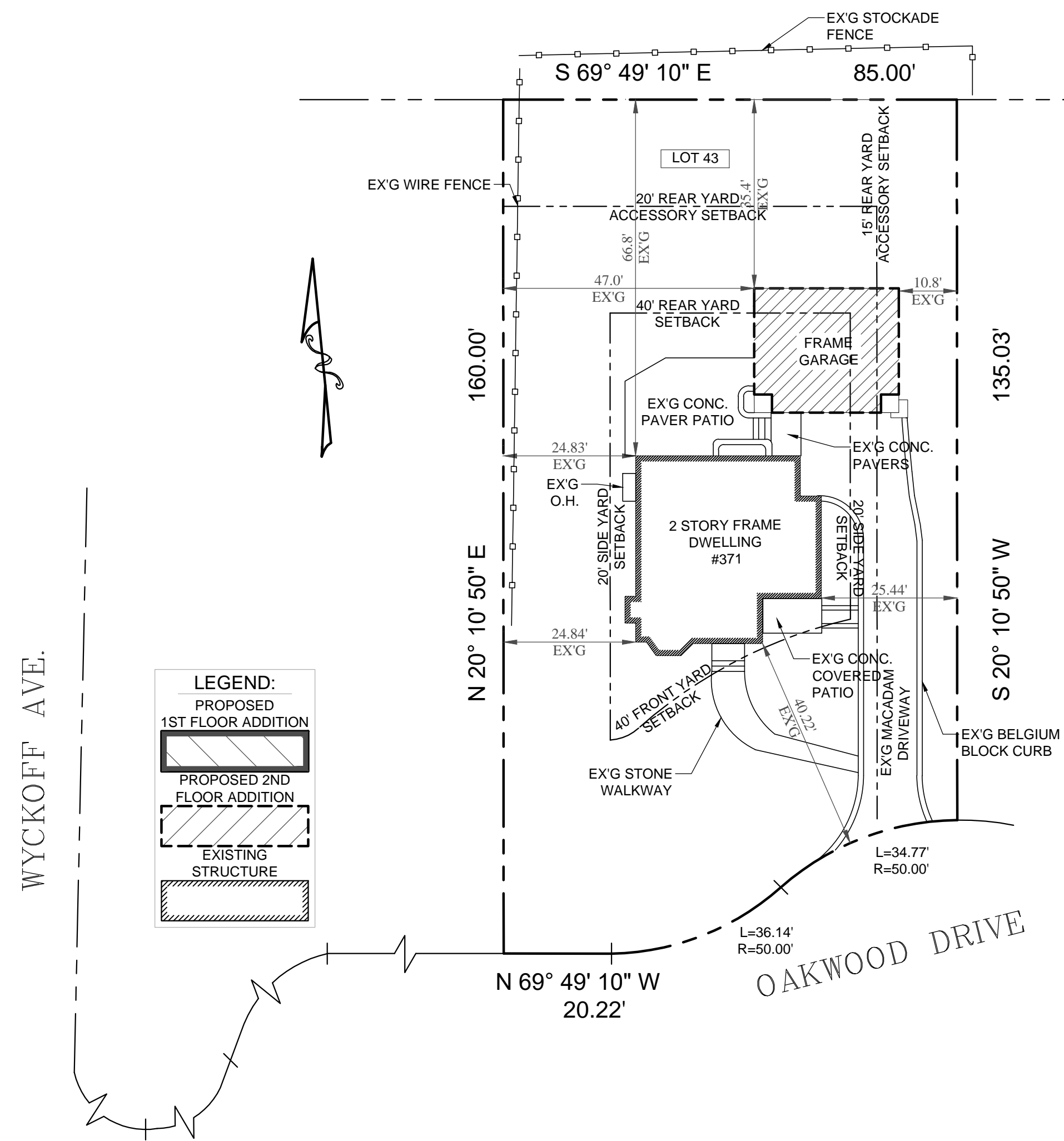


# NEW ADDITION / RENOVATION FOR: MR. & MRS. HILDEBRANDT

371 OAKWOOD DRIVE  
WYCKOFF, NJ

LIST OF DRAWINGS

- A-0 ZONING REVIEW
- A-1 ELEVATIONS
- A-2 FLOOR PLANS



SITE PLAN

SCALE: 1"=20'

ZONING NOTE:

The work being performed under this application has no effect on existing zoning. Work is limited to second floor addition on the existing footprint of the detached garage.

PRINCIPAL BUILDING COVERAGE

STRUCTURE	EXISTING	AREA
EX'G PRINCIPAL BUILDING COVERAGE		1,125 SQFT

ACCESSORY BUILDING COVERAGE

EX'G ACCESSORY BUILDING COVERAGE		630 SQFT
----------------------------------	--	----------

IMPERVIOUS COVERAGE

STRUCTURE	EXISTING	AREA
EX'G BUILDING COVERAGE		1,755 SQFT
EX'G DRIVEWAY	+	1,118 SQFT
EX'G WALKWAYS	+	154 SQFT
EX'G PAVED PATIO	+	574 SQFT
TOTAL EX'G COVERAGE	=	3,601 SQFT = 28.11%

