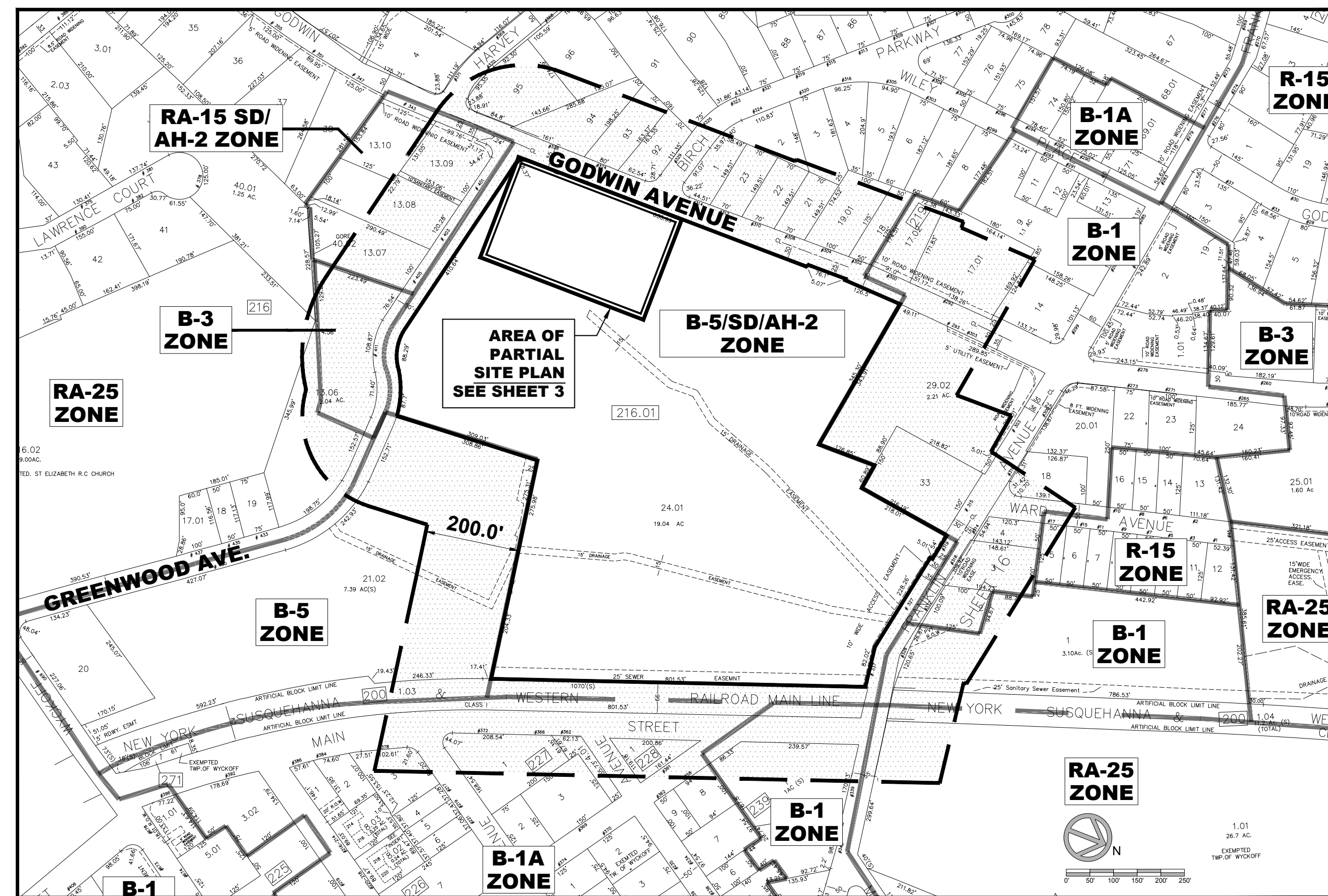


# PRELIMINARY AND FINAL MINOR SITE PLAN FOR HACKENSACK MERIDIAN AMBULATORY CARE, INC. D/B/A HACKENSACK MERIDIAN HEALTH REALTY BLOCK 216.01 LOT 24.01; TAX MAP SHEET 8 LATEST REV. DATE OCT. 2013 327 FRANKLIN AVENUE TOWNSHIP OF WYCKOFF BERGEN COUNTY, NJ

**KIMMERLE NEWMAN Architects**  
architecture  
planning  
interiors  
1109 Mt. Kemble Ave. 127 W. 20th St. Suite 100  
Harding Twp., NJ 07960 New York, NY 10011  
973 538 8885 New York, NY 212 858 9512  
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NY: 039436  
MD: 20947  
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Signed



**AREA MAP**  
1"=200'

NO.	SHEET NAME	DATE ISSUED	DATE REVISED
1	COVER	11/02/2022	02/17/2023
2	AERIAL MAP	11/02/2022	-
3	PARTIAL SITE PLAN	11/02/2022	02/17/2023
4	AERIAL VIEW OF SITE	11/02/2022	-
5	ARCHITECTURAL PLANS & ELEVATIONS	11/02/2022	02/17/2023
6	DETAILS & LIGHT FIXTURES	11/02/2022	02/17/2023
7	LIGHT LEVEL STUDY	11/02/2022	-
8	SIGNAGE	11/02/2022	02/17/2023

ZONING SUMMARY		
B-5/SDAH-2 PLANNED COMMUNITY SHOPPING CENTER / AFFORDABLE HOUSING ZONE		
PROPOSED USE	PROFESSIONAL OFFICES (MEDICAL URGENT CARE)	
REQUIREMENT	REQUIRED	PROVIDED
LOT AREA	5 ACRES MIN.	19.04 ACRES
LOT WIDTH AND FRONTAGE	300 FT. MIN.	COMPLIANT, NO CHANGE <sup>1</sup>
PRINCIPAL BUILDING DEPTH	500 FT. MIN.	COMPLIANT, NO CHANGE <sup>1</sup>
PRINCIPAL BUILDING FRONT SETBACK	50 FT. MIN.	COMPLIANT, NO CHANGE <sup>1</sup>
PRINCIPAL BUILDING EACH SIDE SETBACK	50 FT. MIN.	COMPLIANT, NO CHANGE <sup>1</sup>
PRINCIPAL BUILDING REAR SETBACK	50 FT. MIN.	COMPLIANT, NO CHANGE <sup>1</sup>
ACCESSORY BUILDING EACH SIDE SETBACK	NA	NA
ACCESSORY BUILDING REAR SETBACK	NA	NA
MAXIMUM BUILDING HEIGHT: STORIES	1 MAX.	COMPLIANT, NO CHANGE <sup>1</sup>
FEET	40 FT. MAX.	COMPLIANT, NO CHANGE <sup>1</sup>
MINIMUM HABITABLE AREA (FLOOR AREA PER DWELLING)	NA	NA
MAXIMUM LOT COVERAGE, PRINCIPAL BLDG.	15% MAX.	COMPLIANT, NO CHANGE <sup>1</sup>
MAX. LOT COVERAGE WITH ACCESSORY BLDGS.	20% MAX.	COMPLIANT, NO CHANGE <sup>1</sup>
MINIMUM BUFFER AREA	NA	NA

PARKING & LOADING REQUIREMENTS		
B-5/SDAH-2 PLANNED COMMUNITY SHOPPING CENTER / AFFORDABLE HOUSING ZONE		
USE	PARKING REQUIRED	PARKING PROVIDED
BUSINESS USES OTHER THAN SECOND STORY OFFICE	1 SPACE PER 170 GROSS SF	COMPLIANT, NO CHANGE <sup>1,2</sup>
USE	LOADING REQUIRED	LOADING PROVIDED
BUSINESS, EXCLUDING BANKS AND OFFICES	1 LOADING SPACE 12'X35'	COMPLIANT, NO CHANGE <sup>1,2</sup>
5,001 - 10,000 GROSS SF	2 LOADING SPACES 14'X60'	COMPLIANT, NO CHANGE <sup>1,2</sup>
MORE THAN 10,000 GROSS SF	PLUS 1 SPACE FOR EACH ADDITIONAL 20,000 SF (EACH 14'X60'), PLUS 1 SPACE FOR EACH TRUCK OWNED AND USED BY THE BUSINESS ESTABLISHMENT	COMPLIANT, NO CHANGE <sup>1,2</sup>

NOTES ABOVE (INDICATED BY SUPERSCRIPIT):  
NOTE 1: INDICATES NO CHANGE RELATIVE TO THE RESOLUTION APPROVED ON FEBRUARY 14, 2007  
NOTE 2: THE PROPOSED USE IS EXCLUDED FROM LOADING REQUIREMENTS; NO ADDITIONAL LOADING SPACES WOULD BE REQUIRED BY THE PROPOSED USE

