE 2018 SECTION R11.3
- CONTROL JOINT SPACING OF 15-25 FT SQUARE RECOMMENDED
- FOUNDATION ANCHORAGE: ANCHOR BOLTS SHALL BE EMBEDDED 7" MIN. INTO FOUNDATION WALL, 6FT APART MAX. AND 12" FROM CORNER AND ENDS OF SECTION OF PLATE/SILL (R403.1.6)
- SEE MANUFACTURER TO FIELD MEASURE PRIOR TO FABRICATION.
- A RETAINING WALL REQUIRES A FOUNDATION WALL TO HAVE SUPPORT ON BOTH THE TOP AND BOTTOM PRIOR TO BACKFILLING. AS PER SECTION R404.1.1

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 FL ARCH AR99022

ADDITION / RENOVATION FOR:
MR. ANTHONY GRANO
 178 COTTAGE ROAD
 WYCKOFF, NJ 07481
 BLOCK: 456; LOT: 24
 (NAME & NAME)

DRAWING TITLE:
FIRST FLOOR PLAN
 PROJECT NUMBER: 21-104 SCALE: 1/4"=1'-0"
 DRAWN BY: AG/EC CHECKED BY: SUPV
 DATE:
 MARCH 29, 2021; APRIL 5, 2021;
 SEPTEMBER 27

