

CONTRACTOR NOTES

- PRIOR TO ANY SITE WORK BEING PERFORMED AS PER THIS CONSTRUCTION DESIGN PLAN SET: THE OWNER, GENERAL CONTRACTOR, AND/OR SUB-CONTRACTOR(S) ASSOCIATED WITH ANY WORK AS PER THIS CONSTRUCTION DESIGN PLAN SET SHALL PROVIDE ONELLO ENGINEERING FIVE (5) BUSINESS DAYS ADVANCE NOTIFICATION TO SCHEDULE A PRE-CONSTRUCTION MEETING. A DATE, TIME, AND LOCATION SHALL BE AGREED UPON AND SUITABLE TO ALL ATTENDEES, WHEREAS A 'FORCED MEETING' SHALL NOT BE ACCEPTABLE.
- FIVE (5) BUSINESS DAYS ADVANCE NOTIFICATION TO ONELLO ENGINEERING IS REQUIRED PRIOR TO THE START OF ANY ADDITIONAL WORK PHASES AS SITE CONDITIONS MAY OR MAY NOT HAVE CHANGED DURING CONSTRUCTION ACTIVITY.
- CONTRACTOR(S) SHALL CONTACT ONELLO ENGINEERING TO VERIFY SITE ELEVATION BENCH-MARK(S) AND ANY PERMANENT OBJECT(S) USED AS A BASIS FOR MEASUREMENTS TO SET LOCATIONS FOR THE INSTALLATION OF ANY IMPROVEMENTS.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY ONELLO ENGINEERING SHOULD ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, WHICH MAY AFFECT THE VERTICAL AND/OR HORIZONTAL POSITION OF ANY PROPOSED STRUCTURES AND IMPROVEMENTS (INCLUDING, BUT NOT LIMITED TO BUILDING FOUNDATION(S), POOL AND/OR SPA, RETAINING WALLS, DETACHED ACCESSORY STRUCTURES, HARDSCAPES, PATIOS, DRIVEWAYS, OR SIMILAR IMPROVEMENTS AS PER DESIGN PLAN).
- ALL CONSTRUCTION ACTIVITY AND EQUIPMENT STAGING SHALL BE CONFINED WITHIN THE LIMIT OF DISTURBANCE AS SPECIFIED WITHIN THE APPROVED SOIL EROSION CONTROL PLAN, (OR OTHER PRE-DETERMINED AND APPROVED AREAS).
- EXCAVATION CONTRACTOR TO CALL FOR UTILITY MARK-OUT PRIOR TO ANY EXCAVATION. OWNER & GENERAL CONTRACTOR SHALL CONFIRM.
- CONTRACTOR SHALL VERIFY ALL UTILITY(S) LOCATIONS AND CONNECTIONS FOR ALL EXISTING AND PROPOSED SERVICE FACILITIES, RETROFITS, AND/OR NEW CONDUITS, (AS APPLICABLE, REQUIRED, AND NECESSARY).
- AS PER LOCAL PUBLIC SERVICE UTILITY(S) COMPANY(S), THERE IS A POSSIBILITY FOR AN EXISTING BULKHEAD EASEMENT TO UTILIZE LAND ALONG RIGHT-OF-WAY FRONTAGE AND/OR OTHER PORTIONS OF THE SUBJECT PROPERTY(S), WHICH MAY OR MAY NOT HAVE EFFECTS TO THIS APPLICATION, WHEREAS THE PROVIDED DESIGN PLANS PRESENT NONE.
- PENDING UTILITY MARK-OUT AND VERIFICATION(S) OF THE SAME, OWNER & CONTRACTOR SHALL COORDINATE ANY MODIFICATIONS WITH THE UTILITY(S) COMPANY(S). ONELLO ENGINEERING SHALL BE KEPT INFORMED OF ANY PLANNED MODIFICATIONS THERETO.
- ANY UNENCOUNTERED UNDERGROUND STORAGE TANKS 'UST' (STORING PETROLEUM OR HAZARDOUS SUBSTANCES), SUB-SURFACE SEPTIC SYSTEMS, AND/OR WELLS SHALL BE ABANDONED AS PER STATE OF NEW JERSEY STANDARDS & PROCEDURES. CONTRACTOR SHALL IMMEDIATELY CONTACT OWNER AND ONELLO ENGINEERING IF UNKNOWN FACILITIES ARE FOUND DURING CONSTRUCTION. ALL REQUIRED VERIFICATIONS, ABANDONMENTS, & CONFIRMATIONS SHALL BE COMPLETED PRIOR TO THE CONTINUANCE OF CONSTRUCTION ACTIVITY.
- ON-SITE SEEPAGE PITS (FOR DRAINAGE DRYWELL OR SANITARY SEPTIC) AND/OR OTHER SUB-SURFACE CHAMBERS MAY EXIST, WHICH MAY NOT CONFORM TO TRAFFIC-LOADING REQUIREMENTS. CONTRACTOR SHALL USE NECESSARY PIPE-TRACING METHODS TO LOCATE ANY SEEPAGE PIT LOCATIONS (AND/OR VERIFY NON-EXISTENCE THEREOF) PRIOR TO DRIVING HEAVY DUTY EXCAVATION EQUIPMENT ACROSS ANY AREAS OF THE SUBJECT PROPERTY(S).
- CONTRACTOR SHALL SUBMIT MATERIAL SHOP DRAWINGS AND PRODUCT DATA TO ONELLO ENGINEERING FOR REVIEW IN-COMPARISON WITH DESIGN SPECIFICATIONS.
- CONTRACTOR SHALL REQUEST ANY CHANGE-ORDERS VIA OWNER TO ONELLO ENGINEERING FOR REVIEW AND CONFIRMATION.
- ONELLO ENGINEERING SHALL NOT BE RESPONSIBLE FOR ANY WORK PERFORMED, WHICH IS NOT IN CONFORMANCE WITH THE DESIGN IMPROVEMENTS AS SPECIFIED WITHIN THIS PLAN SET.

PROPOSED IMPROVEMENTS SEQUENCE OF INSTALLATION & VERIFICATIONS

THIS NOTES SECTION SHALL BE APPLICABLE TO ALL PROPOSED CONDITIONS, INCLUDING, BUT NOT LIMITED TO: BUILDING(S), POOL(S), & ANY LANDSCAPE IMPROVEMENTS TO BE INSTALLED AS PER THESE DESIGN PLANS