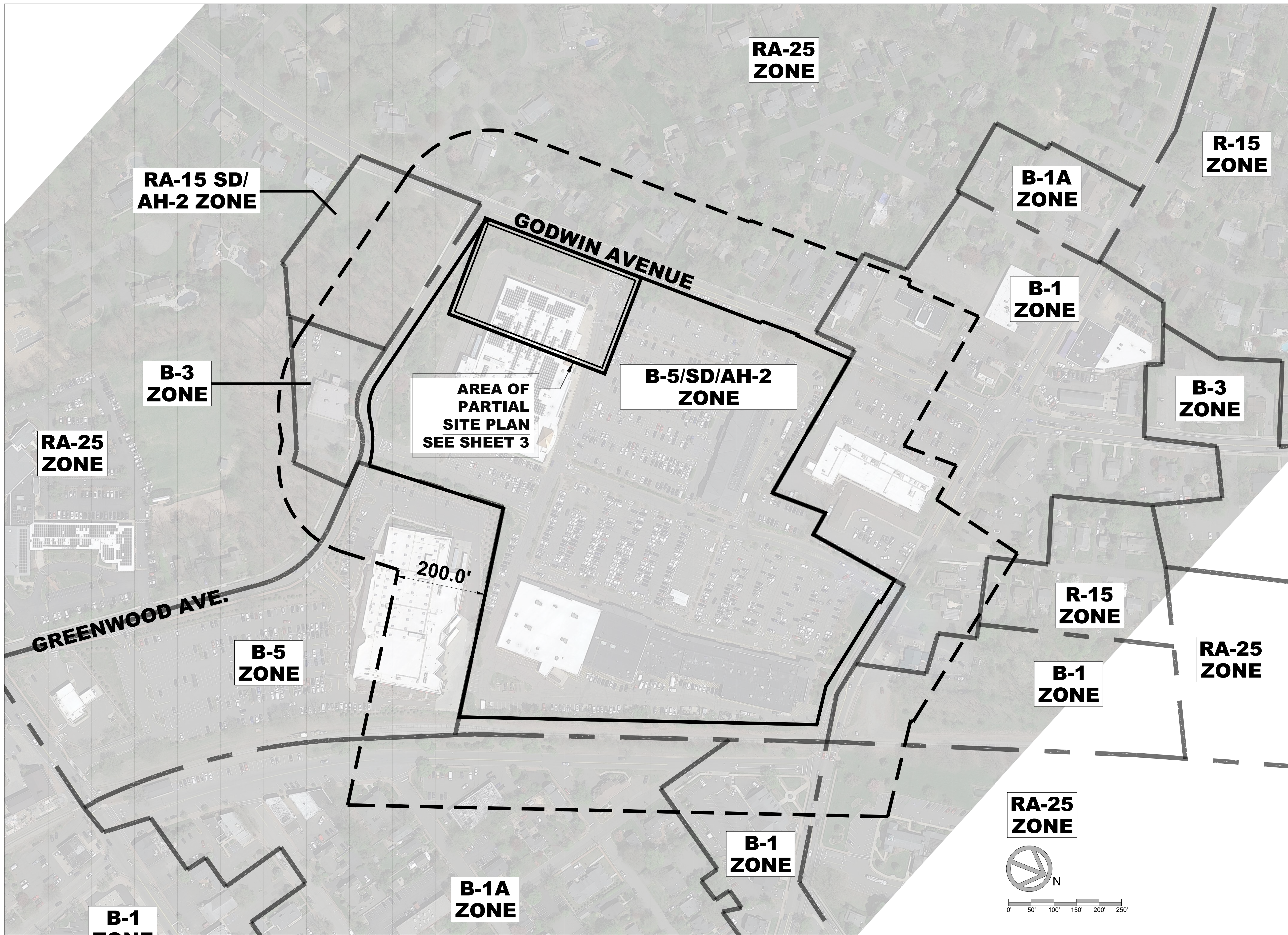
PLANNING BOARD APPROVAL	
APPROVED AT THE PLANNING BOARD OF THE TOWNSHIP OF WYCKOFF, BERGEN COUNTY, NJ	
CHAIRMAN	DATE
SECRETARY	DATE
BOARD ENGINEER	DATE

PREPARED BY  
**KIMMERLE NEWMAN ARCHITECTS, PA**  
1109 MT. KEMBLE AVENUE, HARDING TOWNSHIP, NJ 07960  
WWW.KIMMERLE.COM

CERTIFICATION	
I CERTIFY I AM OF AUTHORITY TO AUTHORIZE THIS APPLICATION	
AUTHORIZED SIGNATORY	DATE

HACKENSACK MERIDIAN AMBULATORY CARE, INC.  
URGENT CARE CENTER  
BLOCK 216.01 LOT 24.01  
327 FRANKLIN AVENUE  
TOWNSHIP OF WYCKOFF, COUNTY OF BERGEN, NJ





1 AERIAL MAP

Scale: 1"=100'

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planning  
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Sign/Seal

no.	date	issue
1	02-10-2023	REVISION 1
2	02-17-2023	REVISION 2

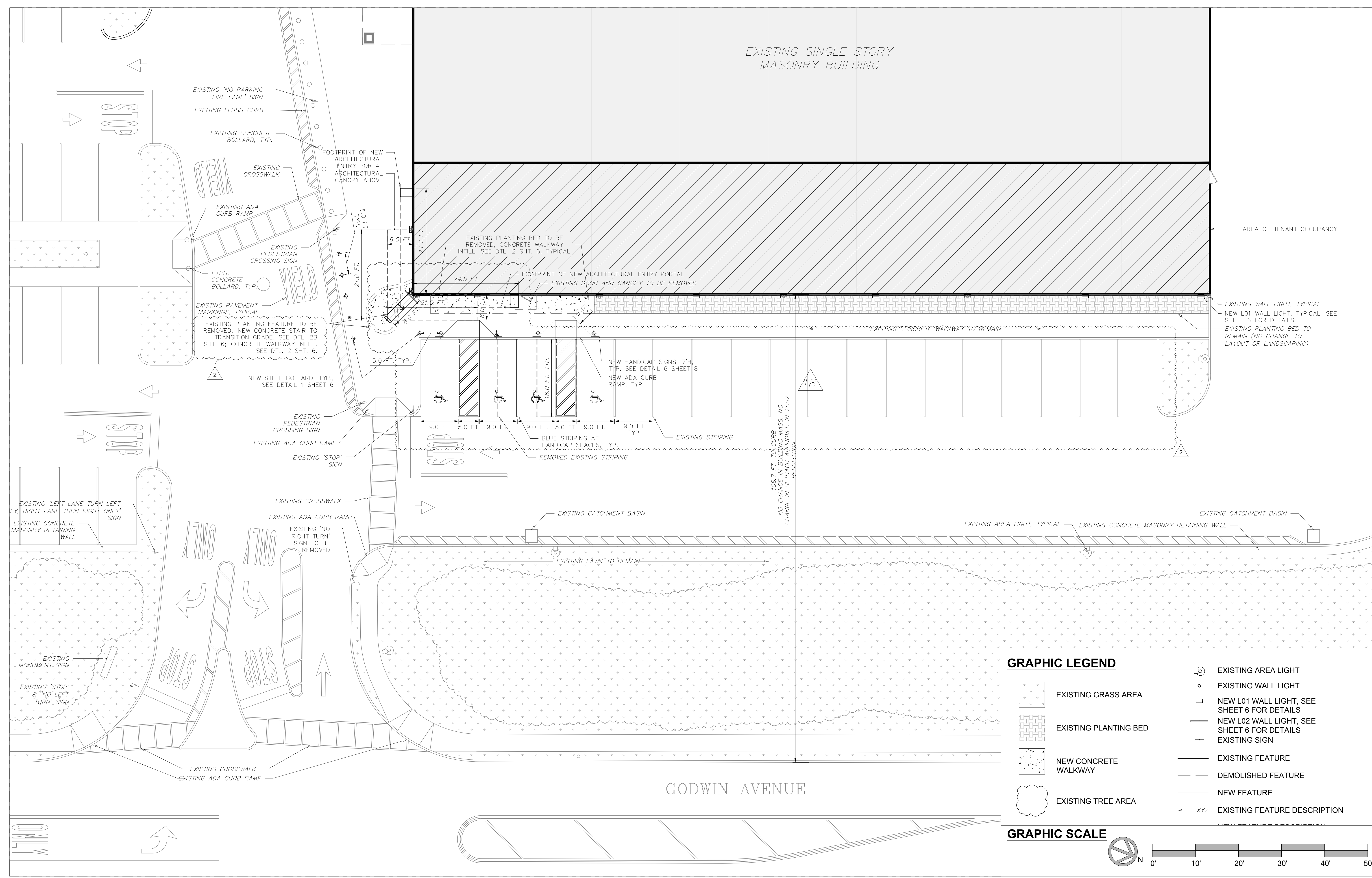
HACKENSACK MERIDIAN AMBULATORY CARE, INC.  
URGENT CARE CENTER

BLOCK 216.01 LOT 24.01  
327 FRANKLIN AVENUE  
TOWNSHIP OF WYCKOFF, COUNTY OF BERGEN, NJ

AERIAL MAP

date	11/02/2022	drawing number	
scale	AS NOTED		
drawn by	WK/GJK		
check by	WJK		





EXISTING SINGLE STORY  
MASONRY BUILDING

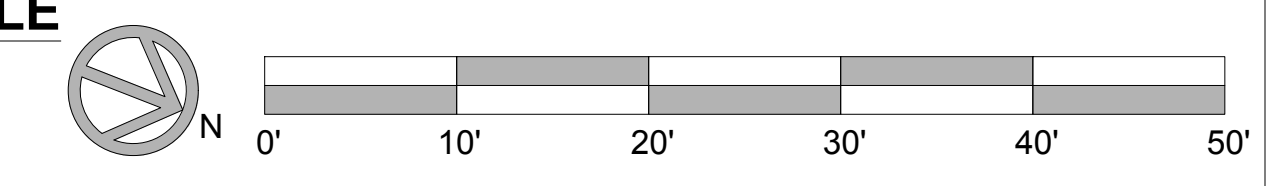
AREA OF TENANT OCCUPANCY

GODWIN AVENUE

**GRAPHIC LEGEND**

- EXISTING GRASS AREA
- EXISTING PLANTING BED
- NEW CONCRETE WALKWAY
- EXISTING TREE AREA
- EXISTING AREA LIGHT
- EXISTING WALL LIGHT
- NEW L01 WALL LIGHT, SEE SHEET 6 FOR DETAILS
- NEW L02 WALL LIGHT, SEE SHEET 6 FOR DETAILS
- EXISTING SIGN
- EXISTING FEATURE
- DEMOLISHED FEATURE
- NEW FEATURE
- XYZ EXISTING FEATURE DESCRIPTION