ISSUED FOR VARIANCE: OCTOBER 8, 2021

DRAWING #
A-2
 2 OF 4
 RES 2021

WINDOW NOTES

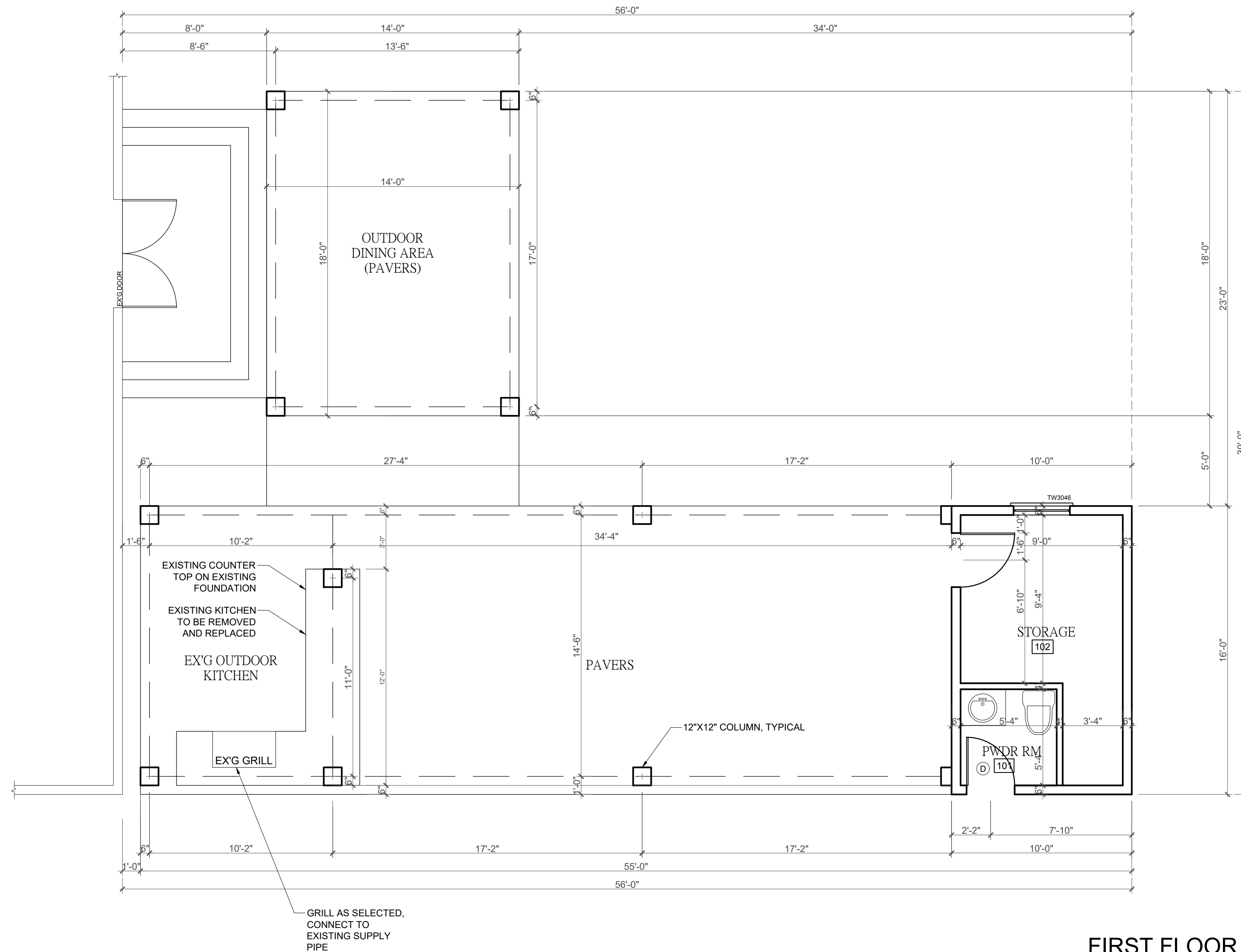
- EG INDICATES AN EGRESS WINDOW AS PER THE N.J. EDITION OF THE INTERNATIONAL RESIDENTIAL CODE-2018
- 1. EGRESS WINDOWS SHALL HAVE NO LESS THAN 5.7 SQFT CLEAR OPENING. THE BOTTOM OF THE CLEAR OPENING SHALL BE NO MORE THAN 44" A.F.F.
- 2. WINDOW SUPPLIER TO VERIFY THAT THERE IS AT LEAST ONE EGRESS WINDOW UNIT IN EACH BEDROOM.
- 3. ALL TEMPERED WINDOWS TO BE AS PER THE NJ. EDITION OF THE INTERNATIONAL RESIDENTIAL CODE-2018
- 4. WINDOW HEAD HT. MAY BE ADJUSTED FOR 8', 9' OR 10' CLG HEIGHT.
- 5. CONTRACTOR SHALL NOT ORDER WINDOWS WITHOUT PROVIDING WINDOW MANUFACTURER WITH ALL FLOOR PLANS AND ELEVATIONS TO DETERMINE SIZES, TEMPERING, AND EGRESS REQUIREMENTS AS PER CODE.
- 6. WINDOW SILLS: IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4" DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR. R312.2.1
 - 6.1. EXCEPTIONS:
 - 6.1.1. WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE OPENING IS IN ITS LARGEST OPENED POSITION.
 - 6.1.2. OPENINGS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R612.3.
 - 6.1.3. OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
 - 6.1.4. WINDOWS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R312.2.2
 - 6.1.5. ALL NEW WINDOWS MUST BE AT LEAST 24" OVER FINISHED FLOOR R.312.2
- 7. IN ZONE A FLOOD HAZARD AREAS REQUIRE A MINIMUM OF ONE FOOT OF FREEBOARD FOR DWELLINGS AS PER SECTION R322.2.1 IRC 2018