- PRE-CONSTRUCTION MEETING REQUIRED, AS LISTED WITHIN THE PLAN SET SECTION ENTITLED: 'CONTRACTOR NOTES'
- CONTRACTOR SHALL RETAIN NEW JERSEY LICENSED SURVEYOR VIA ONELLO ENGINEERING TO PROVIDE THE FOLLOWING CONSTRUCTION SEQUENTIAL TASK-ITEM CONSTRUCTION SERVICES
- SITE ELEVATION BENCH-MARK(S) SHALL BE SET, ESTABLISHED, CONFIRMED, AND VERIFIED FOR CONTINUAL USE THROUGHOUT CONSTRUCTION. (TRIANGULATE ELEVATION TO SET SPECIFIC AREA FOR LINE OF SIGHT AS NECESSARY); SITE WORK CONTRACTOR SHALL HAVE LASER-LEVEL UNIT FOR CONTINUAL VERIFICATIONS DURING CONSTRUCTION ACTIVITY
- IF SITE ELEVATION BENCH-MARK IS COMPROMISED, IMMEDIATELY CONTACT ONELLO ENGINEERING AND PROJECT SURVEYOR FOR A NEW SITE ELEVATION BENCH-MARK TO BE SET. ALL SITE ELEVATIONS SHALL BE RE-CONFIRMED AND VERIFIED AS APPLICABLE AND NECESSARY PRIOR TO THE CONTINUANCE OF SITE CONSTRUCTION ACTIVITY; (PROJECT SURVEYOR SHALL HAVE ORIGINAL HORIZONTAL COORDINATES CONTROL AND VERTICAL TOPOGRAPHIC ELEVATION CONTROL)
- STAKE-OUT BUILDING AND HARDSCAPE LOCATIONS AND PROVIDE A LAYOUT MAP WITH STAKE BACK-SHOT LOCATIONS AND ELEVATIONS (AT GRADE LEVEL) FOR REVIEW AND USE BY CONTRACTOR AND ENGINEER
- IF NO FOOTINGS ARE REQUIRED FOR FOUNDATION BUILDING WALL OR HARDSCAPE COMPONENTS TO BE INSTALLED UPON, (PRE-CASTED WALL PANEL, MODULAR BLOCKS, OR SIMILAR), STAKES (OR PINS) SHALL BE SET AT RESPECTIVE CORNERS & MID-POINTS, WITHIN COMPACTED GRAVEL OR DGA BASE-COURSE. PROVIDE A LAYOUT MAP WITH BACK-SHOT LOCATIONS AND ELEVATIONS FOR REVIEW AND USE BY CONTRACTOR AND ENGINEER'S VERIFICATION
- IF DESIGN PLANS CALL FOR FOUNDATION FOOTINGS, AFTER FOUNDATION FOOTINGS FORMS ARE INSTALLED, PERFORM FOOTING AS-BUILT SURVEY TO CONCRETE INSTALLATION TO VERIFY HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS
- AFTER FOUNDATION FOOTINGS ARE CURED, FOUNDATION WALL AND/OR HARDSCAPE WALL CORNERS & MID-POINTS SHALL BE PINNED, AND SUBSEQUENTLY, THE TOP OF FOOTING ELEVATION SHALL BE VERIFIED (ALSO KNOWN AS: 'PINNING THE FOOTINGS' & 'FOOTING AS-BUILT SURVEY'). PROVIDE A LAYOUT MAP WITH BACK-SHOT LOCATIONS AND ELEVATIONS (AT SET PIN) FOR REVIEW AND USE BY CONTRACTOR AND ENGINEER'S VERIFICATION
- IF MASONRY WALL IS TO BE 'CAST-IN-PLACE' (STEEL REINFORCED CONCRETE), AFTER FORMS HAVE BEEN SET, A WALL FORM AS-BUILT SURVEY SHALL BE PROVIDED, WHICH SHALL VERIFY THE FOUNDATION LOCATION, (HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS)
- AFTER FORMS HAVE BEEN POURED AND CURED, A FOUNDATION LOCATION AS-BUILT SURVEY SHALL BE PROVIDED, WHICH SHALL VERIFY THE FOUNDATION LOCATION AND TOP OF FOUNDATION ELEVATION (HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS)
- IF FOUNDATION WALLS ARE CONSTRUCTED WITH INDIVIDUAL CONCRETE MASONRY UNITS (CMU WALL), AFTER COMPLETION, A WALL LOCATION AS-BUILT SURVEY SHALL BE PROVIDED, WHICH SHALL VERIFY THE FOUNDATION LOCATION AND TOP OF FOUNDATION ELEVATION (HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS)
- IF FOUNDATION WALLS ARE PRE-CASTED AND INSTALLED ON-SITE, AFTER COMPLETION, A FOUNDATION LOCATION AS-BUILT SURVEY SHALL BE PROVIDED, WHICH SHALL VERIFY THE PROPOSED FOUNDATION LOCATION AND TOP OF FOUNDATION ELEVATION (BOTH HORIZONTALLY & VERTICALLY)
- INTERIM AS-BUILT LOCATION AND ELEVATION VERIFICATION TASK-ITEMS MAY BE OMITTED / WAIVED BY THE OWNER AND THE GENERAL CONTRACTOR PROVIDING NOTICE TO ONELLO ENGINEERING WITH FULL ACKNOWLEDGMENT BY ALL PARTIES. REGARDLESS IF NOTICE IS PROVIDED TO ONELLO ENGINEERING (OR NOT), ANY WAIVED VERIFICATION TASKS ARE THE RESPONSIBILITY OF THE OWNER AND THE GENERAL CONTRACTOR
- A FOUNDATION LOCATION AS-BUILT SURVEY IS REQUIRED TO BE PROVIDED TO THE MUNICIPAL BUILDING DEPARTMENT PRIOR TO THE RELEASE OF A FRAMING PERMIT, WHICH SHALL DEMONSTRATE CONFORMANCE WITH THIS APPROVED DESIGN ENGINEERING PLOT PLAN (HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS)
- CONTRACTOR RESPONSIBLE FOR PROVIDING SURVEY FIELD-CREW WITH PEDESTRIAN ACCESS TO TOP-OF-FOUNDATION LOCATIONS FOR AS-BUILT SURVEY REQUIREMENTS (AS APPLICABLE AND NECESSARY). ACCESS ROUTE SHALL MEET OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS
- PRIOR TO FOUNDATION BACK-FILL, ALL SUB-GRADE FOUNDATION SURFACES SHALL BE WATERPROOFED AS PER STANDARDS WITHIN THESE DESIGN PLANS AND/OR AS PER THE STANDARDS ENTAILED WITHIN THE APPROVED ARCHITECTURAL DRAWINGS
- REGARDLESS OF ARCHITECTURAL REQUIREMENTS, THE FOUNDATION SHALL BE WATERPROOFED WITH COATED SEALANT AND DRAINAGE DIMPLE-BOARD LEADING TO A VIABLE AND APPROVED DRAINAGE DISCHARGE OR CONVEYANCE LOCATION
- EXPOSED FOUNDATION WINDOW WELLS & CASINGS SHALL BE WATER-PROOFED; INSET WINDOW-WELL GRADE SURFACE SHALL BE MINIMUM 4" THICKNESS CLEAN-CRUSHED STONE (OVER GEOTEXTILE FABRIC) AND SET 8" BELOW THE WINDOW'S MASONRY SILL WITH AN INTERNAL DRAIN LEADING TO FOUNDATION DRAIN AND/OR SUMP-PUMP. EXTERIOR GRADE ATOP WINDOW-WELL WALL SHALL BE PITCHED AT MINIMUM 5.0% 'DOWN & AWAY' FROM FOUNDATION; INSTALLATION REQUIREMENTS MAY VARY, CONTRACTOR SHALL CONFIRM ALL SPECIFICATIONS WITH OWNER & ARCHITECT
- A FULLY OPERATIONAL MECHANICAL 'SUMP-PUMP' SHALL BE INSTALLED WITHIN A CHAMBER WITHIN THE FOUNDATION BASEMENT FLOOR WITH AN EMERGENCY BATTERY BACK-UP AND ALARM. (CONNECT TO EMERGENCY BACK-UP GENERATOR IF APPLICABLE); ONELLO ENGINEERING RECOMMENDS A MINIMUM OF TWO (2) SUMP-PUMPS BE INSTALLED, EACH AT OPPOSITE SIDES OF THE FOUNDATION
- ONELLO ENGINEERING ACCEPTS NO RESPONSIBILITY TO ANY FOUNDATION DAMAGES RESULTING FROM THE OCCURRENCE OF GROUNDWATER, (REGARDLESS OF APPLIED WATER-PROOFING MATERIALS AND/OR MECHANICAL PUMPS)
- IT IS THE RESPONSIBILITY OF THE OWNER & ARCHITECT TO PROVIDE FOR THE SAFEGUARD OF BUILDING FOUNDATIONS AGAINST GROUNDWATER CONDITIONS; THE MOST CURRENT / INDUSTRY STANDARD TECHNOLOGY SHALL BE UTILIZED THERETO (WATER-PROOFING MEMBRANES, DRAINAGE BOARDS, DRAINAGE CONVEYANCE TILE / PIPE, ELECTRONICS, ALARMS, BACK-UP PUMPS, DUPLEX PUMP CIRCUITRY CONTROLS, AUTOMATIC EMERGENCY GENERATOR, ETC)
- ANY WAIVERS OF REQUIRED WATER-PROOFING COMPONENTS ARE THE RESPONSIBILITY OF THE OWNER & CONTRACTOR
- ALL ASSOCIATED FEES AS PER THE ABOVE LISTED CRITERIA AND TASK-ITEM SERVICES ARE THE RESPONSIBILITY OF THE OWNER AND/OR GENERAL CONTRACTOR
- IF NECESSARY, OWNER & CONTRACTOR(S) SHALL CONTACT ONELLO ENGINEERING FOR FURTHER CLARIFICATION, DIRECTION, AND VERIFICATIONS

BERGEN COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION & SEDIMENT CONTROL PLAN

CERTIFICATION #19-2215
CERTIFICATION DATE: OCTOBER 31, 2019

DISTRICT LOCATION: 700 KINDERKAMACK ROAD, SUITE #106, ORADELL, NEW JERSEY 07649

DISTRICT CONTACT INFORMATION: TELEPHONE NUMBER (201) 261-4407; FAX NUMBER (201) 261-7573; EMAIL INFO@BERGEN.SCD.ORG

DISTRICT HOURS: 8:00AM - 4:30PM (MONDAY THROUGH FRIDAY), EXCLUDING NEW JERSEY STATE HOLIDAYS

PURSUANT TO NJS A 4:24-39 ET SEQ, THE NEW JERSEY SOIL EROSION AND SEDIMENT CONTROL ACT, THE BERGEN COUNTY SOIL CONSERVATION DISTRICT HEREBY CERTIFIES THE SOIL EROSION AND SEDIMENT CONTROL PLAN FOR THE ABOVE REFERENCED PROJECT, SUBJECT TO THE FOLLOWING:

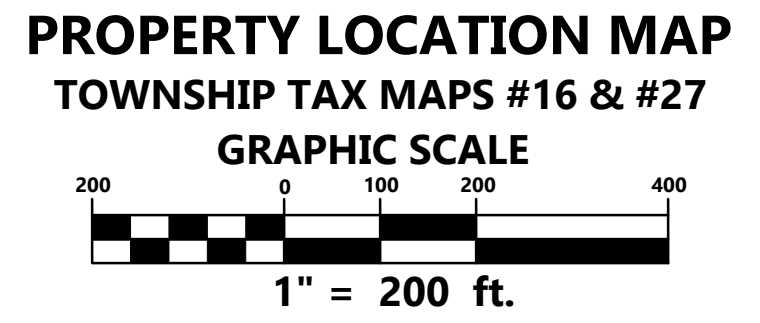
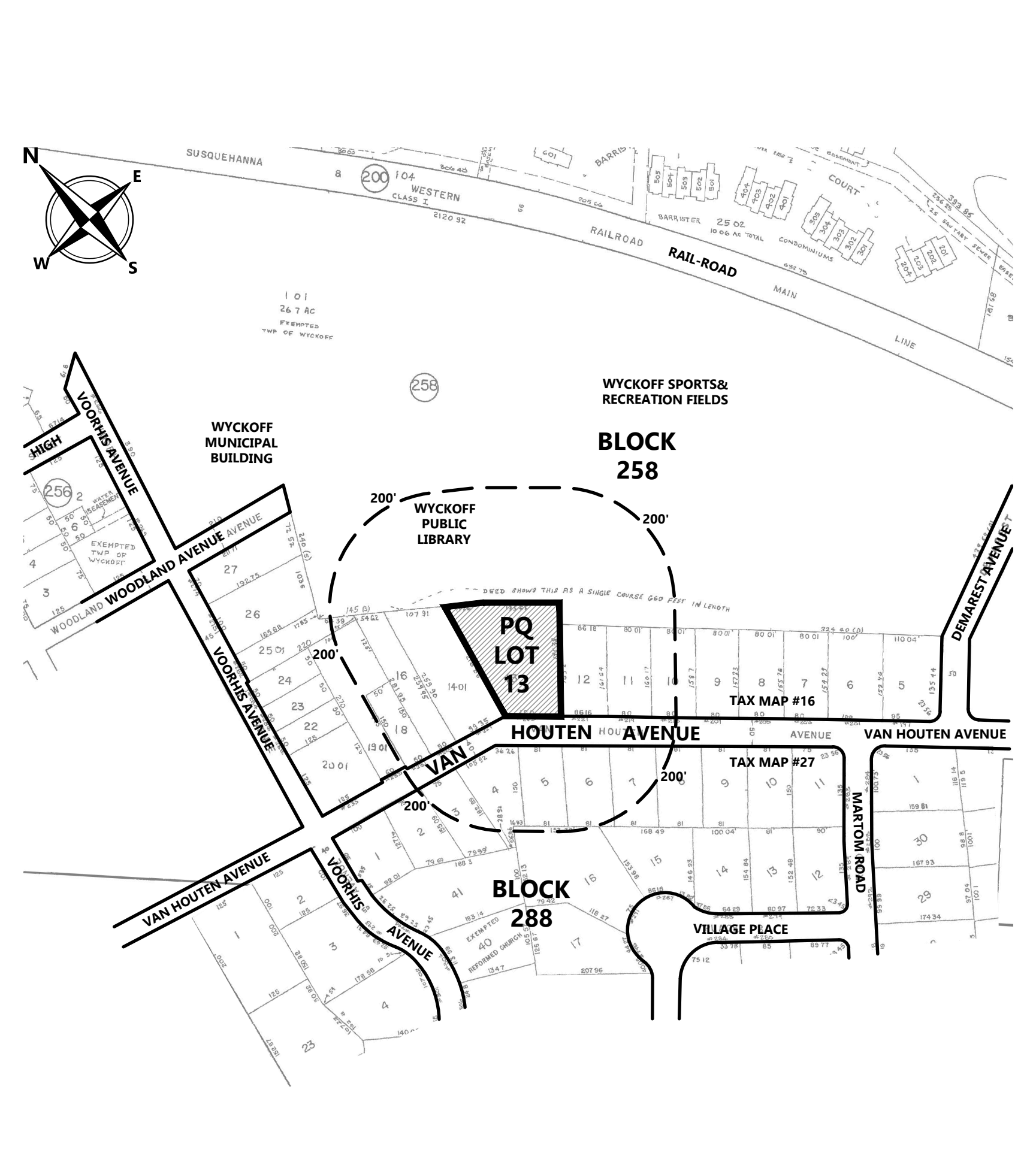
- THAT THE APPLICANT CARRIES OUT ALL LAND DISTURBANCE ACTIVITIES IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY AS PROMULGATED BY THE STATE SOIL CONSERVATION COMMITTEE
- THE APPLICANT MUST NOTIFY THE DISTRICT OFFICE, BY MAIL, AT LEAST 48 HOURS PRIOR TO INITIAL LAND DISTURBANCE
- THE OWNER / APPLICANT MUST OBTAIN A DISTRICT-ISSUED REPORT OF COMPLIANCE PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY. THE DISTRICT REQUIRES ADVANCE NOTICE OF AT LEAST ONE WEEK FOR THE ISSUANCE OF A REPORT OF COMPLIANCE
- CHANGES IN THE CERTIFIED PLAN RELATING TO, OR THAT WILL EFFECT LAND DISTURBANCE ON THE SITE, MUST BE SUBMITTED TO THE DISTRICT OFFICE FOR REEVALUATION AND APPROVAL
- A COPY OF THE CERTIFIED PLAN AND A COPY OF THESE PROVISIONS MUST BE KEPT ON THE JOB SITE AT ALL TIMES

FAILURE TO COMPLY WITH ANY OF THE ABOVE CONDITIONS MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER

SOIL DE-COMPACTION EXCLUSION

THIS PROJECT IS EXEMPT FROM SOIL DE-COMPACTION REMEDIATION AND TESTING AS IT IS LOCATED IN AN URBAN REDEVELOPMENT AREA

SITE PLAN ZONING ANALYSIS & SOIL MOVEMENT FOR KAYAL RESIDENCE #225 VAN HOUTEN AVENUE LOT 13 - BLOCK 258 TOWNSHIP OF WYCKOFF BERGEN COUNTY, NEW JERSEY



TOWNSHIP OF WYCKOFF ZONING CODE REFERENCES

§186-6 DEFINITION OF TERMS

- IMPERVIOUS COVERAGE: LAND SURFACE AREAS THAT DO NOT ALLOW RAINWATER TO BE DIRECTLY ABSORBED BY THE GROUND
- THESE SURFACES SHALL INCLUDE BUT NOT BE LIMITED TO BUILDING COVERAGE, DRIVEWAYS (PAVED), GRAVEL, CINDER OR PAVERS, PAVED AREAS, AND DECKS WHICH DO NOT ALLOW FREE DRAINAGE OF RAINWATER THROUGH TO THE GROUND UNDERNEATH
- IMPERVIOUS COVERAGE IN RESIDENTIAL ZONES SHALL NOT INCLUDE RETAINING WALLS, SURFACE AREAS OF SWIMMING POOLS AND THEIR SURROUNDING PATIOS OR HARDSCAPE FEATURES
- AIR-CONDITIONING UNITS, GENERATORS, POOL EQUIPMENT, WALKWAYS AND AT-GRADE PATIOS LOCATED IN THE REAR YARD OF THE PROPERTY, REGARDLESS OF MATERIAL TYPE
- DRIVEWAYS, FRONT AND SIDE YARD WALKWAYS AND PATIOS, STRUCTURES, AND ANY TYPE OF SPORT ATHLETIC COURT SHALL BE CONSIDERED IMPERVIOUS COVERAGE AND SHALL REMAIN AS PART OF THE IMPERVIOUS CALCULATION