**GRAPHIC SCALE**



**NOTE: WORK PROPOSED IS LIMITED TO THE FOLLOWING:**

1. FACADE IMPROVEMENTS
2. NEW BOLLARDS
3. NEW CANOPY
4. ENTRY RELOCATION
5. REMOVAL OF PLANTING BEDS FOR NEW ENTRIES

Scale: 1"=10'-0"

1 PARTIAL SITE PLAN

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1	02-10-2023	REVISION 1
2	02-17-2023	REVISION 2

HACKENSACK MERIDIAN AMBULATORY CARE, INC.  
URGENT CARE CENTER

BLOCK 216.01 LOT 24.01  
327 FRANKLIN AVENUE  
TOWNSHIP OF WYCKOFF, COUNTY OF BERGEN, NJ

PARTIAL SITE PLAN

date 11/02/2022	drawing number
scale AS NOTED	
drawn by WK/GJK	
check by WJK	

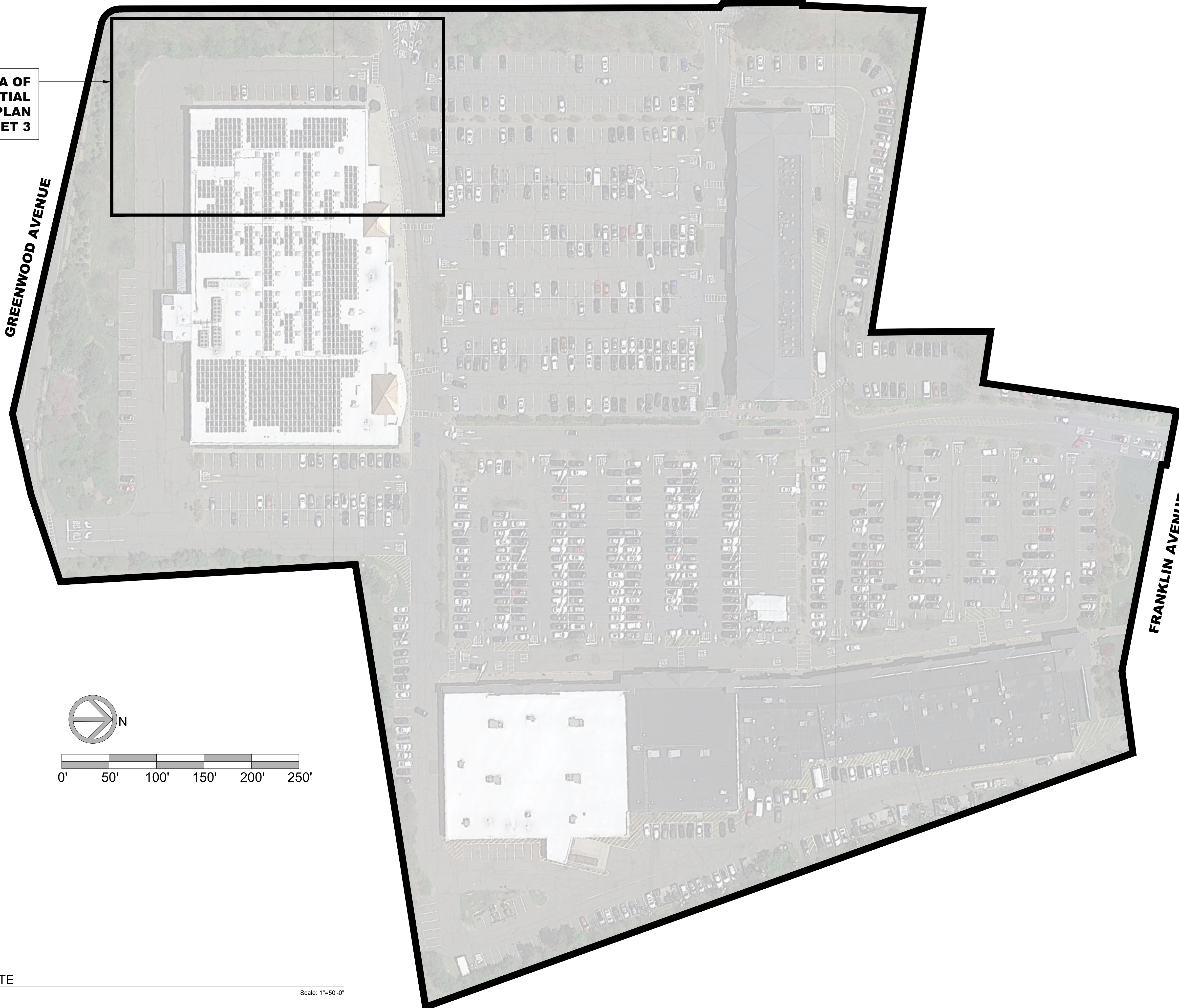
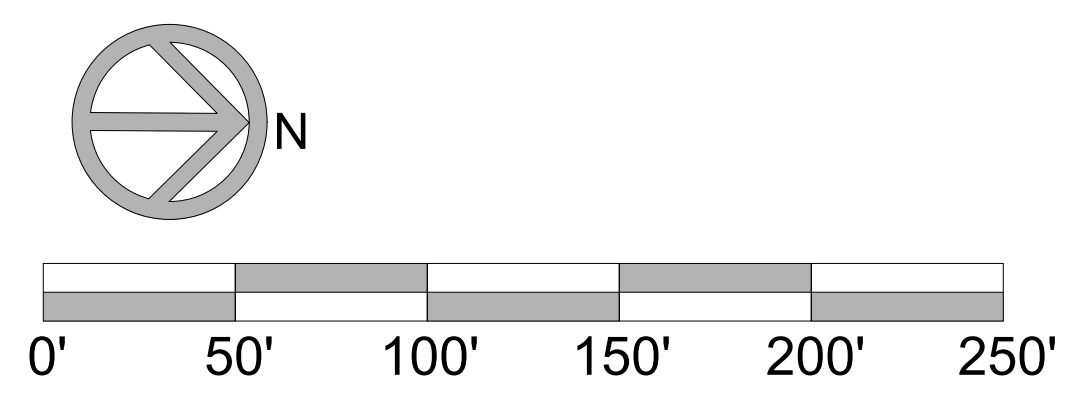


GODWIN AVENUE

GREENWOOD AVENUE

FRANKLIN AVENUE

AREA OF  
PARTIAL  
SITE PLAN  
SEE SHEET 3



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URGENT CARE CENTER

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AERIAL VIEW  
OF SITE

date	11/02/2022	drawing number
scale	AS NOTED	
drawn by	WK/GJK	
check by	WJK	

4



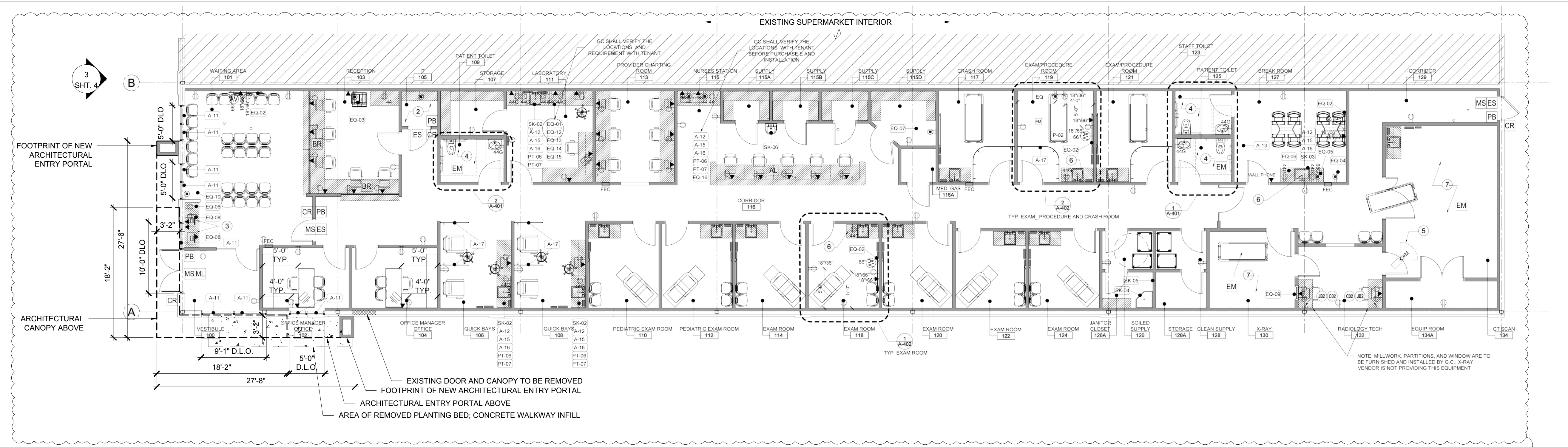
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HACKENSACK MERIDIAN AMBULATORY CARE, INC.  
URGENT CARE CENTER