CARPENTRY NOTES

- 1. ALL FRAMING LUMBER IS TO BE DOUGLAS FIR WITH Fb-1500 PSI AND BE OF STRUCTURAL GRADE.
- 2. ALL DOOR AND WINDOW HEADERS TO BE 2-2"x12" UNLESS NOTED OTHERWISE.
- 3. ALL DOORS LABELED (D) ARE TO BE 2'-8"x6'-8" SOLID 6 PANEL MASONITE. AS PER CODE, UNLESS OTHERWISE NOTED.
- 4. ALL DOORS LABELED (D-3) ARE TO BE 2'-8"x8'-0" SOLID CORE 2 PANEL OVA TION AS PER CODE, UNLESS OTHERWISE NOTED (1 3/4", 4 HINGES)
- 5. PERIMETER WALLS FRAMING TO BE 2X6 AT 16" O.C WITH SINGLE CONTINUOUS SOLE PLATE AND DOUBLE CONTINUOUS TOP PLATE JOINTS TO BE STAGGERED.
- 6. INTERIOR PARTITION FRAMING TO BE 2X4 AT 16" O.C WITH SINGLE CONTINUOUS SOLE PLATE AND DOUBLE CONTINUOUS TOP PLATE JOINTS TO BE STAGGERED.
- 7. ALL WALLS OVER 8'-0" HIGH ARE TO RECEIVE FIRE BLOCKING AT MIDPOINT.
- 8. SILLS ON BLOCK WALLS TO BE WOLMANIZED.
- 9. WINDOWS AND SLIDING DOORS GLASS DOORS TO BE DONE BY: TOWER WINDOWS 1-800-490-1011
- 10. ALL EXTERIOR WALLS, ROOF OR CEILING TO HAVE FULL=THICK BATT INSULATION.
- 11. WALLS TO BE 6" WHERE ANY 2" OR LARGER HORIZONTAL HOLE IS DRILLED.
- 12. TJI HOLE TO BE DRILLED FOLLOWING MANUFACTURES CALCULATIONS TJI'S CANT BE NOTCHED.
- 13. CONTRACTOR'S MAY USE TJI'S AS AN ALTERNATE. W/ EQUAL OR GREATER STRENGTH MUST NOTIFY ARCHITECT.
- 14. ALL WOOD FRAMING MEMBERS, INCLUDING SHEATHING, WHICH REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM EXPOSED EARTH SHALL BE OF APPROVED NATURALLY DURABLE AND PRESERVATIVE-TREATED WOOD, INCLUDING LUMBER ON CONCRETE
- 15. FIRE BLOCKING SHALL BE PROVIDED AT WALL/CEILING INTERSECTION FOR BOTH INTERIOR PARTITIONS AND PERIMETER WALL; ALSO HORIZONTALLY EVERY TEN FEET.
- 16. INSULATOR TO INSTALL STYROFOAM BAFFLES WHERE NEEDED FOR VENTING

CONCRETE & MASONRY NOTES

- 1. ALL CONCRETE USED SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AFTER 28 DAYS. ALL FORMS TO BE STRIPPED PRIOR TO BACKFILLING
- 2. STEEL REINFORCING BARS ARE TO BE USED IN FOOTINGS SIZED AND LOCATED AS SHOWN ON PLANS AND BE FREE FORM GREASE, OIL, RUST OR SCALE
- 3. CONCRETE MASONRY UNITS TO BE OF LOAD BEARING TYPE WITH TOP AND BOTTOM COURSES FILLED SOLID. ANCHOR BOLTS TO BE 1/2" DIAMETER AND INSTALLED AT 6'-0" O.C MIN..
- 4. ALL TILE FLOORS TO BE SET IN MUD.
- 5. FOR MARBLE OR STONE SAMPLES: CONTACT STONE 100 OUTWATER LANE GARFIELD PH: 201-546-9660 FAX: 201-546-9698
- 6. LANDINGS OUTSIDE EGRESS DOORS TO HAVE MIN DEPTH OF 36" IN DIRECTION OF TRAVEL AS PER THE NJ EDITION OF INTERNATIONAL RES. CODE 2018 SECTION R11.3
- 7. CONTROL JOINT SPACING OF 15-25 FT SQUARE RECOMMENDED
- 8. FOUNDATION ANCHORAGE: ANCHOR BOLTS SHALL BE EMBEDDED 7" MIN. INTO FOUNDATION WALL, 6FT APART MAX. AND 12" FROM CORNER AND ENDS OF SECTION OF PLATE/SILL. (R403.1.6)
- 9. STEEL MANUFACTURER TO FIELD MEASURE PRIOR TO FABRICATION.
- 10. A RETAINING WALL REQUIRES A FOUNDATION WALL TO HAVE SUPPORT ON BOTH THE TOP AND BOTTOM PRIOR TO BACKFILLING. AS PER SECTION R404.1.1



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

GENERAL LEGEND :	
	= EXISTING CONSTRUCTION TO REMAIN
	= EXISTING CONSTRUCTION TO BE REMOVED
	= NEW CONSTRUCTION
	= NEW C.M.U. WALL
	= NEW CONCRETE WALL