ACCESSORY BUILDING: A PRIVATE SWIMMING POOL OR A PRIVATE TENNIS COURT IS AN ACCESSORY STRUCTURE IN ANY RESIDENTIAL ZONE

§186-23 REGULATIONS APPLYING TO SPECIFIC ZONES

C. PRIVATE SWIMMING POOLS AND TENNIS COURTS

- PRIVATE SWIMMING POOLS FOR USE BY THE RESIDENTS AND GUESTS ARE PERMITTED PRIVATE SWIMMING POOLS FOR USE BY THE RESIDENTS AND GUESTS ARE PERMITTED ACCESSORY USES IN ALL RESIDENTIAL ZONES
- NO FLOODLIGHTS OR LIGHTS SHALL BE USED OR MAINTAINED IN CONNECTION THEREWITH IN SUCH A MANNER AS TO CREATE A DIRECT GLARE VISIBLE OUTSIDE THE BOUNDARIES OF THE LOT UPON WHICH THE POOL IS CONSTRUCTED
- EVERY PERSON OWNING LAND ON WHICH THERE IS SITUATED A SWIMMING POOL WHICH CONTAINS 24 INCHES OR MORE OF WATER IN DEPTH AT ANY POINT SHALL ERRECT AND MAINTAIN AN ADEQUATE ENCLOSURE, EITHER SURROUNDING THE PROPERTY OR POOL AREA, SUFFICIENT TO MAKE SUCH BODY OF WATER INACCESSIBLE TO SMALL CHILDREN. ALL GATES AND FENCES MUST COMPLY WITH THE STANDARDS AND REQUIREMENTS OF THE UNIFORM CONSTRUCTION CODE OF THE STATE OF NEW JERSEY

C. MAXIMUM IMPERVIOUS COVERAGE. THE MAXIMUM ALLOWABLE COVERAGE FOR THE COMBINED BUILDING AND IMPERVIOUS SURFACE AREA FOR SINGLE-FAMILY AND TWO-FAMILY RESIDENTIAL LOTS SHALL BE DETERMINED AS FOLLOWS:

- FOR LOTS LESS THAN 10,000 SQUARE FEET IN AREA, THE MAXIMUM PERCENTAGE OF FOR LOTS LESS THAN 10,000 SQUARE FEET IN AREA, THE MAXIMUM PERCENTAGE OF ALLOWABLE IMPERVIOUS COVERAGE SHALL BE 45% OF THE LOT AREA
- FOR LOTS OVER 25,000 SQUARE FEET IN AREA, THE MAXIMUM PERCENTAGE OF ALLOWABLE IMPERVIOUS COVERAGE SHALL BE 28.5% OF THE LOT AREA
- FOR LOT AREAS BETWEEN 10,000 SQUARE FEET AND 25,000 SQUARE FEET IN AREA, THE FOR LOT AREAS BETWEEN 10,000 SQUARE FEET AND 25,000 SQUARE FEET IN AREA, THE MAXIMUM PERCENTAGE OF ALLOWABLE IMPERVIOUS COVERAGE SHALL BE EQUAL TO 45 DIVIDED BY THE SQUARE ROOT OF THE LOT AREA

GENERAL PLAN NOTES

- SUBJECT PROPERTY KNOWN AS: LOT 13 (BLOCK 258), #225 VAN HOUTEN AVENUE, TOWNSHIP OF WYCKOFF, TAX MAP #16, COUNTY OF BERGEN, DEED BOOK #2976 (PAGE #2381), STATE OF NEW JERSEY CONSERVATION DISTRICT OFFICIAL (AS NECESSARY)
- PROPERTY LOCATED IN THE RA-25 ZONE, BULK ZONING AS PER TOWNSHIP OF WYCKOFF CODE SECTION §186 ATTACHMENT 1
- THERE ARE NO KNOWN COVENANTS AND/OR DEED RESTRICTIONS AFFECTING THE SITE, WHICH HAVE BEEN DISCLOSED TO ONELLO ENGINEERING. OWNER SHALL VALIDATE IF REQUIRED BY REVIEW AGENCY(S)
- EXISTING CONDITIONS ARE REPRESENTATIVE WITHIN THIS PLAN SET AS PER THE REFERENCED PROPERTY SURVEYS
- OWNER AND/OR CONTRACTOR SHALL OBTAIN ALL APPLICABLE AND REQUIRED PERMITS (AND APPROVALS) PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY
- PRE-CONSTRUCTION MEETING REQUIRED, AS LISTED WITHIN THE PLAN SECTION ENTITLED: 'CONTRACTOR NOTES'
- ALL REMOVED MATERIALS DURING DEMOLITION AND CONSTRUCTION SHALL BE DISCARDED AND/OR RECYCLED AS PER SUITABLE STANDARDS OF THE TOWNSHIP OF WYCKOFF, COUNTY OF BERGEN, STATE OF NEW JERSEY, & FEDERAL INTER-STATE
- CONTRACTOR SHALL RETAIN AN OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON-SITE AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION ACTIVITIES
- NO WORK SHALL BE PERFORMED NOR DISTURB ADJACENT PROPERTIES (WHICH ARE NOT UNDER COMMON OWNERSHIP) WITHOUT AUTHORIZED WRITTEN CONSENT OF ADJACENT PROPERTY OWNERS; GRADING AND DRAINAGE PATTERNS SHALL NOT ADVERSELY IMPACT ADJACENT PROPERTIES
- CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE ANY DAMAGES TO EXISTING IMPROVEMENTS, WHICH ARE SPECIFIED TO REMAIN, AT ITS EXPENSE AND TO THE SATISFACTION OF THE OWNER
- ALL CONTRACTORS SHALL INDEMNIFY AND HOLD HARMLESS ONELLO ENGINEERING AND ITS SUB-CONSULTANTS (TO THE FULLEST EXTENT PERMITTED BY LAW) AGAINST ANY DAMAGES AND LIABILITIES (INCLUDING AN ATTORNEY'S FEES) ARISING FROM CLAIMS BY EMPLOYEES OF THE CONTRACTORS IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS' COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE
- VAN HOUTEN AVENUE IS A TOWNSHIP OF WYCKOFF ROADWAY WITHIN A RIGHT-OF-WAY WITH A SPEED LIMIT OF TWENTY-FIVE (25) MILES PER HOUR (MPH). ALL CONTRACTORS AND PERSONS ASSOCIATED WITH THE PROJECT SHALL ABIDE BY THE SPEED LIMIT OF THE ROADWAY AND REQUIRED TRAFFIC CONTROL SHALL CONFORM TO THE LATEST EDITION OF MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)

- EXISTING RESIDENTIAL DRIVEWAY AND/OR SOUTHERLY FRONT / SIDE-YARD (AS PER PLAN LOCATION) SHALL BE USED FOR CONSTRUCTION ACCESS. INSTALL CONSTRUCTION ACCESS WHEEL BLANKET AS PER PLAN OR IF AND WHERE DIRECTED BY TOWNSHIP OF WYCKOFF ENGINEER / OFFICIAL AND/OR BERGEN COUNTY SOIL CONSERVATION DISTRICT OFFICIAL (AS NECESSARY)
- ALL LIMIT OF DISTURBANCE FENCING, SILT FENCING AND TREE PROTECTION (AND OTHER APPLICABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES) MUST BE INSTALLED AND INSPECTED PRIOR TO RELEASE OF PERMITS. CONTRACTOR SHALL ABIDE BY ANY TOWNSHIP OF WYCKOFF ORDINANCES STIPULATING AREAS OF NO DISTURBANCE
- ANY SOILS TRACKED ONTO THE STREET (ROADWAY) MUST BE IMMEDIATELY REMOVED. IF TRACKED SOIL REMAINS OVERNIGHT, THE TOWNSHIP OF WYCKOFF DEPARTMENT OF PUBLIC WORKS SHALL REMOVE IT AND ASSESS THE OWNER FOR THOSE COSTS. THE TOWNSHIP OF WYCKOFF WILL NOT TOLERATE ANY OFFSITE SILT AND SOIL TRACKING. ANY BREACH OF SILT CONTROLS WILL RESULT IN AN IMMEDIATE STOP WORK ORDER BEING ISSUED UNTIL ALL SOIL EROSION CONTROLS ARE REPAIRED AND REPLACED
- THE APPLICANT SHALL BE RESPONSIBLE FOR THE IN-KIND REPLACEMENT OF ANY CURB OR SIDEWALK SECTIONS REMOVED OR DAMAGED IN CONNECTION WITH CONSTRUCTION ACTIVITY
- THE MAXIMUM HEIGHT OF CONSTRUCTED RETAINING WALLS SHALL BE WITHIN THE LIMITATIONS OF TOWNSHIP OF WYCKOFF ZONING REQUIREMENTS THERETO, MEASURED FROM TOP OF WALL (CAP) TO FINISHED GRADE (BELOW)
- THERE ARE NO ALTERATIONS TO THE EXISTING BUILDING AS PART OF THIS APPLICATION, THUS THE ZONING REQUIREMENTS FOR ROOF-HEIGHT & MINIMUM HABITABLE FLOOR AREAS HAVE BEEN ASSUMED AS PER VISUAL SITE INSPECTION
- EXISTING ON-SITE BUILDINGS ARE CONSIDERED TO BE LEGALLY EXISTING STRUCTURES WITH A VALID CERTIFICATE OF OCCUPANCY FOR THE ENTIRETY OF THE PREMISES ON-FILE WITH THE TOWNSHIP OF WYCKOFF
- A COPY OF THE APPROVED AND AUTHORIZED SOIL EROSION & SEDIMENT CONTROL PLAN IN DIRECT RELATION TO THE ASSOCIATED CERTIFICATION THERETO SHALL REMAIN AT THE SITE ACCESSIBLE TO TOWNSHIP OF WYCKOFF AND BERGEN COUNTY SOIL CONSERVATION DISTRICT OFFICIALS AT ALL TIMES THROUGHOUT CONSTRUCTION UNTIL COMPLETION OF THE PROJECT
- THIS PLAN-SET SHALL ONLY BE CONSIDERED A COMPLETE PLAN SET IF ALL SHEETS ARE INCLUSIVE AS PER THE SHEET INDEX PROVIDED ON DRAWING SHEET #1. ALL PLAN SHEETS SHALL MATCH THE EXACT AND CONSISTENT REVISION DATE THROUGHOUT, ALL PLAN SHEETS SHALL BE SIGNED AND SEALED BY THE ORIGINAL DESIGN ENGINEER FROM ONELLO ENGINEERING
- OWNER & CONTRACTOR SHALL CONFIRM THE LAST REVISED PLAN-SET DATE WITH ONELLO ENGINEERING PRIOR TO THE IMPLEMENTATION OR INSTALLMENT OF ANY ITEMS PROVIDED THROUGHOUT THIS PLAN SET