ARCHITECTURAL  
PLANS &  
ELEVATIONS

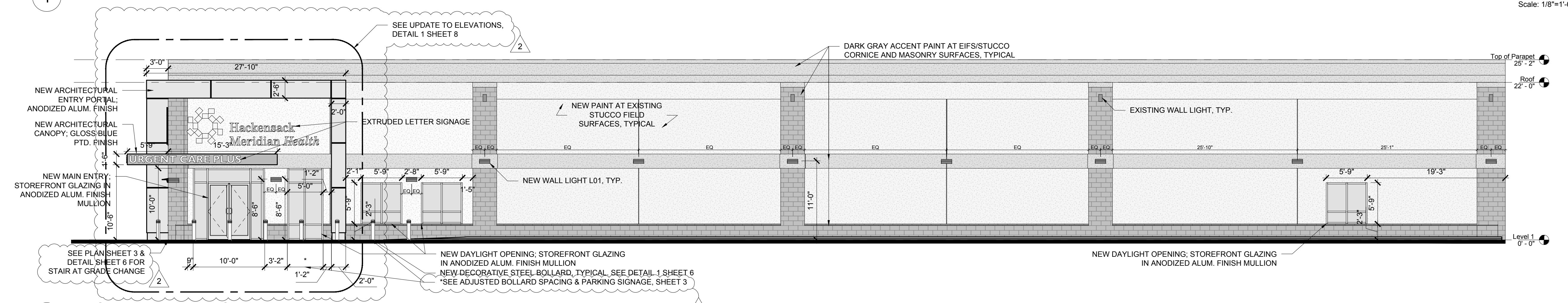
date	11/02/2022
scale	AS NOTED
drawn by	WK/GJK
check by	WJK
drawing number	5

BLOCK 216.01 LOT 24.01  
327 FRANKLIN AVENUE  
TOWNSHIP OF WYCKOFF, COUNTY OF BERGEN, NJ



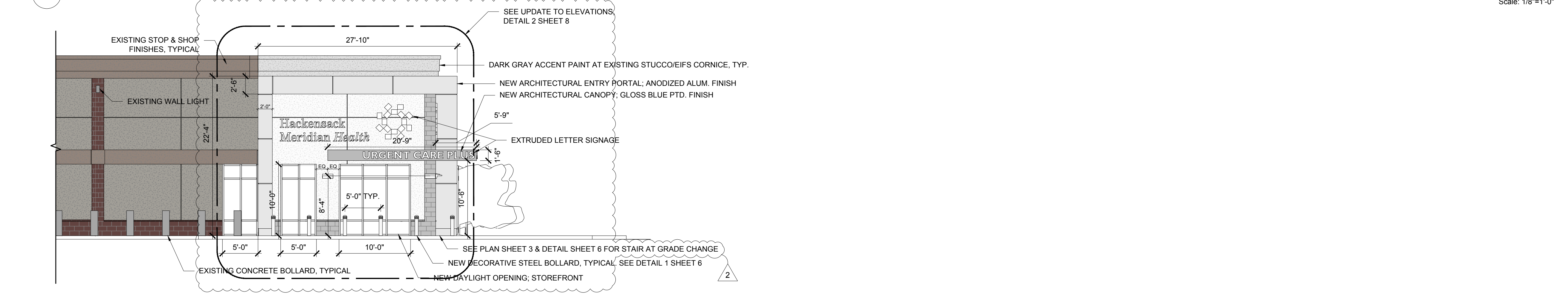
1 INTERIOR PLAN

Scale: 1/8"=1'-0"



2 EASTERLY ELEVATION

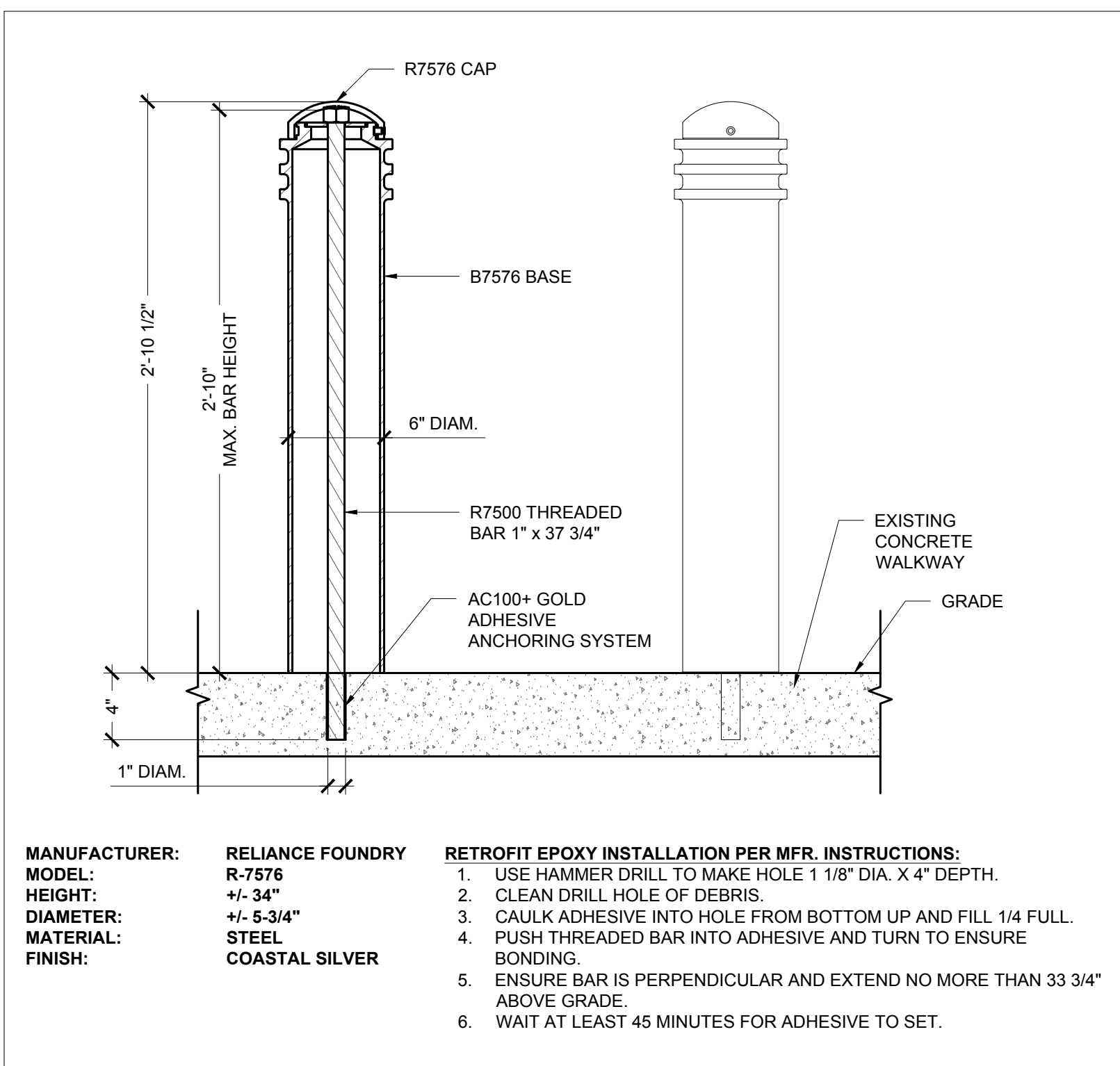
Scale: 1/8"=1'-0"