TOWNSHIP OF WYCKOFF

TAX MAP LOT: 43  
 TAX BLOCK: 250  
 ZONE: RA-25 - RURAL RESIDENTIAL  
 USE: SINGLE FAMILY DWELLING

ZONING REQUIREMENTS	REQUIRED	EXISTING	PROPOSED	VARIANCE
MINIMUM LOT REQUIREMENTS				
- MINIMUM LOT AREA	25,000 sq ft	12,807 sq ft	NO CHANGE	NONE
- MINIMUM LOT FRONTAGE	125 ft	85 ft	NO CHANGE	NONE
- MINIMUM LOT DEPTH	150 ft	148 ft	NO CHANGE	NONE
PRINCIPAL BUILDING				
- RIGHT SIDE YARD SETBACK	20 ft	25.44 ft	NO CHANGE	NONE
- LEFT SIDE YARD SETBACK	20 ft	24.83 ft	NO CHANGE	NONE
- FRONT YARD SETBACK	40 ft	40.22 ft	NO CHANGE	NONE
- REAR YARD SETBACK	40 ft	66.80 ft	NO CHANGE	NONE
ACCESSORY BUILDING				
- REAR SETBACK	20 ft	35.4 ft	NO CHANGE	NONE
- MIN. LEFT SIDE SETBACK	15 ft	40 ft	NO CHANGE	NONE
- MIN. RIGHT SIDE SETBACK	15 ft	10.8 ft	NO CHANGE	ENC
MAXIMUM BUILDING HEIGHT	20 ft	15.8 ft	21.7 ft	YES
MAXIMUM LOT COVERAGE				
- PRINCIPAL BUILDING COV.	15%	8.78 %	NO CHANGE	NONE
- ACCESSORY BUILDING	5%	4.92 %	NO CHANGE	NONE
- COMBINED BUILDING	20%	13.70 %	NO CHANGE	NONE
- IMPER. / TOTAL COVERAGE	28.5% MAX.	28.11 %	NO CHANGE	NONE
- GROSS BUILDING AREA	x>3,700 sqft	N/A	N/A	NONE
MAXIMUM BUILDING HEIGHT	35'	N/A	N/A	NONE
MAXIMUM NO. OF STORIES	2-1/2	N/A	N/A	NONE

ACCESSORY STRUCTURES INCLUDE: POOL, DECKS, GARAGES, SHEDS, AND PAVILIONS

ENC= EXISTING NONCONFORMING

EX'G= EXISTING NO CHANGE

\*IF GROSS BUILDING AREA IS OVER 3,700 SQFT, THE SIDE YARD INCREASES TO 25 FT MIN & GARAGE FACE SIDE YARD BECOMES 27 FT MIN. THE GROSS BUILDING AREA

FLOOR AREA, GROSS

The sum of the gross horizontal areas of a floor or several floors of a building, including enclosed building projections, porches or similar enclosed structures, and including areas used for human occupancy in basements, all as measured from the exterior building dimensions. It shall not include unoccupied floors in any basement, cellar, open porches or balconies, garage space or accessory building. [amended 6-13-1989 by ord. no. 1069]

IMPERVIOUS COVERAGE

Land surface areas that do not allow rainwater to be directly absorbed by the ground. These surfaces shall include but not be limited to building coverage, driveways (paved, gravel, cinder or pavers), paved areas, and decks which do not allow free drainage of rainwater through to the ground underneath. Impervious coverage in residential zones shall not include retaining walls, surface areas of swimming pools and their surrounding patios or hardscape features, air-conditioning units, generators, pool equipment, walkways and at-grade patios located in the rear yard of the property, regardless of material types. Driveways, front and side yard walkways and patios, structures, and any type of sport athletic court shall be considered impervious coverage and shall remain as part of the impervious calculation. [added 2-19-2008 by ord. no. 1576; amended 8-2-2016 by ord. no. 1807]

PRINCIPAL BUILDING

A building or buildings in which is conducted the main or principal use of the lot on which said building is situated.

SITE PLAN DRAWN FROM SURVEY TAKEN BY:  
 GUNTIS BOLE, NJ P.E. & L.S.  
 (LIC. 13,928)  
 G.B. ASSOCIATES, INC.  
 DATED: DEC. 1, 1999  
 SITE PLAN TO BE USED FOR ZONING AND ARCHITECTURAL PURPOSES ONLY.

William G. Brown, Architects  
 ARCHITECTURE  
 PLANNING  
 241 Madison Avenue  
 Wyckoff, NJ  
 07481  
 PH: 201-891-3285  
 FAX: 201-891-3695  
 WEBSITE: WilliamGBrown.com  
 EMAIL: bill@williamgbrown.com

THESE DRAWINGS ARE NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT WILLIAM G. BROWN.