REVIEW AGENCIES

- TOWNSHIP OF WYCKOFF DEPARTMENT OF BUILDING, ZONING, & ENGINEERING
- TOWNSHIP OF WYCKOFF PLANNING BOARD (SOIL MOVEMENT)
- BERGEN COUNTY SOIL CONSERVATION DISTRICT (BCSD) SOIL EROSION & SEDIMENT CONTROL PLAN (SESC) CERTIFICATION #19-2215, OCTOBER 31, 2019

APPLICANT REPRESENTATION

- OWNER / APPLICANT: KAYAL, GARY, 225 VAN HOUTEN AVENUE, WYCKOFF, NEW JERSEY 07481, (201) 206 - 0905, GC.KAYAL@GMAIL.COM
- ATTORNEY: MCDONNELL & WHITAKER, BRUCE E WHITAKER, ESQ, 245 BEECHNUT STREET, HILLSDALE, NEW JERSEY 07446, (201) 934 - 0110, MCWHITLAW@OPT.ONLINE.NET
- SITE ENGINEER: ONELLO ENGINEERING, ANGELO ONELLO, PE, 5 BEECHNUT STREET, HILLSDALE, NEW JERSEY 07642, (201) 774 - 1444, ANGELO@ONELLO.ENG.COM

SHEET INDEX

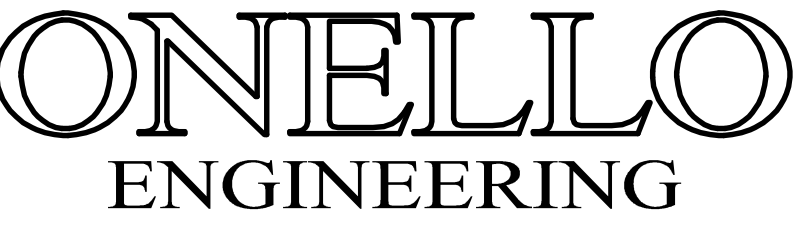
DWG	DESCRIPTION
1	PROJECT INFORMATION
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3	CURRENT CONDITIONS SEPTEMBER 2020
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5	SITE ENGINEERING
6	SOIL EROSION & SEDIMENT CONTROL
7	CONSTRUCTION DETAILS & CALCULATIONS
8	SOIL EROSION CONTROL DETAILS

KAYAL, WYCKOFF SITE PLAN - SOIL MOVEMENT

YEAR	MM/DD	REVISION / DIGEST NOTES
2021	02/24	ORIGINAL PLAN DATE

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FOR DESIGN REVIEW ONLY NOT FOR CONSTRUCTION
ANGELO ONELLO III, PE
NEW JERSEY PROFESSIONAL ENGINEER LICENSE #2462482490



5 BEECHNUT STREET
HILLSDALE, NEW JERSEY 07642
(201) 774-1444 Angelo@OnelloEng.com

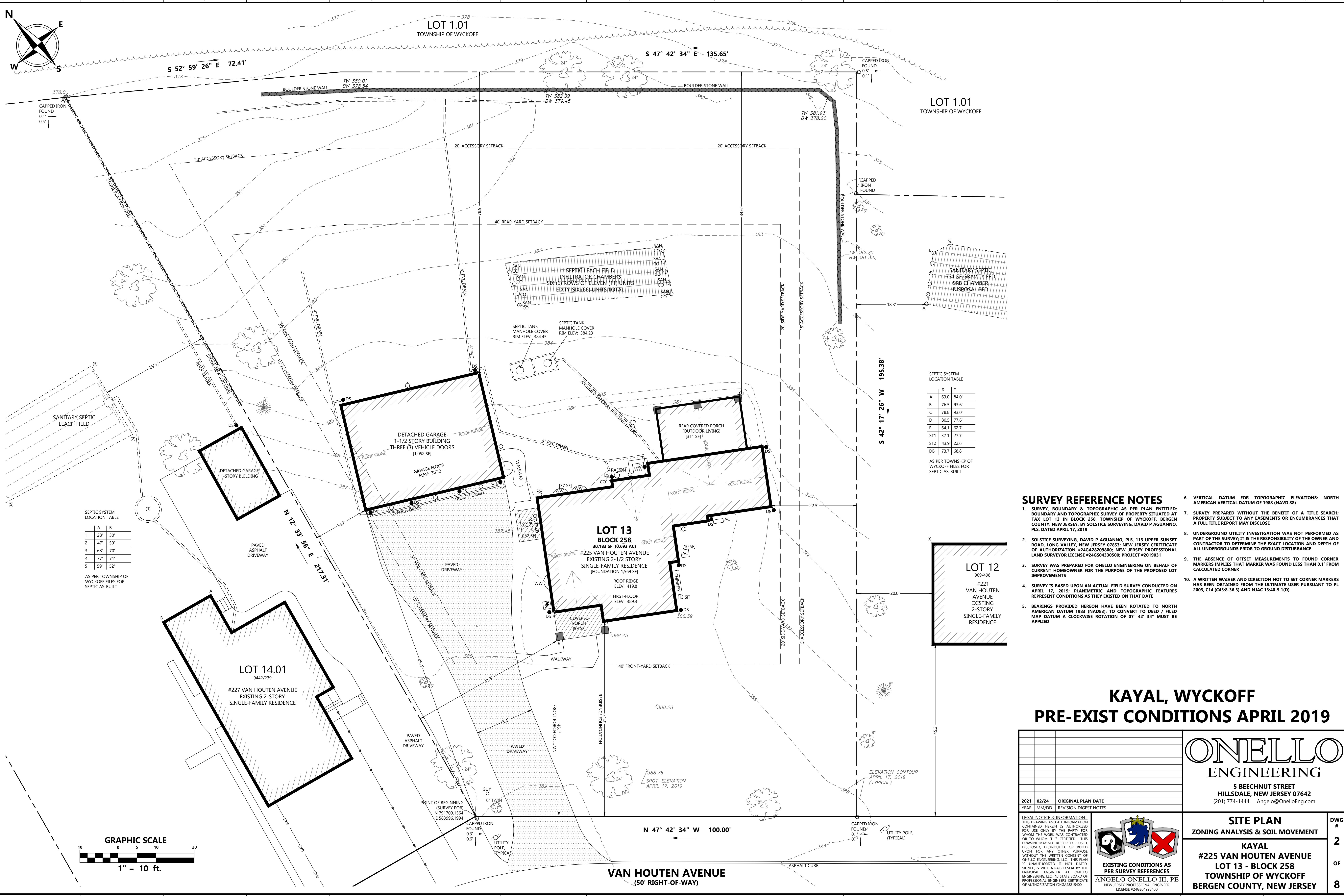
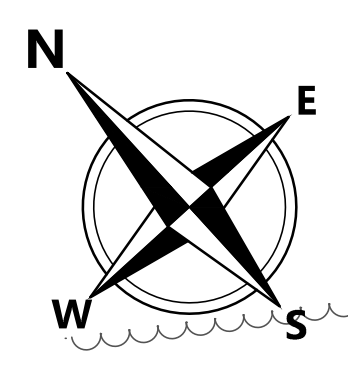
SITE PLAN ZONING ANALYSIS & SOIL MOVEMENT

KAYAL #225 VAN HOUTEN AVENUE LOT 13 - BLOCK 258 TOWNSHIP OF WYCKOFF BERGEN COUNTY, NEW JERSEY

DWG # **1** OF **8**



CALL BEFORE YOU DIG
1-800-272-1000
CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE REQUIREMENTS OF THE NEW JERSEY ONE-CALL DAMAGE PREVENTION SYSTEM AS IN THE "UNDERGROUND FACILITY PROTECTION ACT."