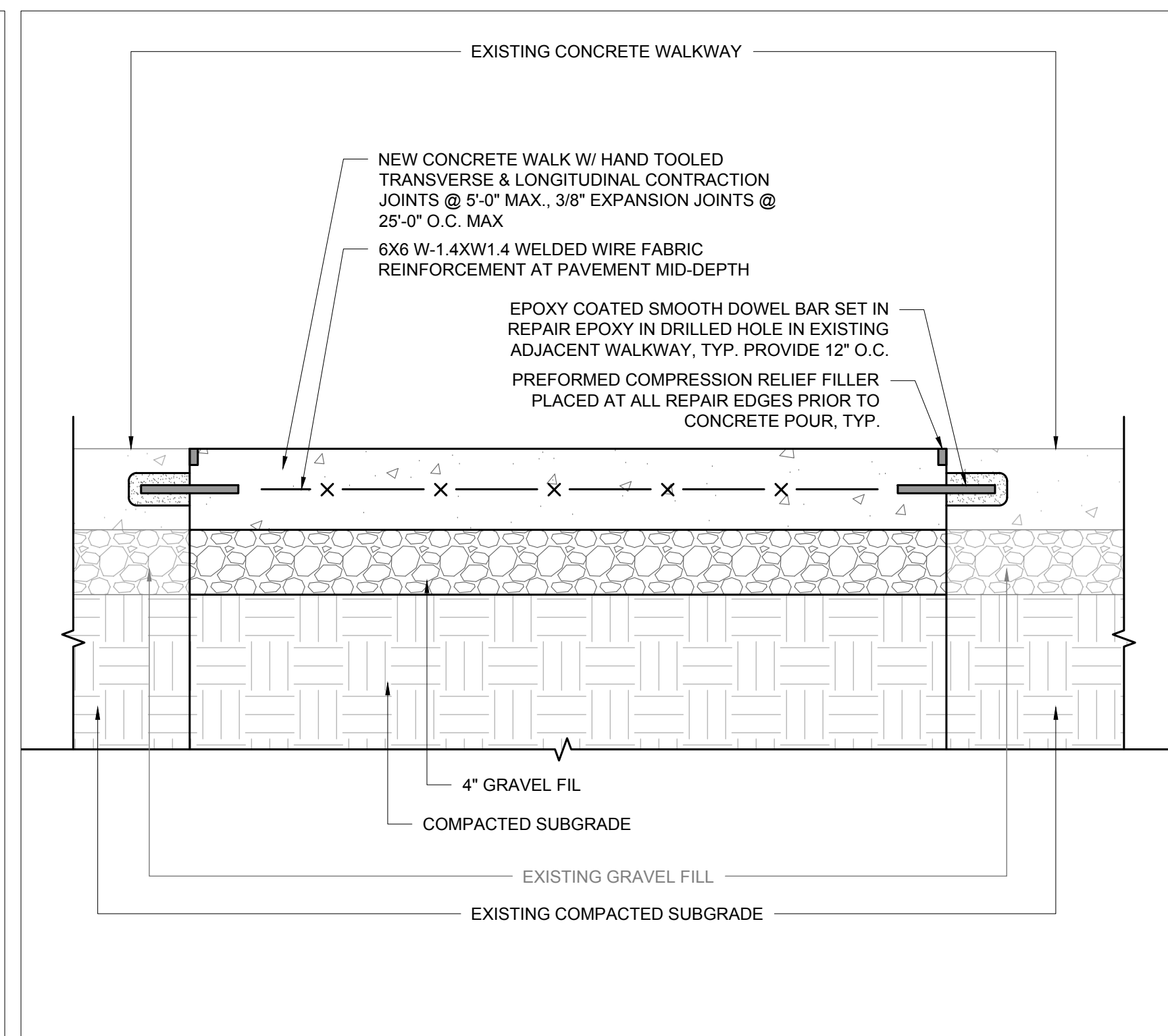
3 SOUTHERLY ELEVATION

Scale: 1/8"=1'-0"

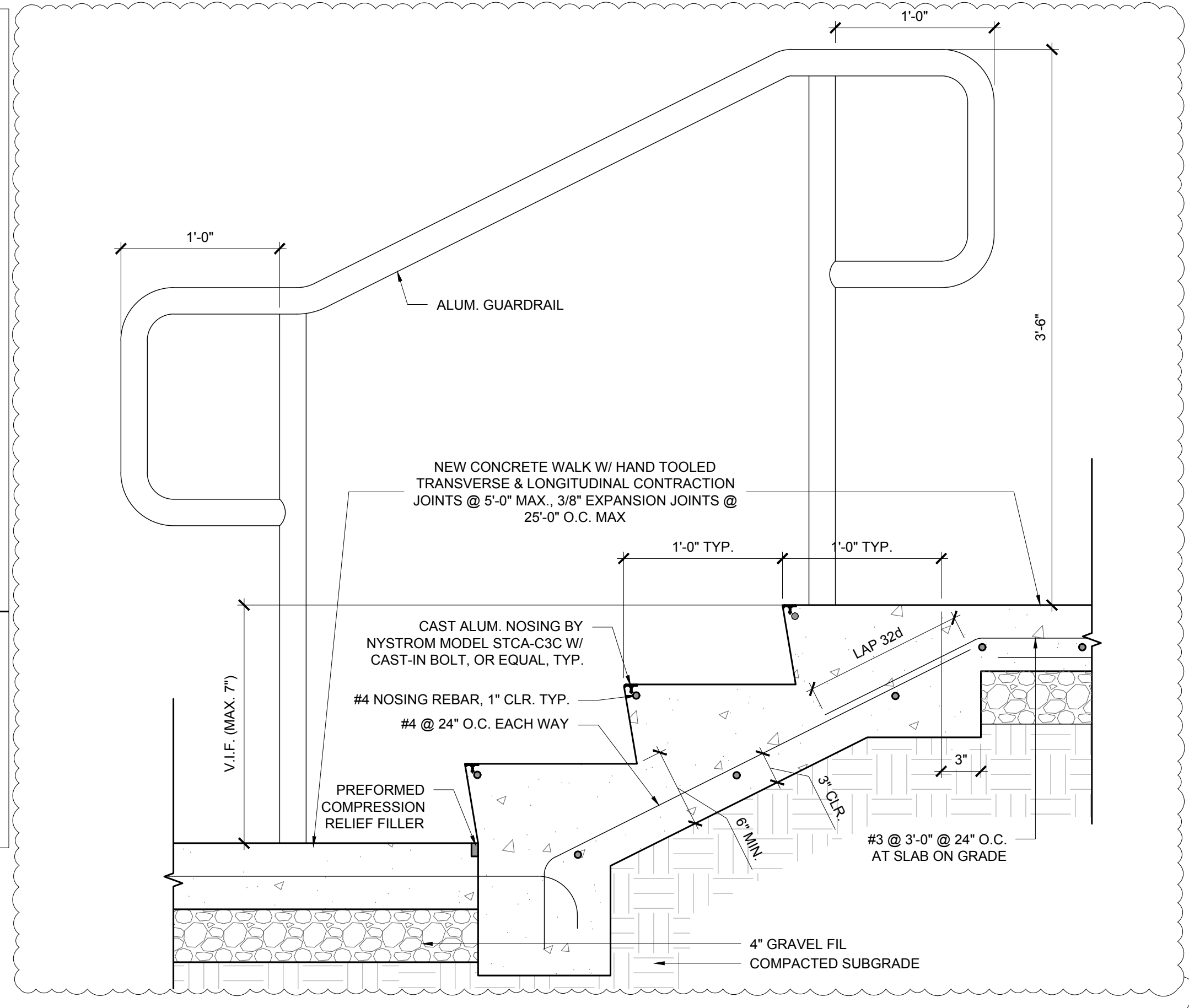




1 NEW STEEL BOLLARD INSTALLATION DETAILS Scale: 1-1/2" = 1'-0"



2 CONCRETE WALKWAY INFILL DETAIL Scale: 1-1/2" = 1'-0"



2B CONCRETE STAIR DETAIL Scale: 1-1/2" = 1'-0"

Catalog #: \_\_\_\_\_ Date: \_\_\_\_\_ Project: \_\_\_\_\_ Type: \_\_\_\_\_  
Prepared By: \_\_\_\_\_

## Slice Wall Sconce (XLCW)

Outdoor Wall Sconce

**SELECTED FIXTURE: WHITE FINISH**

OVERVIEW	
Lumen Range	3,000 - 5,000
Wattage Range	41 - 56
Efficacy Range (LPW)	85 - 94
Weight lbs(kg)	10 (4.5)

**QUICK LINKS**

Ordering Guide Performance Photometrics Dimensions

**FEATURES & SPECIFICATIONS**

**Construction**

- Fabricated aluminum housing with distinctive rectangular shape.
- Mounting hardware is stainless steel or electro-zinc plated.
- Supply conductors sealed with molded EPDM bushing.
- Fixtures are finished with LSI's DuraGrip<sup>®</sup> polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 10 lbs in carton.

**Electrical**

- DIM 0-10 volt dimming enabled with LSI wireless controls.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz.
- Operating temperature: -40°C to +50°C (-40°F to +122°F)
- Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Location Category C.
- Prewired leads extended out the back of the unit through a rubber grommet eliminating the need to open the fixture to make wiring connections.

**Warranty**

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsiindustries.com/resources/terms-and-warranty.aspx> for more information.

**Listings**

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- Suitable for wet locations.
- IP65 rated optical chamber

**Optical System**

- Clear tempered optical-grade flat glass lens sealed to the aluminum optic housing creates an IP65 rated optical assembly.
- Pressure stabilizing breather allows super-tight protection while preventing cycling from building up internal pressures and vacuums that stress optical unit seals.
- Zero uplight.
- Available in 5000K and 4000K color temperatures per ANSI C78.377. Minimum CRI of 70.