CT ARCH 8445  
 NY ARCH 018837  
 NJ ARCH 10226  
 PA ARCH RA-011586-B  
 VA ARCH RA-007125

NOT VALID UNLESS SIGNED AND SEALED

*William G. Brown, Jr.*  
 WILLIAM G. BROWN, JR., AIA

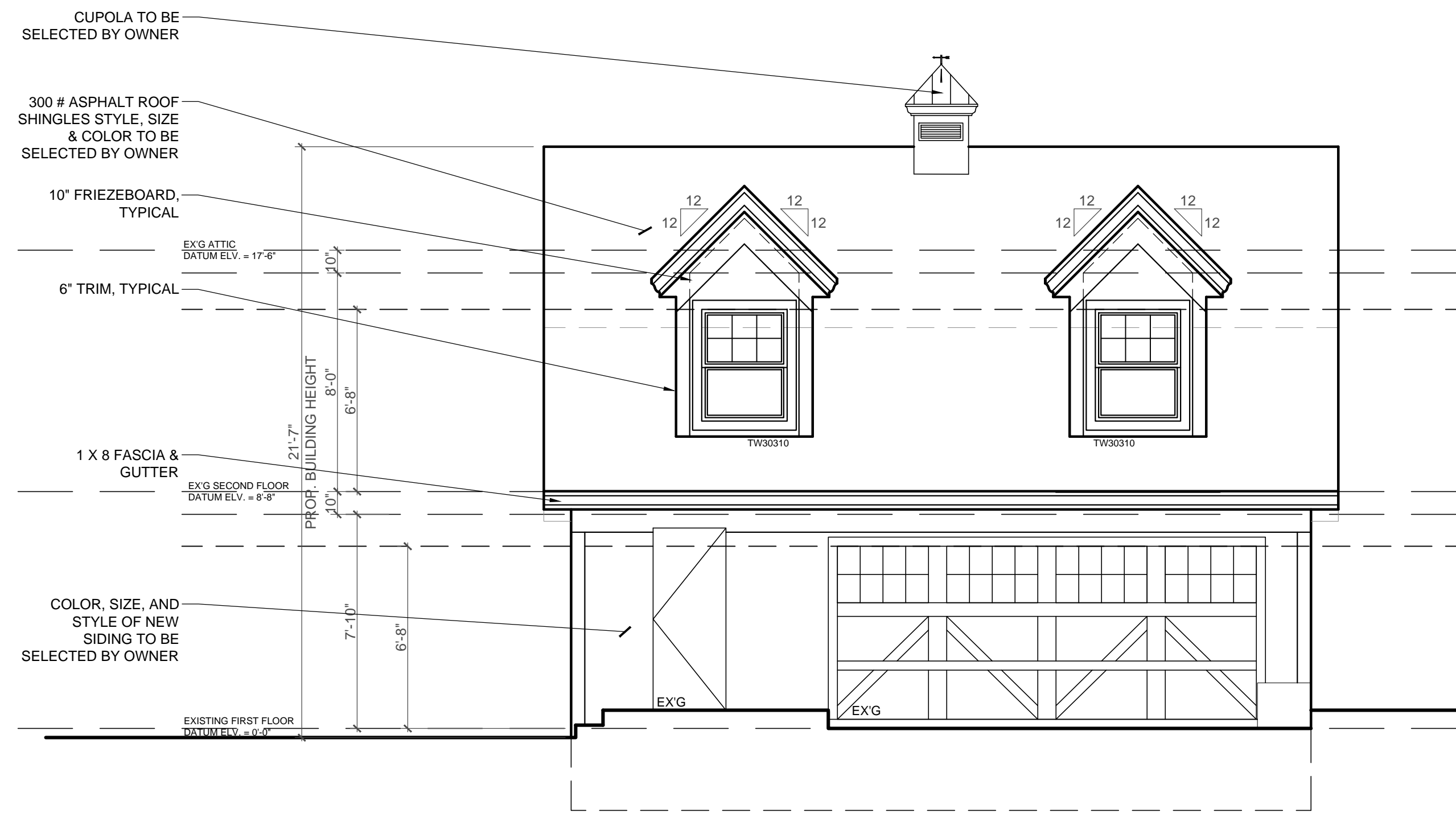
COVER SHEET

ADDITION / RENOVATION FOR:  
 MR. AND MRS. HILDEBRANDT  