SEPTIC SYSTEM LOCATION TABLE

	A	B
1	28'	30'
2	47'	50'
3	68'	70'
4	77'	71'
5	59'	52'

AS PER TOWNSHIP OF WYCKOFF FILES FOR SEPTIC AS-BUILT

SEPTIC SYSTEM LOCATION TABLE

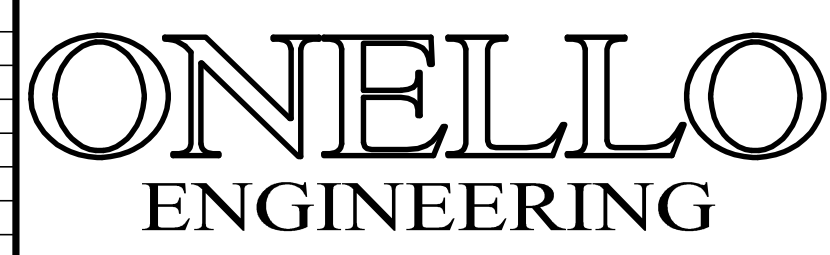
	X	Y
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B	76.5'	93.6'
C	78.8'	92.0'
D	80.5'	77.6'
E	64.1'	62.7'
ST1	37.1'	27.7'
ST2	43.9'	22.6'
DB	73.7'	68.8'

AS PER TOWNSHIP OF WYCKOFF FILES FOR SEPTIC AS-BUILT

SURVEY REFERENCE NOTES

1. SURVEY, BOUNDARY & TOPOGRAPHIC AS PER PLAN ENTITLED: BOUNDARY AND TOPOGRAPHIC SURVEY OF PROPERTY SITUATED AT TAX LOT 13 IN BLOCK 258, TOWNSHIP OF WYCKOFF, BERGEN COUNTY, NEW JERSEY, BY SOLSTICE SURVEYING, DAVID P AGUANNO, PLS, DATED APRIL 17, 2019
2. SOLSTICE SURVEYING, DAVID P AGUANNO, PLS, 113 UPPER SUNSET ROAD, LONG VALLEY, NEW JERSEY 07853; NEW JERSEY CERTIFICATE OF AUTHORIZATION #246A28209900; NEW JERSEY PROFESSIONAL LAND SURVEYOR LICENSE #246504330500; PROJECT #2019031
3. SURVEY WAS PREPARED FOR ONELLO ENGINEERING ON BEHALF OF CURRENT HOMEOWNER FOR THE PURPOSE OF THE PROPOSED LOT IMPROVEMENTS
4. SURVEY IS BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED ON APRIL 17, 2019; PLANIMETRIC AND TOPOGRAPHIC FEATURES REPRESENT CONDITIONS AS THEY EXISTED ON THAT DATE
5. BEARINGS PROVIDED HEREON HAVE BEEN ROTATED TO NORTH AMERICAN DATUM 1983 (NAD83); TO CONVERT TO DEED / FILED MAP DATUM A CLOCKWISE ROTATION OF 07° 42' 34" MUST BE APPLIED
6. VERTICAL DATUM FOR TOPOGRAPHIC ELEVATIONS: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
7. SURVEY PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH; PROPERTY SUBJECT TO ANY EASEMENTS OR ENCUMBRANCES THAT A FULL TITLE REPORT MAY DISCLOSE
8. UNDERGROUND UTILITY INVESTIGATION WAS NOT PERFORMED AS PART OF THE SURVEY; IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO DETERMINE THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUNDS PRIOR TO GROUND DISTURBANCE
9. THE ABSENCE OF OFFSET MEASUREMENTS TO FOUND CORNER MARKERS IMPLIES THAT MARKER WAS FOUND LESS THAN 0.1' FROM CALCULATED CORNER
10. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO PL 2003, C14 (C45-9-36.3) AND NJAC 13-40-5.1(D)

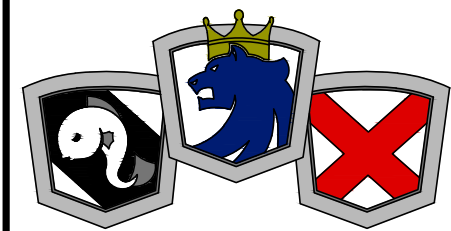
**KAYAL, WYCKOFF
PRE-EXIST CONDITIONS APRIL 2019**



5 BEECHNUT STREET
HILLSDALE, NEW JERSEY 07642
(201) 774-1444 Angelo@OnelloEng.com

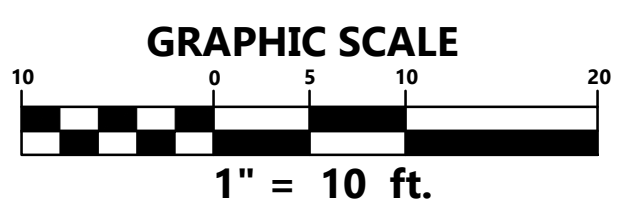
YEAR	MM/DD	REVISION DIGEST NOTES
2021	02/24	ORIGINAL PLAN DATE

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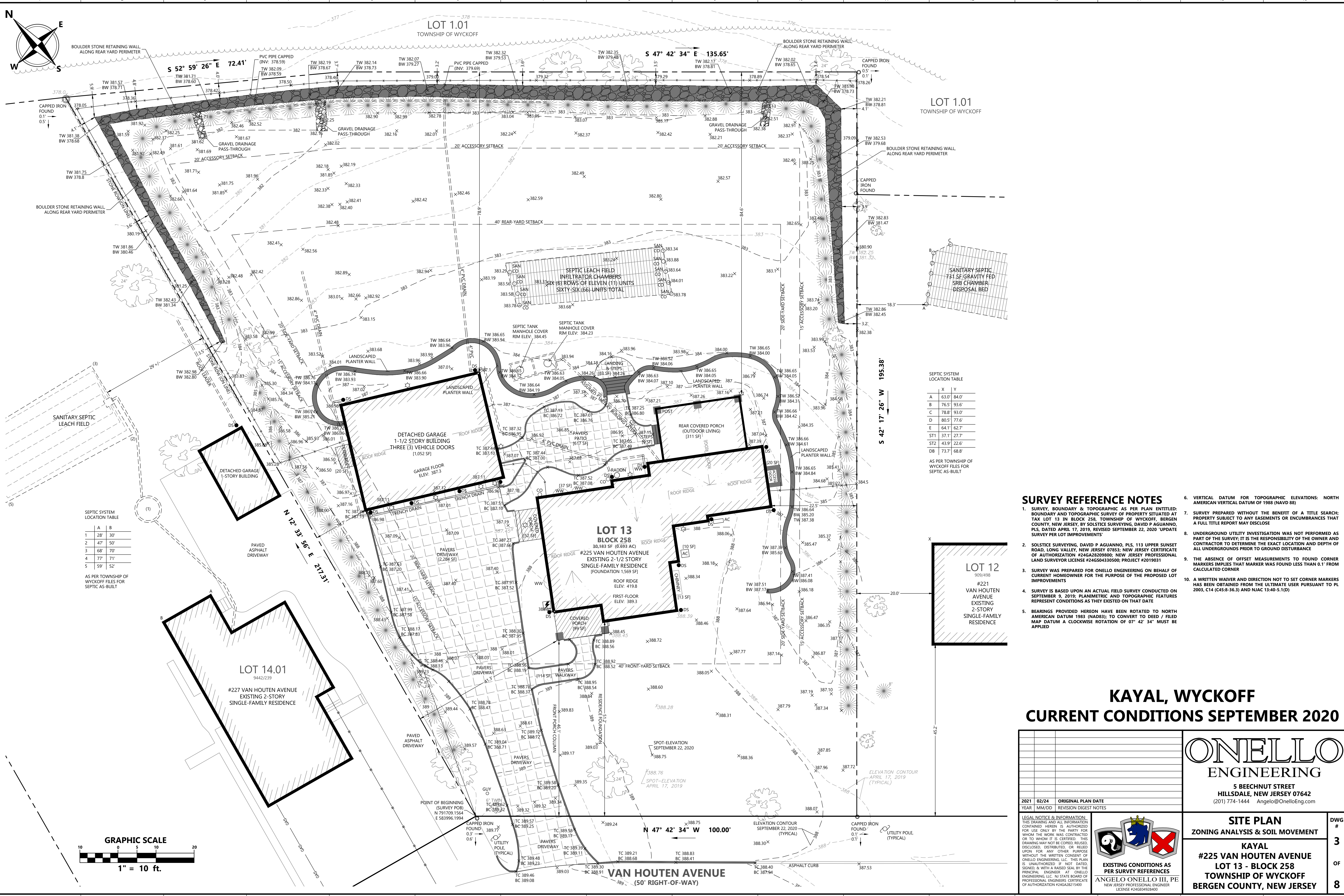
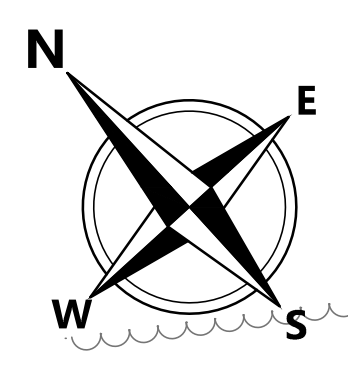
SITE PLAN
ZONING ANALYSIS & SOIL MOVEMENT