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45244 • www.lsi.com Page 1/3 Rev. 03/09/22 (533) 372-3200 • ©2020 LSI Industries Inc. All Rights Reserved. Specifications subject to change without notice. SPEC 3024.A.0420

3 L01 LIGHT: NEW WALL LIGHT Scale: NTS

Project	Catalog #	Type
Prepared by	Notes	Date

## iO LED CoviO

LED Interior / Exterior Architectural Cove Integral Driver

**Typical Applications**

- Hotels • Restaurants • Commercial Office Spaces • Schools • Hospitals
- Retail • Residential

**Product Certification**

UL, ENEC, IP66, FC, CE, RoHS

**Product Features**

- Dimmable
- Wireless
- fitright

**Interactive Menu**

- Order Information page 2
- Photometric Data page 4
- Energy and Performance Data page 4
- Mounting and Installation page 5
- Installation Instructions
- Product Warranty

**Top Product Features**

- Cove lighting fixture with integral driver
- IP66 rated for exterior wet locations or interior installations
- Up to 1500 lm/ft (3 light level options at 500, 1000 and 1500 lm/ft)
- Up to 300 ft run from a single power drop
- Up to 130 lm/W
- Dimming to 1% (0-10V, 100% - 1%)
- 90+ CRI
- Wavelinx wireless control option

**Dimensions**

**Scale**

COOPER Lighting Solutions PSS04001EN page 1 June 07, 2022 05:57:14

4 L02 LIGHT: NEW LIGHT AT UNDERSIDE OF CANOPY Scale: NTS

## iO LED CoviO

**Photometric Data**

ANSI/IES TM-30-18 Color Rendition Report

TM-30 and Photometric Sphere test results are summarized in the table below. Contact Cooper Lighting Solutions for specific TM-30 reports.

CCT	CRI	R <sub>a</sub>	R <sub>1</sub>	R <sub>2</sub>	R <sub>9</sub>
2700K	93.3	92	99	65.6	
3000K	94.1	92	99	72.4	
3500K	93.5	89	96	71.7	
4000K	93.2	86	93	81.4	

**Light Output Conversion Table**

CCT	05L	10L	15L
2700K	0.324	0.626	0.915
3000K	0.337	0.649	0.949
3500K	0.345	0.672	0.985
4000K	0.354	0.695	1.000

**Energy and Performance Data**

Lumen Package, L	CCT	Delivered Lumen Output Table								
		1F = 12' fixture			2F = 24' fixture			4F = 48' fixture		
		Delivered Lumens	Watts	Efficacy (lm/W)	Delivered Lumens	Watts	Efficacy (lm/W)	Delivered Lumens	Watts	Efficacy (lm/W)
05L	927	562	5.1	110.2	1147	9.9	115.9	2362	19	124.3
	930	583	5.1	114.3	1190	9.9	120.2	2450	19	128.9
	935	604	5.1	118.4	1232	9.9	124.5	2537	19	133.5
	940	614	5.1	120.4	1254	9.9	126.6	2581	19	135.8
	927	1090	9.9	109.1	2211	18.8	117.6	4538	37.5	121
10L	930	1120	9.9	113.1	2293	18.8	121.9	4706	37.5	125.5
	935	1160	9.9	117.2	2374	18.8	126.3	4874	37.5	130
	940	1180	9.9	119.2	2415	18.8	128.5	4956	37.5	132.2
	927	1581	14.6	108.3	3034	28.9	111.9	6576	56.5	116.4
	930	1640	14.6	112.3	3094	28.9	116.0	6820	56.5	120.7
15L	935	1698	14.6	116.3	3473	28.9	120.2	7064	56.5	125
	940	1727	14.6	118.3	3533	28.9	122.3	7185	56.5	127.2

COOPER Lighting Solutions PSS04001EN page 4 June 07, 2022 05:57:14

4 L02 LIGHT: NEW LIGHT AT UNDERSIDE OF CANOPY Scale: NTS

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Sign Seal

no.	date	issue
1	02-10-2023	REVISION 1
2	02-17-2023	REVISION 2

HACKENSACK MERIDIAN AMBULATORY CARE, INC.  
URGENT CARE CENTER

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DETAILS & LIGHT FIXTURES

date: 11/02/2022  
scale: drawing number  
AS NOTED  
drawn by: WK/GJK  
check by: WKJ

6



issues/revs	no.	date	issue
1	02-10-2023		REVISION 1
2	02-17-2023		REVISION 2

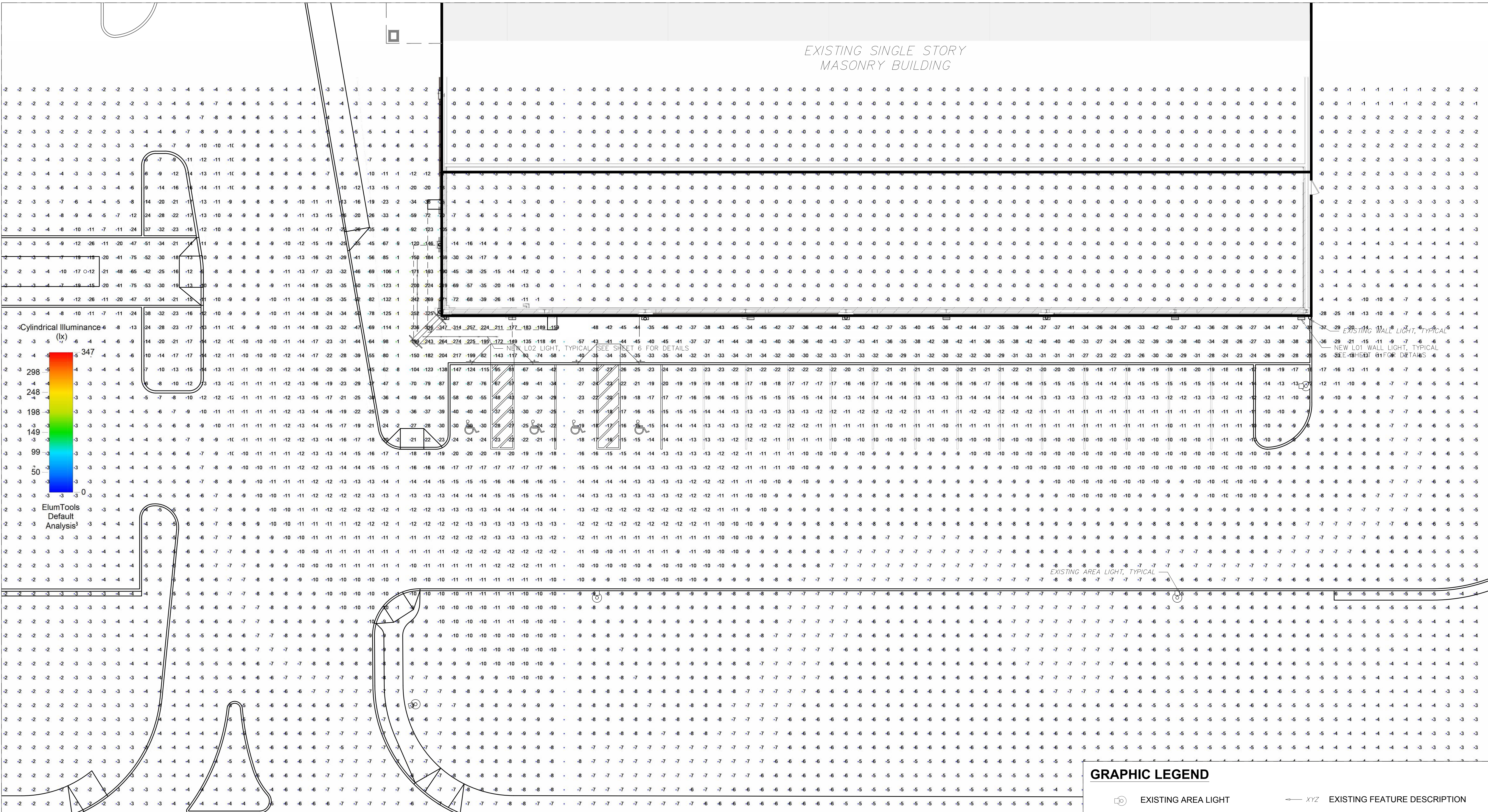
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LIGHT LEVEL  
STUDY

date	11/02/2022	scale	AS NOTED	drawing number	7
drawn by	WK/GJK	check by	WKJ		

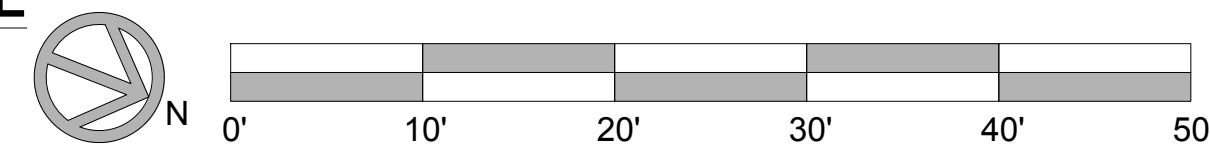
EXISTING SINGLE STORY  
MASONRY BUILDING