ENERGY STAR REQUIREMENTS

- WHOLE HOUSE THERMAL EFFICIENCY: EPA THERMAL BYPASS INSPECTION CHECKLIST & AIR BARRIER, INSULATION CHECKLIST
- 1. ENERGY EFFICIENT LIGHTING: SEE www.njenergystarhomes.com
 - 2. MECHANICAL VENTILATION SYSTEM: HVAC INTEGRATED WHOLE-HOUSE VENTILATION SYSTEM
 - 3. HIGH EFFICIENCY CENTRAL HEATING AND COOLING SYSTEMS: CENTRAL AIR CONDITIONING SYSTEMS AND HEAT PUMPS MUST BE PROPERLY SIZED PER ACCA MANUAL J
 - 4. AIR TIGHT DUCTWORK: BUILDING CAVITIES MAY NOT BE USED AS DUCTS; THE ENTIRE SYSTEMS MUST BE FULLY DUCTED
 - 5. INSULATION VERIFIED: INSULATION IS INSPECTED PRIOR TO DRYWALL AND ASSESSED A GRADE LEVEL BASED ON INSULATION QUALITY
 - 6. CONTRACTOR TO FOLLOW RESCHECK
 - 7. CONTRACTOR TO COMPLY WITH IECC AND ENERGY SUBCODE, NJAC 5:23-3.18

WILLIAM G. BROWN, ARCHITECTS CALCULATES SQUARE FOOTAGE FROM THE INSIDE FRAME LINE DIMENSIONS. GARAGE SQUARE FOOTAGE LINE DIMENSIONS. GARAGE SQUARE FOOTAGE IS NOT INCLUDED IN THE TOTAL LIVEABLE SQUARE FOOTAGE. IN ADDITION, STAIRWELLS AND FIRE ESCAPE MASSES ARE ONLY INCLUDED ONCE WITH THE MAIN LEVEL FIGURES

BUILDING DATA	
USE GROUP	R5
CONSTRUCTION CLASS	VB
BUILDING AREA	
PROJECT FOOTPRINT	1,132 SQFT
CONTAINED VOLUME	12,908 CUFT

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ADDITION / RENOVATION FOR:
MR. ANTHONY GRANO
 178 COTTAGE ROAD
 WYCKOFF, NJ 07481
 BLOCK: 456; LOT: 24
 (NAME & NAME)