KAYAL
#225 VAN HOUTEN AVENUE
LOT 13 - BLOCK 258
TOWNSHIP OF WYCKOFF
BERGEN COUNTY, NEW JERSEY



VAN HOUTEN AVENUE
(50' RIGHT-OF-WAY)

BCWV1918 Estimating



LOT 1.01
TOWNSHIP OF WYCKOFF

LOT 1.01
TOWNSHIP OF WYCKOFF

LOT 13
BLOCK 258
30,483 SF (0.693 AC)
#225 VAN HOUTEN AVENUE
EXISTING 2-1/2 STORY
SINGLE-FAMILY RESIDENCE
[FOUNDATION 1,569 SF]

LOT 12
909/498
#221
VAN HOUTEN
AVENUE
EXISTING
2-STORY
SINGLE-FAMILY
RESIDENCE

LOT 14.01
9442/239
#227 VAN HOUTEN AVENUE
EXISTING 2-STORY
SINGLE-FAMILY RESIDENCE

SEPTIC SYSTEM LOCATION TABLE

X	Y
A	63.0' 84.0'
B	76.5' 93.6'
C	78.8' 92.0'
D	80.5' 77.6'
E	64.1' 62.7'
ST1	37.1' 27.7'
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DB	73.7' 68.8'

AS PER TOWNSHIP OF WYCKOFF FILES FOR SEPTIC AS-BUILT

SEPTIC SYSTEM LOCATION TABLE

A	B
1	28' 30"
2	47' 50"
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AS PER TOWNSHIP OF WYCKOFF FILES FOR SEPTIC AS-BUILT

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1. SURVEY, BOUNDARY & TOPOGRAPHIC AS PER PLAN ENTITLED: BOUNDARY AND TOPOGRAPHIC SURVEY OF PROPERTY SITUATED AT TAX LOT 13 IN BLOCK 258, TOWNSHIP OF WYCKOFF, BERGEN COUNTY, NEW JERSEY, BY SOLSTICE SURVEYING, DAVID P AGUANNO, PLS, DATED APRIL 17, 2019, REVISED SEPTEMBER 22, 2020 "UPDATE SURVEY PER LOT IMPROVEMENTS"
2. SOLSTICE SURVEYING, DAVID P AGUANNO, PLS, 113 UPPER SUNSET ROAD, LONG VALLEY, NEW JERSEY 07833; NEW JERSEY CERTIFICATE OF AUTHORIZATION #24G28209800; NEW JERSEY PROFESSIONAL LAND SURVEYOR LICENSE #24G504330500; PROJECT #2019031
3. SURVEY WAS PREPARED FOR ONELLO ENGINEERING ON BEHALF OF CURRENT HOMEOWNER FOR THE PURPOSE OF THE PROPOSED LOT IMPROVEMENTS
4. SURVEY IS BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED ON SEPTEMBER 9, 2019; PLANIMETRIC AND TOPOGRAPHIC FEATURES REPRESENT CONDITIONS AS THEY EXISTED ON THAT DATE
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KAYAL, WYCKOFF CURRENT CONDITIONS SEPTEMBER 2020

ONELLO ENGINEERING

5 BEECHNUT STREET
HILLSDALE, NEW JERSEY 07642
(201) 774-1444 Angelo@OnelloEng.com

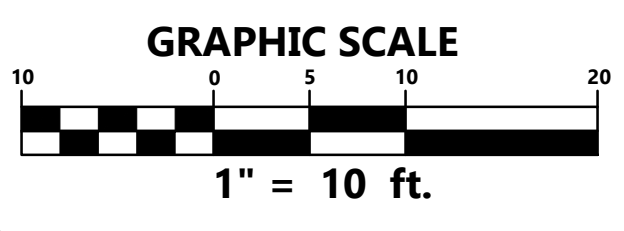
YEAR	MM/DD	REVISION	DIGEST NOTES
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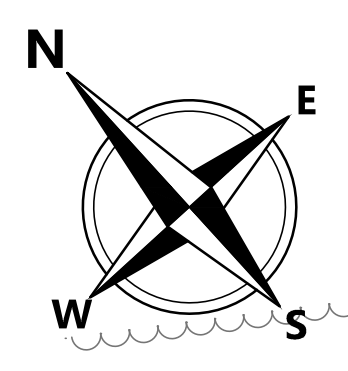


SITE PLAN
ZONING ANALYSIS & SOIL MOVEMENT

KAYAL
#225 VAN HOUTEN AVENUE
LOT 13 - BLOCK 258
TOWNSHIP OF WYCKOFF
BERGEN COUNTY, NEW JERSEY



BCWK1318 - Estimating.dwg



DISMANTLE & REBUILD BOULDER STONE REAR YARD PERIMETER RETAINING WALL (OR PORTIONS THEREOF, AS PER DIRECTION OF TOWNSHIP ENGINEER)

LOT 1.01
TOWNSHIP OF WYCKOFF

LOT 1.01
TOWNSHIP OF WYCKOFF

LOT 13
BLOCK 258
30,183 SF (0.693 AC)
#225 VAN HOUTEN AVENUE
EXISTING 2-1/2 STORY
SINGLE-FAMILY RESIDENCE
[FOUNDATION 1,569 SF]

LOT 14.01
9442/239
#227 VAN HOUTEN AVENUE
EXISTING 2-STORY
SINGLE-FAMILY RESIDENCE

LOT 12
909/498
#221 VAN HOUTEN AVENUE
EXISTING 2-STORY
SINGLE-FAMILY RESIDENCE

TOWNSHIP OF WYCKOFF BULK ZONING SCHEDULE RA-25 RURAL RESIDENTIAL ZONE

DESCRIPTION	REQUIREMENT	PRE-EXISTING (APRIL 2019)	CURRENT (SEPTEMBER 2020)	CONDITION
LOT AREA (SF)	25,000 SF	30,183 SF	30,183 SF	COMPLIES
LOT AREA (AC)	0.574 AC	0.693 AC	0.693 AC	COMPLIES
LOT WIDTH (MEAN)		154.2 FT	154.2 FT	COMPLIES
LOT FRONTAGE	125.0 FT	100.0 FT	100.0 FT	PRE-EXISTING
LOT DEPTH	150.0 FT	195.4 FT	195.4 FT	COMPLIES
BUILDING HEIGHT	35.0 FT	32.5 FT	32.5 FT	ASSUMED
STORIES	2.5 STY	2.5 STY	2.5 STY	COMPLIES
ACCESSORY BUILDING HEIGHT		20.0 FT	20.0 FT	ASSUMED
MINIMUM HABITABLE FLOOR AREA	1,200 SF	3,000 SF	3,000 SF	COMPLIES
BUILDING SETBACKS				
FRONT YARD	40.0 FT	46.1 FT	46.1 FT	COMPLIES
SIDE YARD LEFT (NORTHWEST)	20.0 FT	41.3 FT	41.3 FT	COMPLIES
SIDE YARD RIGHT (SOUTHEAST)	20.0 FT	22.5 FT	22.5 FT	COMPLIES
COMBINED (FT)		63.8 FT	63.8 FT	COMPLIES
COMBINED (% OF LOT WIDTH)		41.4%	41.4%	COMPLIES
REAR YARD	40.0 FT	84.6 FT	84.6 FT	COMPLIES
ACCESSORY STRUCTURES				
DETACHED GARAGE				COMPLIES
FRONT YARD	40.0 FT	85.4 FT	85.4 FT	COMPLIES
SIDE YARD LEFT (NORTHWEST)	15.0 FT	14.7 FT	14.7 FT	PRE-EXISTING
REAR YARD	20.0 FT	78.9 FT	78.9 FT	COMPLIES
ACCESSORY POOL & SPA				
DISTANCE TO BUILDING	10.0 FT	0.0 FT	18.4 FT	COMPLIES
SIDE YARD RIGHT (SOUTHEAST)	15.0 FT	0.0 FT	15.1 FT	COMPLIES
REAR YARD	20.0 FT	0.0 FT	20.1 FT	COMPLIES
LOT COVERAGE				
PRINCIPAL BUILDING COVERAGE (SF)	4,527 SF	2,044 SF	2,044 SF	COMPLIES
PRINCIPAL BUILDING COVERAGE (%)		15.0%	6.8%	COMPLIES
ACCESSORY COVERAGE (SF)	1,509 SF	1,052 SF	1,052 SF	COMPLIES
ACCESSORY COVERAGE (%)		5.0%	3.5%	COMPLIES
TOTAL BUILDING COVERAGE (SF)	6,037 SF	3,096 SF	3,096 SF	COMPLIES
TOTAL BUILDING COVERAGE (%)		20.0%	10.3%	COMPLIES
ACCESSORY COVERAGE (SF)				
TOTAL IMPERVIOUS COVERAGE (SF)	8,602 SF	5,385 SF	6,290 SF	COMPLIES
TOTAL IMPERVIOUS COVERAGE (%)		28.5%	20.8%	COMPLIES