 371 OAKWOOD DRIVE  
 WYCKOFF, NJ

PROJECT: 20-223 DATE: 08-24-20  
 DRAWN BY: LR

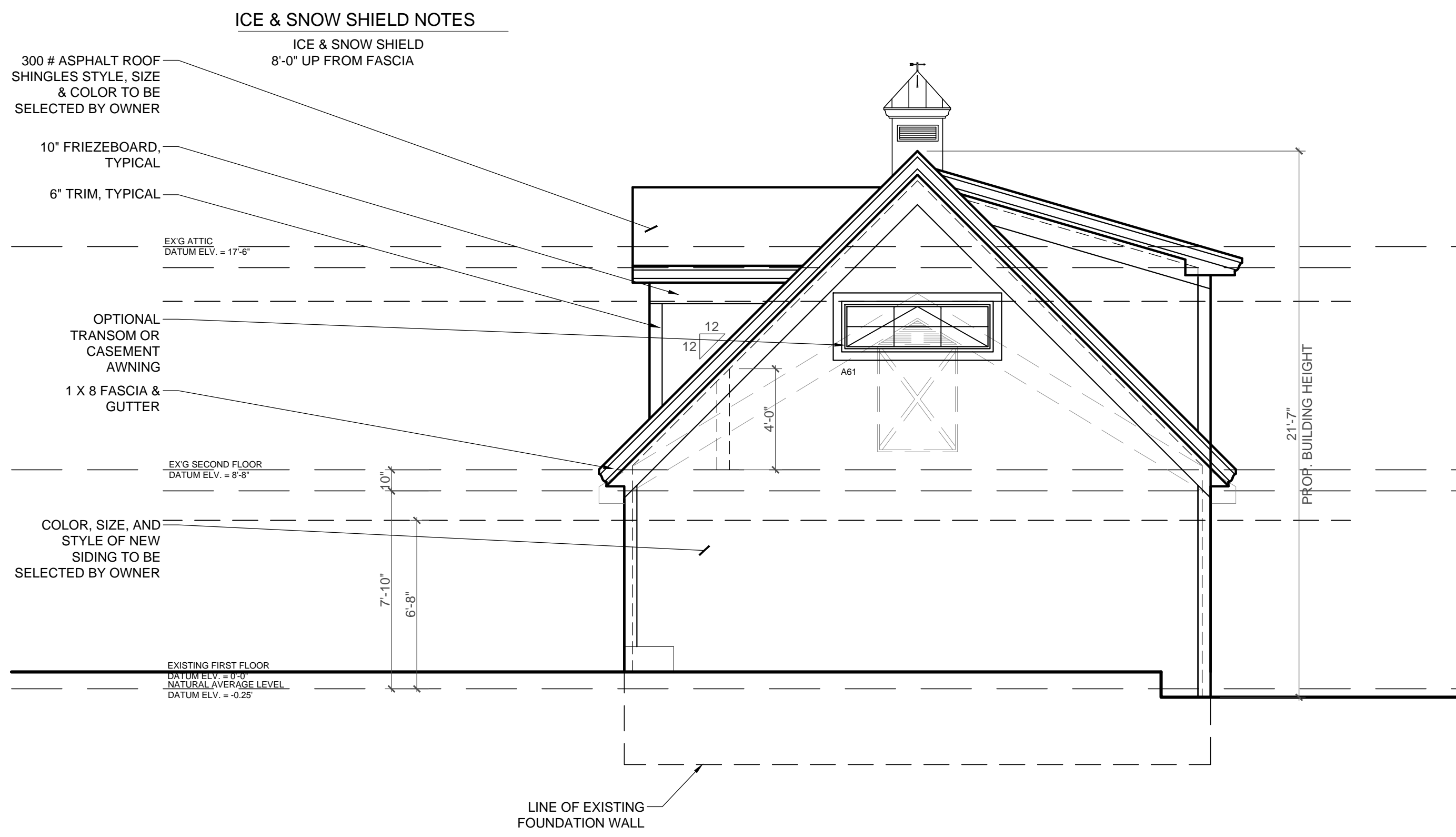
A-0 ZONING REVIEW

ISSUED FOR VARIANCE: SEPTEMBER 25, 2020



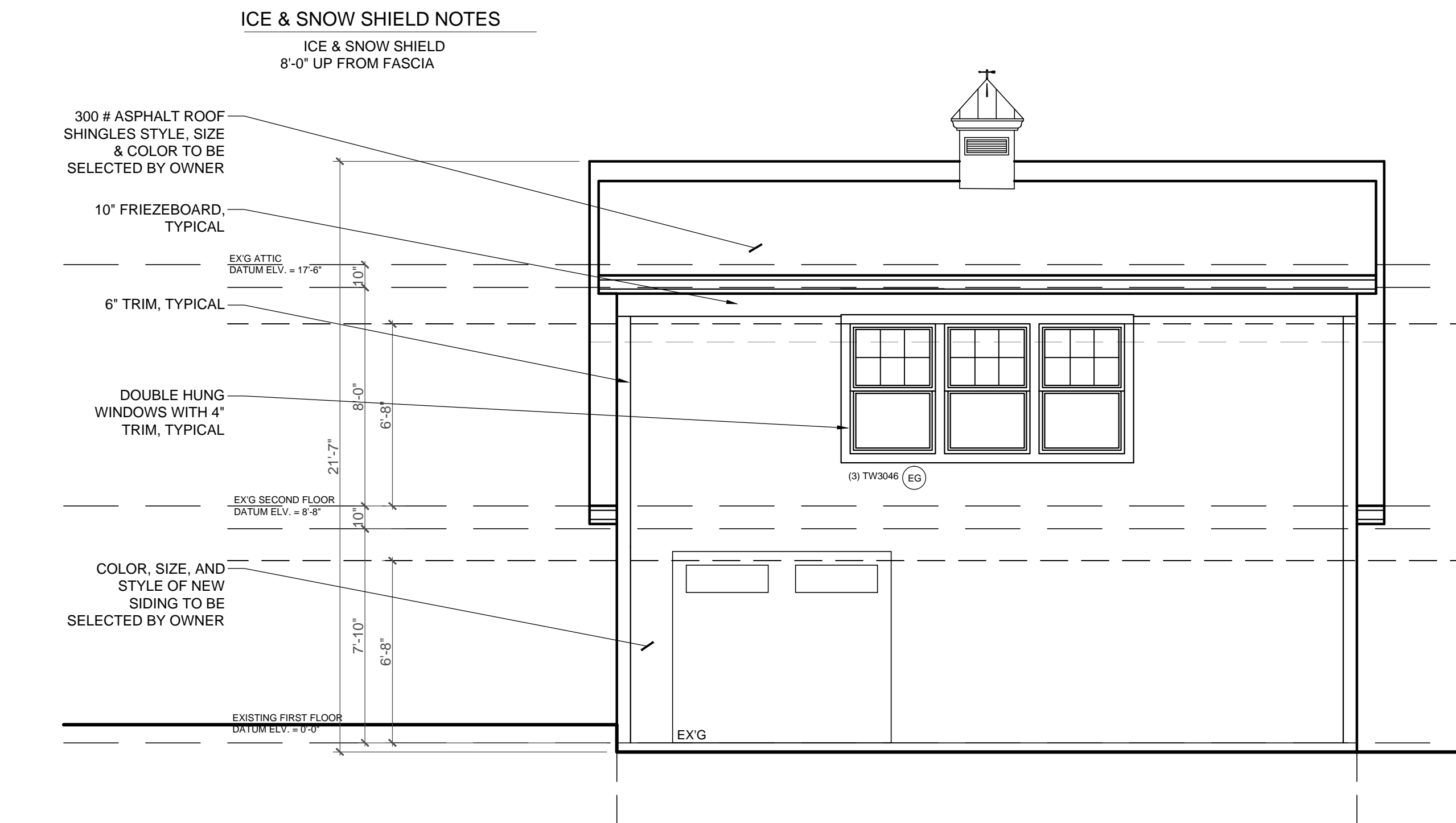
**FRONT ELEVATION**

SCALE: 1/4"=1'-0"