GRAPHIC LEGEND

- EXISTING AREA LIGHT
- EXISTING WALL LIGHT
- NEW L01 WALL LIGHT, SEE SHEET 6 FOR DETAILS
- NEW L02 CANOPY LIGHT, SEE SHEET 6 FOR DETAILS
- EXISTING FEATURE DESCRIPTION
- NEW FEATURE DESCRIPTION

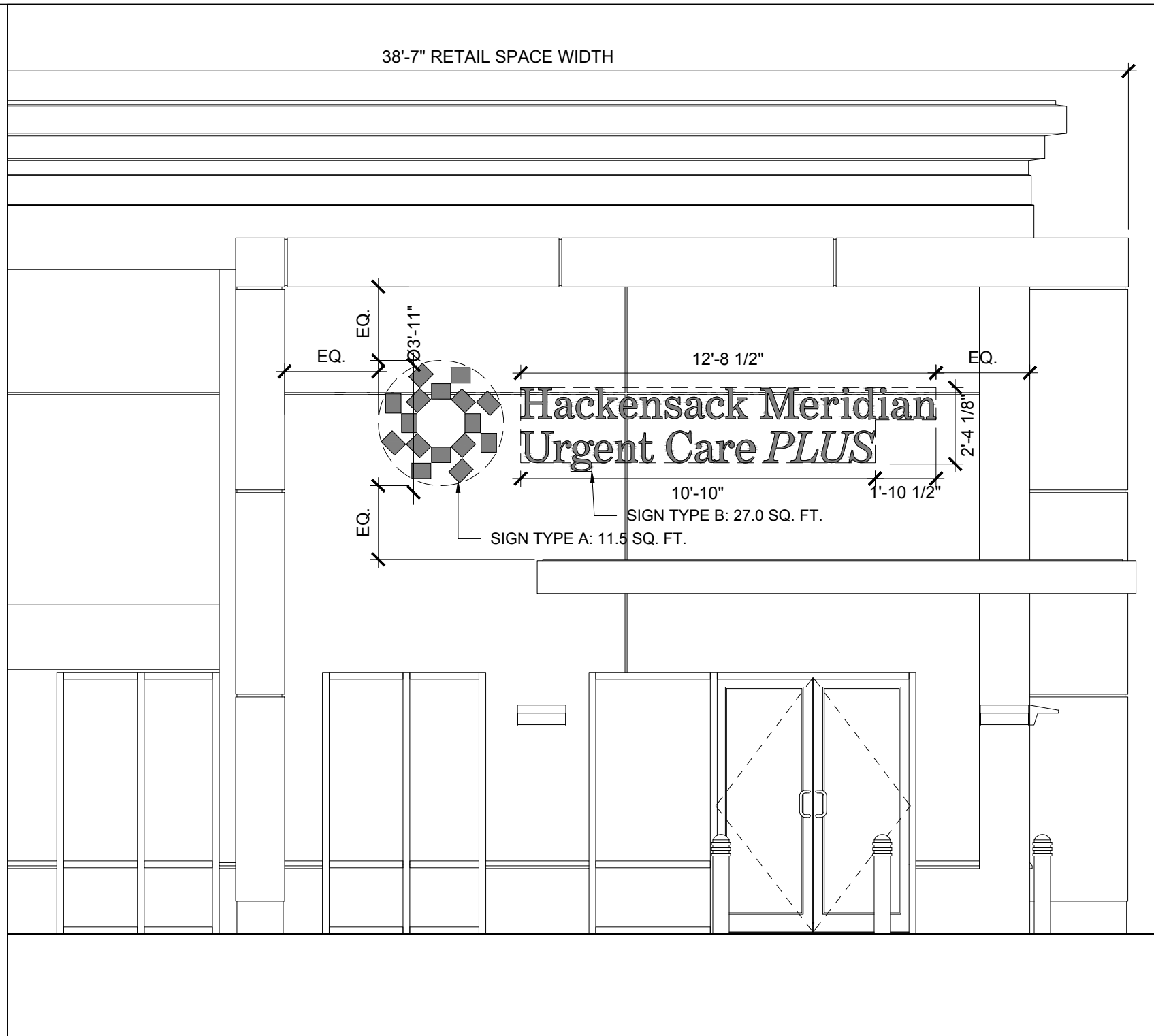
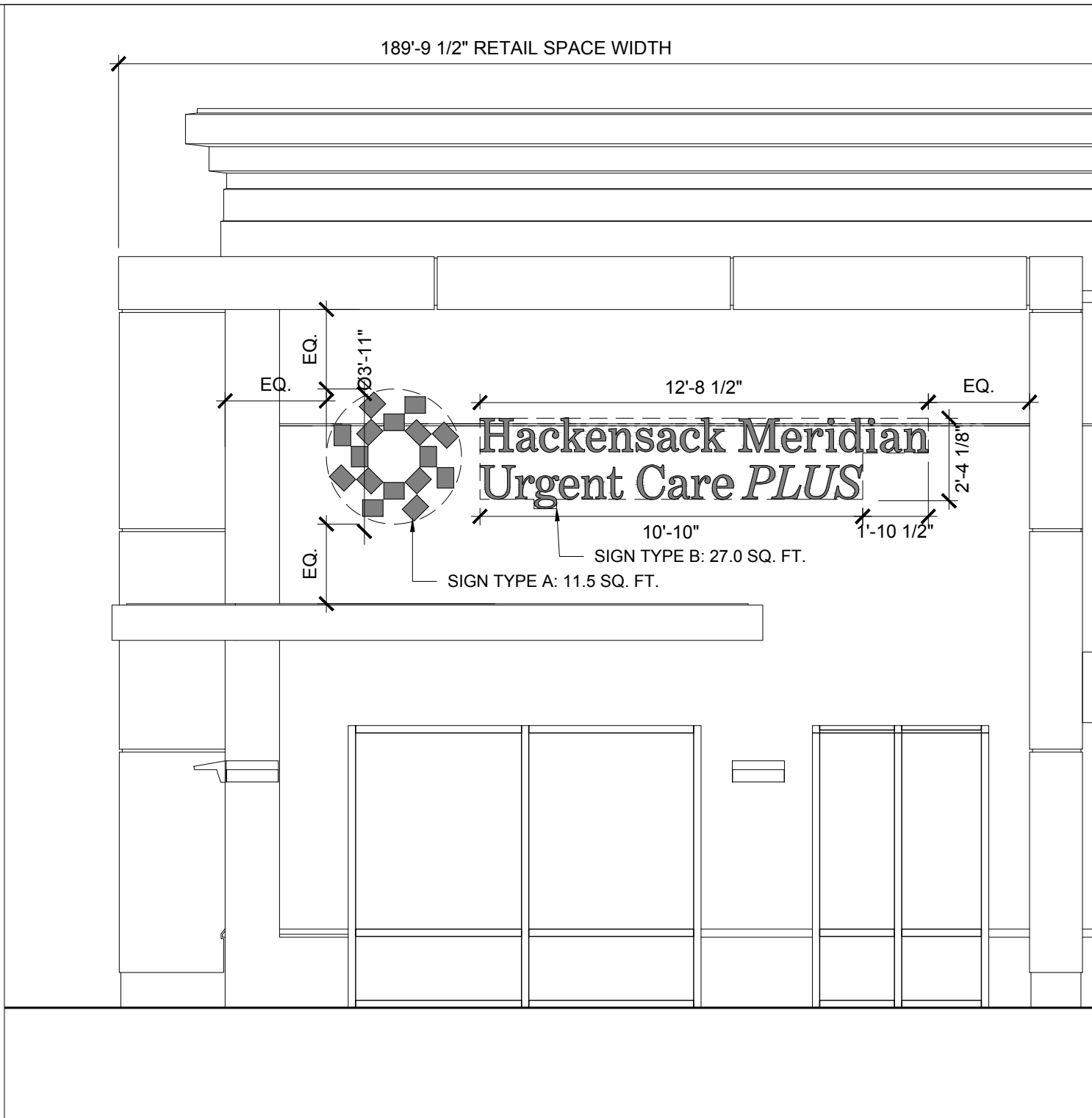
GRAPHIC SCALE



1 PHOTOMETRIC LIGHT STUDY

Scale: 1"=10'-0"





1 SIGNAGE, WEST ELEVATION

Scale: 1/4"=1'-0"

2 SIGNAGE, NORTH ELEVATION

Scale: 1/4"=1'-0"