DRAWING TITLE:
FIRST FLOOR PLAN

PROJECT NUMBER: 21-104 SCALE: 1/4"= 1'-0"
 DRAWN BY: AG/EC CHECKED BY: SUPV

DATE:
 MARCH 29, 2021; APRIL 5, 2021;
 SEPTEMBER 27

ISSUED FOR VARIANCE: OCTOBER 8, 2021

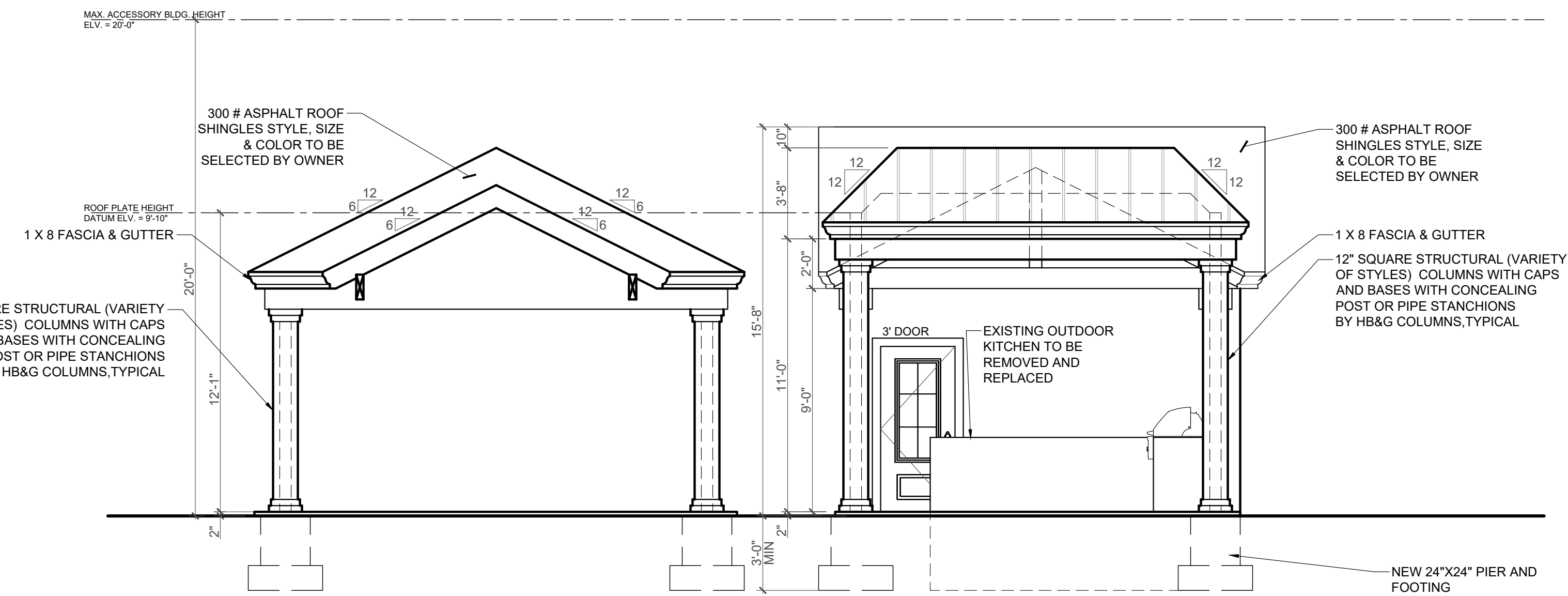
DRAWING #
A-3
 3 OF 4

ICE & SNOW SHIELD NOTES

ICE & SNOW SHIELD
8'-0" UP FROM FASCIA

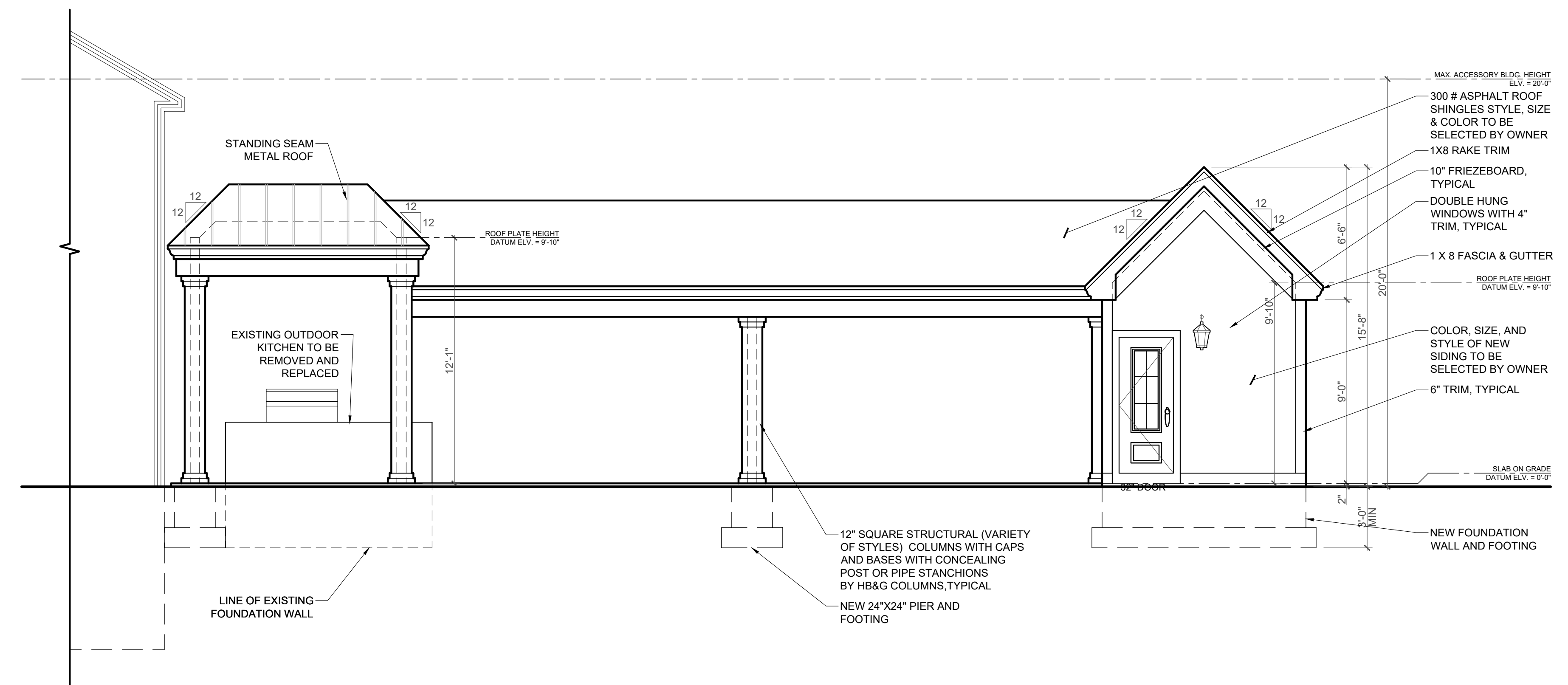
WINDOW NOTES

- EG INDICATES AN EGRESS WINDOW AS PER THE N.J. EDITION OF THE INTERNATIONAL RESIDENTIAL CODE-2018
- EGRESS WINDOWS SHALL HAVE NO LESS THAN 5.7 SQFT CLEAR OPENING. THE BOTTOM OF THE CLEAR OPENING SHALL BE NO MORE THAN 44" A.F.F.
 - WINDOW SUPPLIER TO VERIFY THAT THERE IS AT LEAST ONE EGRESS WINDOW UNIT IN EACH BEDROOM.
 - ALL TEMPERED WINDOWS TO BE AS PER THE N.J. EDITION OF THE INTERNATIONAL RESIDENTIAL CODE-2018
 - WINDOW HEAD HT. MAY BE ADJUSTED FOR 8', 9' OR 10' CLG HEIGHT.
 - CONTRACTOR SHALL NOT ORDER WINDOWS WITHOUT PROVIDING WINDOW MANUFACTURER WITH ALL FLOOR PLANS AND ELEVATIONS TO DETERMINE SIZES, TEMPERING, AND EGRESS REQUIREMENTS AS PER CODE.
 - WINDOW SILLS: IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4" DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR. R312.2.1
 - EXCEPTIONS:
 - WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE OPENING IS IN ITS LARGEST OPENED POSITION.
 - OPENINGS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R612.3.
 - OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
 - WINDOWS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R312.2.2
 - ALL NEW WINDOWS MUST BE AT LEAST 24" OVER FINISHED FLOOR R.312.2
 - IN ZONE A FLOOD HAZARD AREAS REQUIRE A MINIMUM OF ONE FOOT OF FREEBOARD FOR DWELLINGS AS PER SECTION R322.2.1 IRC 2018



REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"

KICK OUT FLASHING:

KICK OUT FLASHING TO BE PROVIDED ON ALL AT ROOF FASCIA TO WALL / ROOF INTERFACE. AS PER R905.2.8.3

WINDOW & TRIM NOTE:

ALL ANDERSON WINDOW TO HAVE AZEK SILL 5/8"X4 LEGS & 5/8" 6" TOP WITH RAMS CROWN AND FLASHING ALL TRIM TO BE AZEK TRIM

NOTE:
MIN 6" PROTECTION CLEARANCE FROM GRADE AS PER SECTION R317.1 NOTE 5 WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6" FROM THE GROUND OR LESS THAN 2 INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER

DRIP EDGE NOTE:

DRIP EDGE TO BE PROVIDED ON EAVES AND RAKES ON ALL SHINGLE ROOFS, AS PER R905.2.8.5

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DRAWING #
A-4
4 OF 4