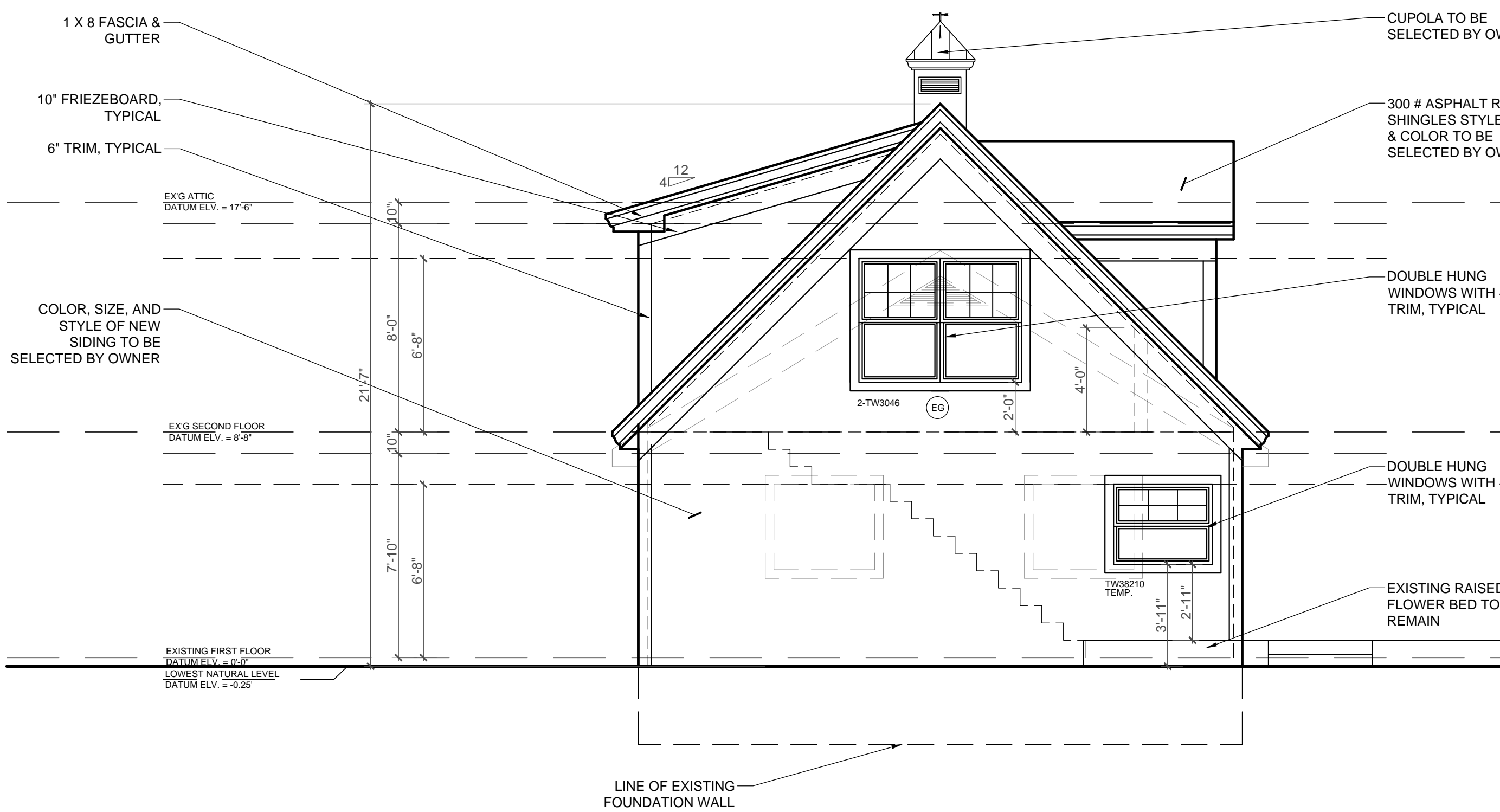
**RIGHT ELEVATION**

SCALE: 1/4"=1'-0"



**REAR ELEVATION**

SCALE: 1/4"=1'-0"



**LEFT ELEVATION**

SCALE: 1/4"=1'-0"

**GENERAL NOTES**

1. ALL WORK IS TO COMPLY WITH ALL BUILDING CODES AND ZONING ORDINANCES ADOPTED BY THE TOWNSHIP OF WYCKOFF, BERGEN COUNTY, NEW JERSEY
2. BUILDING HEIGHT/RIDGE HEIGHT TO BE VERIFIED BY SITE ENGINEER PRIOR TO CONSTRUCTION. BUILDING HEIGHT MAXIMUM TO BE: 20'-0" AS PER LOCAL ORDINANCE
3. CONTRACTOR IS TO VERIFY ALL CONDITION IN THE FIELD PRIOR TO STARTING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN PLAN OR ITEMS REQUIRING CLARIFICATION BEFORE PROCEEDING WITH CONSTRUCTION
4. JOB SITE IS TO BE KEPT REASONABLY CLEAN AND ALL CONSTRUCTION DEBRIS IS TO BE CARTED AWAY AT THE END OF THE JOB.
5. ALL WORK IS TO BE DONE BY SKILLED MECHANICS IN A WORKMANLIKE MANNER SET STRAIGHT AND PLUMB.
6. ALL MATERIALS USED TO BE OF FIRST QUALITY FREE FROM DEFECTS.
7. ARCHITECT DOES NOT HAVE FIELD SUPERVISION OR CONSTRUCTION ADMINISTRATION RESPONSIBILITIES FOR THIS PROJECT.
8. CONTRACTOR IS TO LOCATE STRUCTURE AND SET ELEVATIONS AND CONTOURS WITH HIS SURVEYOR AND LICENSED PROFESSIONAL ENGINEER.
9. CONTRACTOR TO VERIFY, IN WRITING, IF STRUCTURE DOES NOT COMPLY WITH LOCAL BUILDING HEIGHT CODE DURING CONSTRUCTION AND PRIOR TO CONSTRUCTION OF THE RIDGE.
10. CONTRACTOR AND/OR HOMEOWNER IS REQUIRED TO HAVE BUILDER'S INSURANCE AND HOMEOWNER'S WARRANTY PROGRAM.
11. GIVEN ANY DISCREPANCIES IN SPECIFICATIONS OR MATERIALS CONTRACTOR MUST USE MATERIAL OF SUPERIOR QUALITY.
12. ALL FRAMED WINDOW OPENINGS TO BE VERIFIED WITH BUILDER AND WINDOW SUPPLIER PRIOR TO ORDERING.
13. CONTRACTOR TO INSTALL RAM BOARD AND TAPE ALL JOINTS FLOOR PROTECTIONS
14. CONTRACTOR TO FOLLOW RESCHECK