3 SIGNAGE, RENDERING

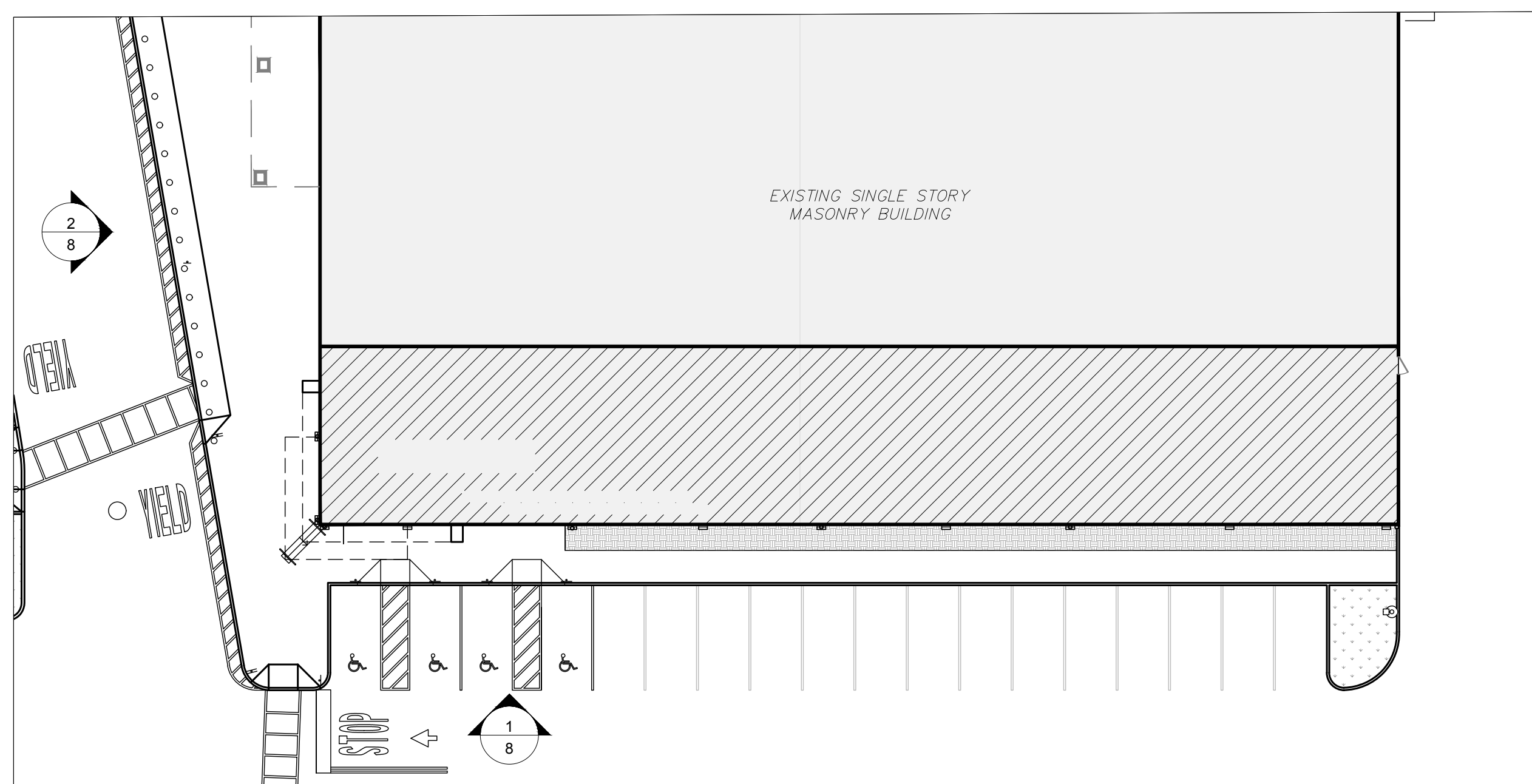
Scale: NTS

**ZONING SUMMARY**  
B-5/SDAH-2 PLANNED COMMUNITY SHOPPING CENTER / AFFORDABLE HOUSING ZONE

**REQUIREMENT**  
MAXIMUM INDIVIDUAL RETAIL OR SERVICE ESTABLISHMENT SIGN PER ZONING CODE SECTION 186-26.F(4)  
1. (1) SF FOR EACH FOOT OF BUILDING WIDTH OCCUPIED BY THE ESTABLISHMENT  
2. MAX. (40) SF FOR EACH ESTABLISHMENT

**PROPOSED**

LOCATION	BUILDING WIDTH OCCUPIED BY TENANT	SIGN	BOUNDING RECTANGULAR OR CIRCULAR AREA	ACTUAL SIGN SURFACE AREA	DESCRIPTION OF TYPE	ILLUMINATION
WEST ELEVATION	38'-7" (38.58 FT)	SIGN TYPE A	11.5 SF	4.36 SF	CHANNEL LETTERS	INTERNAL, NON-FLASHING
		SIGN TYPE B	27.0 SF	6.41 SF	CHANNEL LETTERS	INTERNAL, NON-FLASHING
		TOTAL	38.5 SF	10.77 SF		
NORTH ELEVATION	188'-9 1/2" (188.79 FT)	SIGN TYPE A	11.5 SF	4.36 SF	CHANNEL LETTERS	INTERNAL, NON-FLASHING
		SIGN TYPE B	27.0 SF	6.41 SF	CHANNEL LETTERS	INTERNAL, NON-FLASHING
		TOTAL	38.5 SF	10.77 SF		



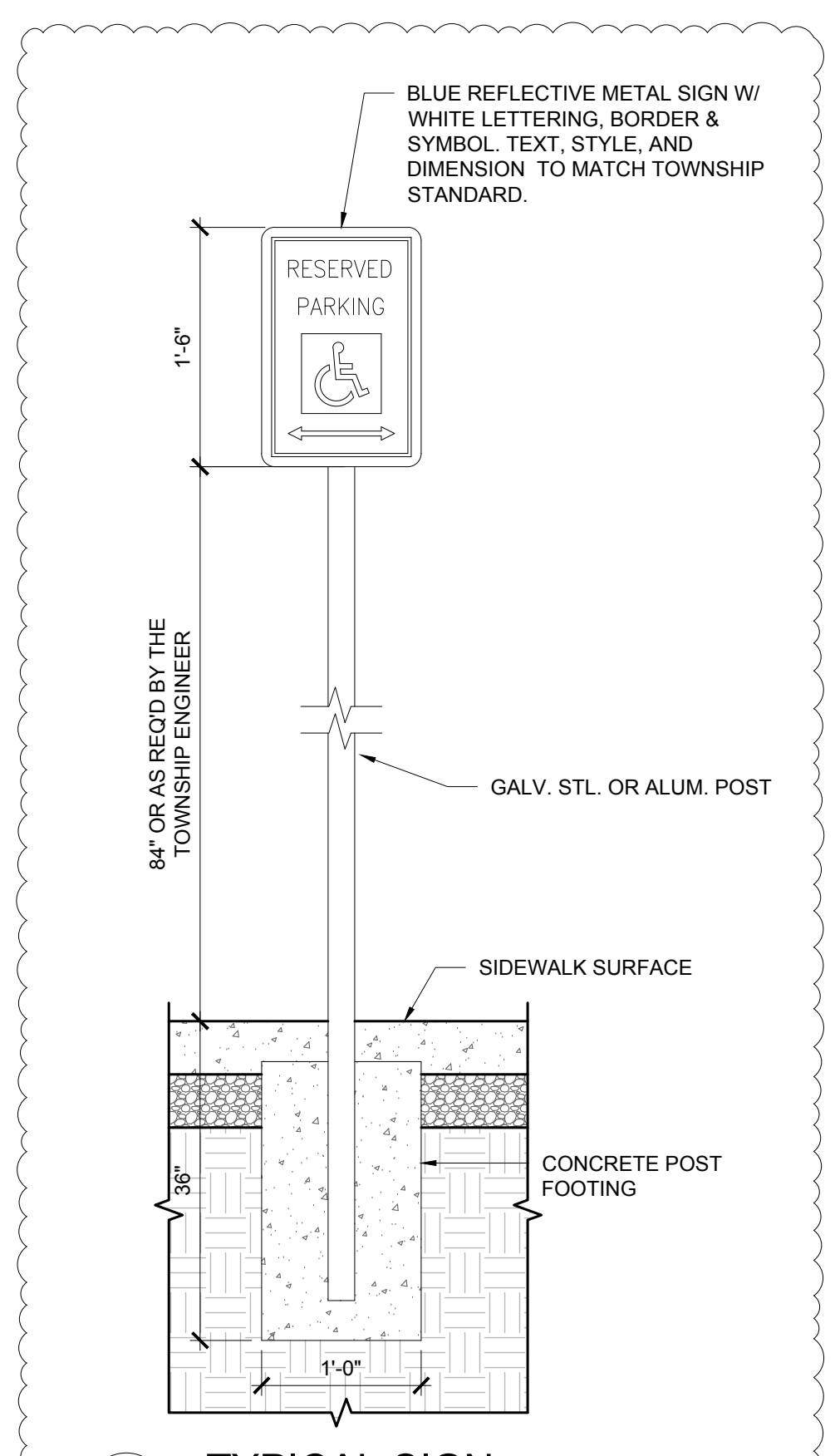
4 KEY PLAN

Scale: 1:20



5 TYPICAL SIGN

Scale: 1/2"=1'-0"



6 TYPICAL SIGN

Scale: 1/2"=1'-0"

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Issues/Revisions

no.	date	issue
1	02-10-2023	REVISION 1
2	02-17-2023	REVISION 2

HACKENSACK MERIDIAN AMBULATORY CARE, INC.  
URGENT CARE CENTER

SIGNAGE ELEVATIONS & RENDERING

date: 01/12/2023  
scale: AS NOTED  
drawing number: 8  
drawn by: WK/GJK  
check by: WJK

BLOCK 216.01 LOT 24.01  
327 FRANKLIN AVENUE  
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