NOTE: THESE DRAWINGS ARE NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT WILLIAM G. BROWN. (WILLIAM G. BROWN ARCHITECTS)

**NOT VALID UNLESS SIGNED AND SEALED**

**William G. Brown, Architects**  
 ARCHITECTURE  
 PLANNING  
 241 Madison Avenue  
 Wyckoff, NJ  
 07481  
 PH: 201-891-3285  
 FAX: 201-891-3695  
 WEBSITE: WilliamGBrown.com  
 EMAIL: bill@williamgbrown.com

William G. Brown Jr.  
 CT ARCH 8445  
 NY ARCH 018837  
 NJ ARCH 10226  
 PA ARCH RA-011586-B  
 VA ARCH RA-007125  
 FL ARCH AR99022  
 NJ PLANNER

ADDITION / RENOVATION FOR:  
**MR. AND MRS. HILDEBRANDT**  
 371 OAKWOOD DRIVE  
 WYCKOFF, NJ  
 BLOCK 250 LOT 43

DRAWING TITLE:  
**FRONT & SIDE ELEVATIONS**  
 PROJECT NUMBER: 20-223 SCALE: 1/4"= 1'-0"  
 DRAWN BY: LR CHECKED BY: SUPV  
 DATE:  
 AUGUST 17, 2020;

ISSUED FOR VARIANCE: SEPTEMBER 25, 2020

DRAWING #  
**A-1**  
 2 OF 3

**DRIP EDGE NOTE:**  
 DRIP EDGE TO BE PROVIDED ON EAVES AND RAKES ON ALL SHINGLE ROOFS, AS PER R905.2.8.5.

**KICK OUT FLASHING:**  
 KICK OUT FLASHING TO BE PROVIDED ON ALL AT ROOF FASCIA TO WALL / ROOF INTERFACE. AS PER R905.2.8.3

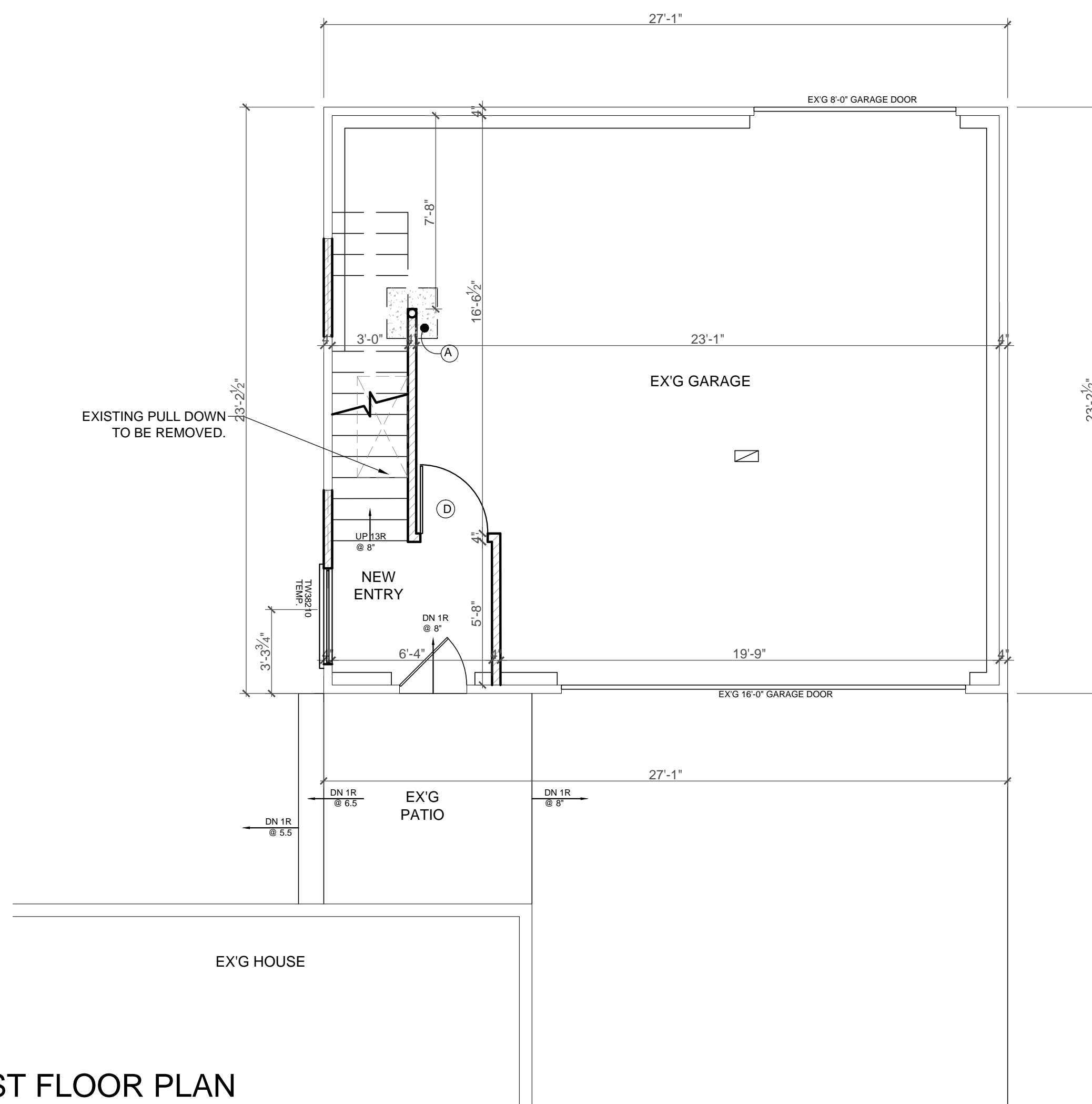
NOTE:  
 MIN 6" PROTECTION CLEARANCE FROM GRADE AS PER SECTION R317.1 NOTE 5 WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6" FROM THE GROUND OR LESS THAN 2 INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER

**CARPENTRY NOTES**

- ALL FRAMING LUMBER IS TO BE DOUGLAS FIR WITH Fb-1500 PSI AND BE OF STRUCTURAL GRADE.
- ALL DOOR AND WINDOW HEADERS TO BE 2-2"x12" UNLESS NOTED OTHERWISE.
- ALL DOORS LABELED (D) ARE TO BE 2'-8"x6'-8" SOLID 6 PANEL MASONITE, AS PER CODE, UNLESS OTHERWISE NOTED.
- ALL DOORS LABELED (D-B) ARE TO BE 2'-8"x8'-0" SOLID CORE 2 PANEL Ovation AS PER CODE, UNLESS OTHERWISE NOTED (1 3/4", 4 HINGES)
- PERIMETER WALLS FRAMING TO BE 2X6 AT 16" O.C WITH SINGLE CONTINUOUS SOLE PLATE AND DOUBLE CONTINUOUS TOP PLATE JOINTS TO BE STAGGERED.
- INTERIOR PARTITION FRAMING TO BE 2X4 AT 16" O.C WITH SINGLE CONTINUOUS SOLE PLATE AND DOUBLE CONTINUOUS TOP PLATE JOINTS TO BE STAGGERED.
- ALL WALLS OVER 8'-0" HIGH ARE TO RECEIVE FIRE BLOCKING AT MIDPOINT.
- SILLS ON BLOCK WALLS TO BE WOLMANIZED.
- WINDOWS AND SLIDING DOORS GLASS DOORS TO BE DONE BY: TOWER WINDOWS 1-800-490-1011
- ALL EXTERIOR WALLS, ROOF OR CEILING TO HAVE FULL-THICK BATT INSULATION.
- WALLS TO BE 6" WHERE ANY 2" OR LARGER HORIZONTAL HOLE IS DRILLED.
- TJI HOLE TO BE DRILLED FOLLOWING MANUFACTURES CALCULATIONS TJI'S CANT BE NOTCHED.
- CONTRACTOR'S MAY USE TJI'S AS AN ALTERNATE, W/ EQUAL OR GREATER STRENGTH MUST NOTIFY ARCHITECT.
- ALL WOOD FRAMING MEMBERS, INCLUDING SHEATHING, WHICH REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM EXPOSED EARTH SHALL BE OF APPROVED NATURALLY DURABLE AND PRESERVATIVE-TREATED WOOD, INCLUDING LUMBER ON CONCRETE
- FIRE BLOCKING SHALL BE PROVIDED AT WALL/CEILING INTERSECTION FOR BOTH INTERIOR PARTITIONS AND PERIMETER WALL; ALSO HORIZONTALLY EVERY TEN FEET.
- INSULATOR TO INSTALL STYROFOAM BAFFLES WHERE NEEDED FOR VENTING

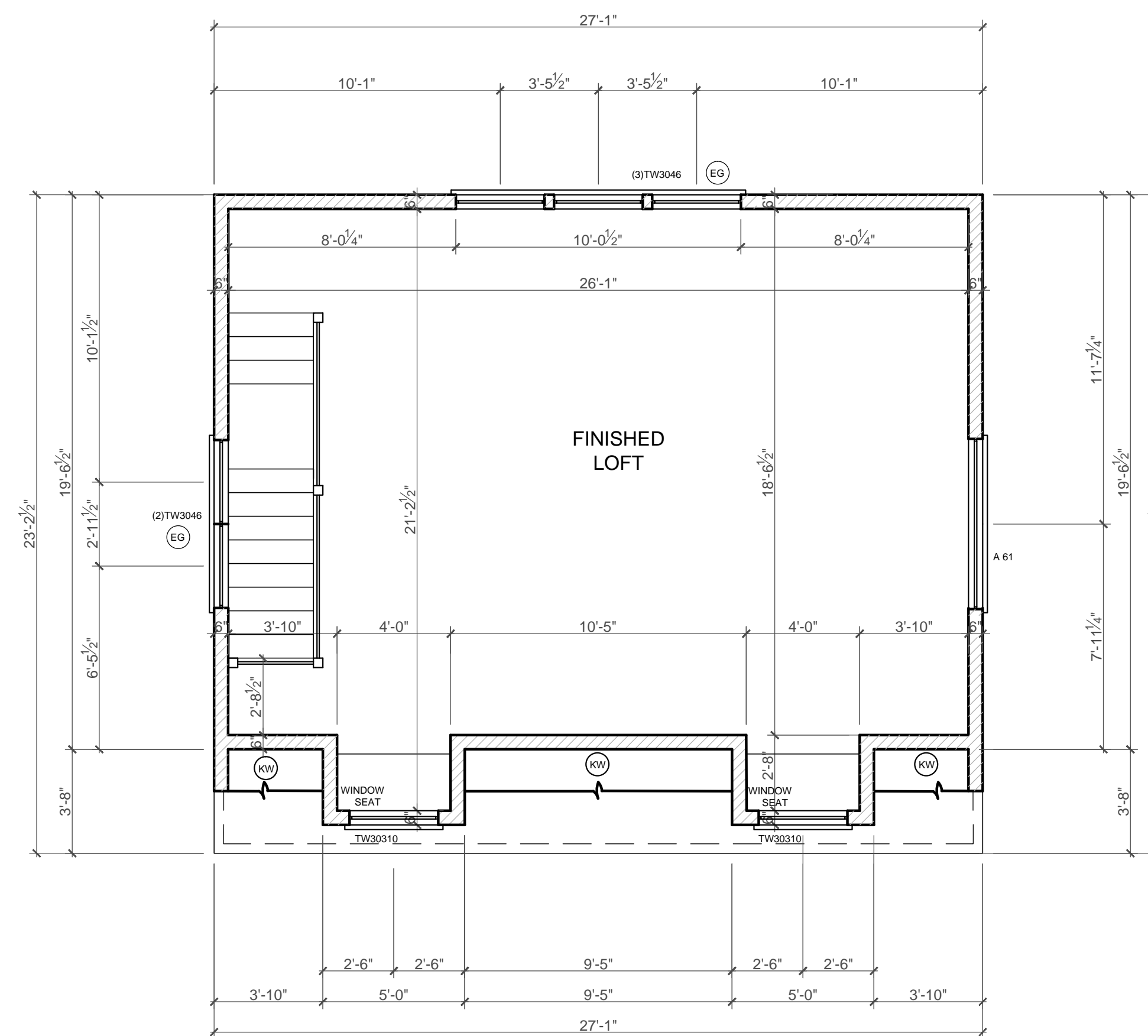
**FIRST FLOOR PLAN**

SCALE: 1/4"=1'-0"



**SECOND FLOOR PLAN**

SCALE: 1/4"=1'-0"



**GENERAL FRAMING LEGEND :**

	= EXISTING CONSTRUCTION TO REMAIN
	= WALLS ABOVE
	= NEW CONSTRUCTION
	= NEW C.M.U. WALL
	= NEW CONCRETE WALL
	= NEW BEAM
	= NEW JOIST MEMBER

**ENERGY STAR REQUIREMENTS**

WHOLE HOUSE THERMAL EFFICIENCY: EPA THERMAL BYPASS INSPECTION CHECKLIST & AIR BARRIER, INSULATION CHECKLIST

- ENERGY EFFICIENT LIGHTING: SEE www.njenergystarhomes.com
- MECHANICAL VENTILATION SYSTEM: HVAC INTEGRATED WHOLE-HOUSE VENTILATION SYSTEM
- HIGH EFFICIENCY CENTRAL HEATING AND COOLING SYSTEMS: CENTRAL AIR CONDITIONING SYSTEMS AND HEAT PUMPS MUST BE PROPERLY SIZED PER ACCA MANUAL J
- AIR TIGHT DUCTWORK: BUILDING CAVITIES MAY NOT BE USED AS DUCTS; THE ENTIRE SYSTEMS MUST BE FULLY DUCTED
- INSULATION VERIFIED: INSULATION IS INSPECTED PRIOR TO DRYWALL AND ASSESSED A GRADE LEVEL BASED ON INSULATION QUALITY
- CONTRACTOR TO FOLLOW RESCHECK
- CONTRACTOR TO COMPLY WITH IECC AND ENERGY SUBCODE, NJAC 5:23-3.18

WILLIAM G. BROWN, ARCHITECTS CALCULATES SQUARE FOOTAGE FROM THE INSIDE FRAME LINE DIMENSIONS. GARAGE SQUARE FOOTAGE IS NOT INCLUDED IN THE TOTAL LIVABLE SQUARE FOOTAGE. IN ADDITION, STAIRWELLS AND FIREPLACE MASSES ARE ONLY INCLUDED ONCE WITH THE MAIN LEVEL FIGURES

BUILDING DATA		
USE GROUP		R5
CONSTRUCTION CLASS		VB
BUILDING AREA		
EX'G BUILDING FOOTPRINT	630	SQFT
NEW BUILDING FOOTPRINT	0	SQFT
TOTAL BUILDING FOOTPRINT	630	SQFT
EX'G GARAGE	595	SQFT
MODIFIED GARAGE	553	SQFT
NEW ENTRY	36	SQFT
EX'G LOFT	0	SQFT
NEW LOFT	468	SQFT
EX'G LIVABLE SFTG.	0	SQFT
NEW LIVABLE SFTG.	504	SQFT
TOTAL LIVABLE SFTG.	504	SQFT
CONTAINED VOLUME	5,109	CUFT

NOTE: THESE DRAWINGS ARE NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT WILLIAM G. BROWN. (WILLIAM G. BROWN ARCHITECTS)

**NOT VALID UNLESS SIGNED AND SEALED**

**William G. Brown, Architects**  
**ARCHITECTURE**  
**PLANNING**  
 241 Madison Avenue  
 Wyckoff, NJ  
 07481  
 PH: 201-891-3285  
 FAX: 201-891-3695  
 WEBSITE: WilliamGBrown.com  
 EMAIL: bill@williamgbrown.com

William G. Brown Jr.  
 CT ARCH 8445  
 NY ARCH 018837  
 NJ ARCH 10226  
 PA ARCH RA-011586-B  
 VA ARCH RA-007125  
 FL ARCH AR99022

ADDITION / RENOVATION FOR:  
 MR. AND MRS. HILDEBRANDT  
 371 OAKWOOD DRIVE  
 WYCKOFF, NJ  
 BLOCK 250 LOT 43

DRAWING TITLE:

**FLOOR PLANS**

PROJECT NUMBER: 20-223 SCALE: 1/4"= 1'-0"

DRAWN BY: LR CHECKED BY: SUPV

DATE:  
 AUGUST 17, 2020;

ISSUED FOR VARIANCE: SEPTEMBER 25, 2020

DRAWING #

**A-2**  
 3 OF 3

RES  
 2020