SEPTIC SYSTEM LOCATION TABLE

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A	63.0'	84.0'
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ST1	37.1'	27.7'
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AS PER TOWNSHIP OF WYCKOFF FILES FOR SEPTIC AS-BUILT

SEPTIC SYSTEM LOCATION TABLE

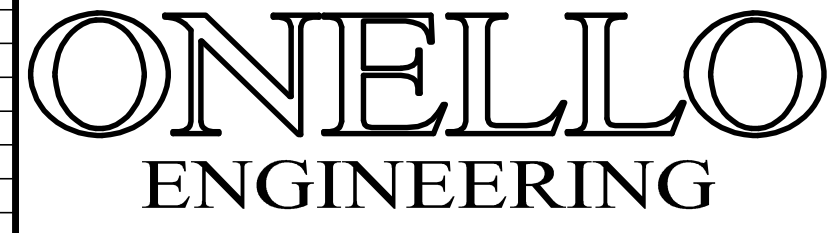
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AS PER TOWNSHIP OF WYCKOFF FILES FOR SEPTIC AS-BUILT

LOT COVERAGE TABLE

BUILDING	PRE-EXISTING APRIL 2019	CURRENT SEPTEMBER 2020
MAIN RESIDENCE	1,569 SF	1,569 SF
FRONT & SIDE PORCHES	151 SF	151 SF
REAR COVERED PORCH	311 SF	311 SF
CHIMNEY	13 SF	13 SF
DETACHED GARAGE	1,052 SF	1,052 SF
SUB-TOTAL BUILDING	3,096 SF	3,096 SF
IMPERVIOUS AREAS		
DRIVEWAY	2,036 SF	2,284 SF
FRONT WALKWAY	126 SF	114 SF
GARAGE WALKWAY	80 SF	0 SF
WINDOW WELLS	37 SF	37 SF
EAST CRAWL SPACE DOOR PAD	0 SF	20 SF
PAVERS PATIO (REAR)	0 SF	617 SF
STEPS TO REAR PORCH	0 SF	9 SF
STEPS & LANDING (TO REAR YARD)	0 SF	83 SF
AC CONDENSER UNITS	10 SF	10 SF
STORAGE BIN (WEST SIDE GARAGE)	0 SF	20 SF
SUB-TOTAL IMPROVEMENTS	2,289 SF	3,194 SF
TOTAL LOT COVERAGE*	5,385 SF	6,290 SF
INCREASE		905 SF

KAYAL, WYCKOFF DESIGN LAYOUT & ZONING ANALYSIS



5 BEECHNUT STREET
HILLSDALE, NEW JERSEY 07642
(201) 774-1444 Angelo@OnelloEng.com

YEAR	MM/DD	REVISION DIGEST NOTES
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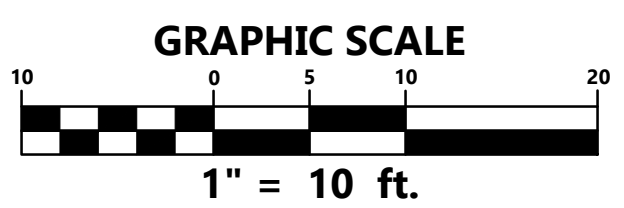
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FOR DESIGN REVIEW ONLY
NOT FOR CONSTRUCTION
ANGELO ONELLO III, PE
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE #464858400

SITE PLAN
ZONING ANALYSIS & SOIL MOVEMENT

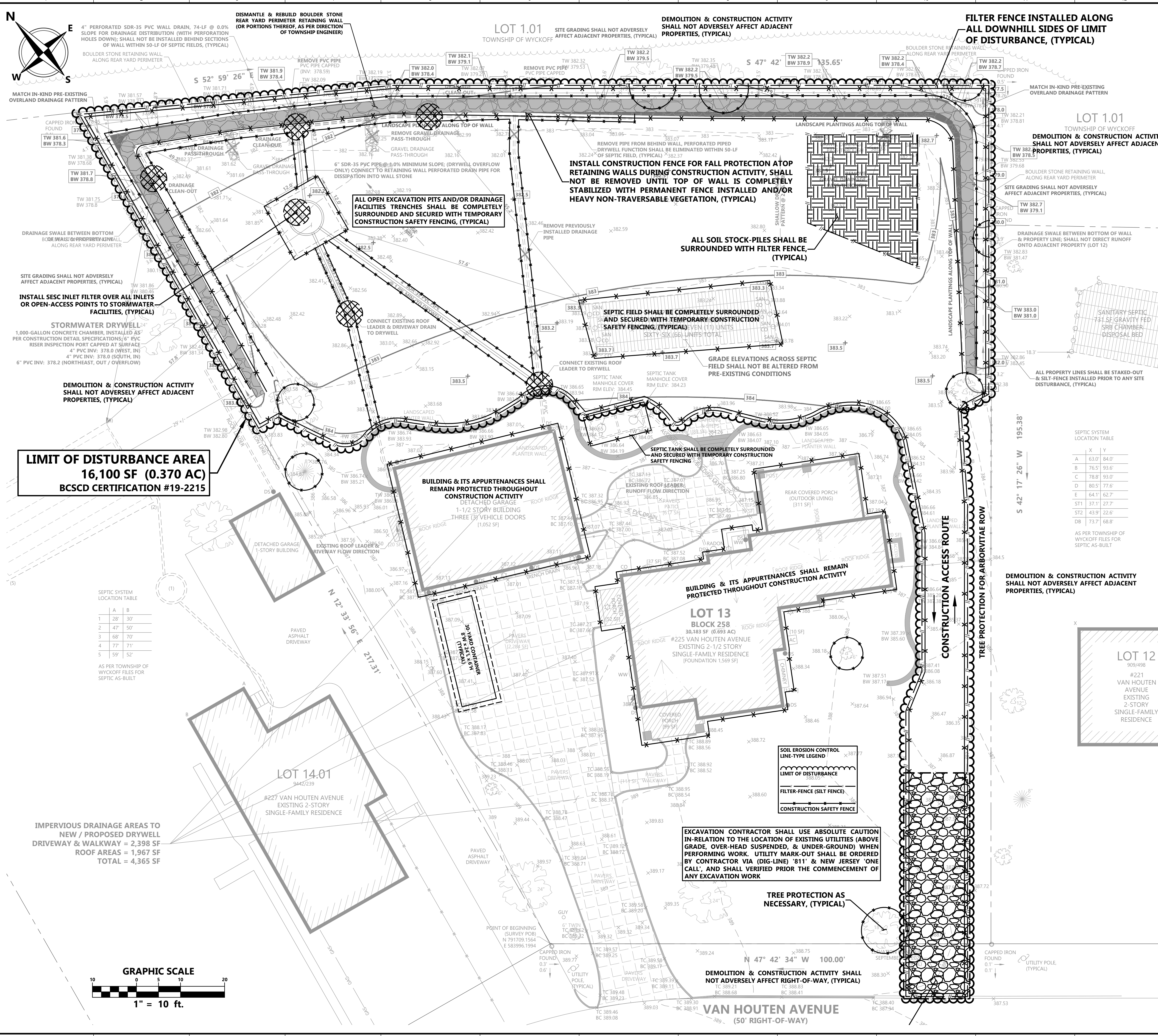
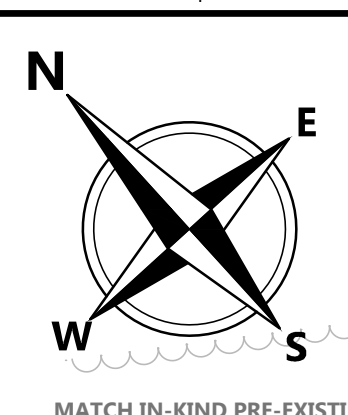
KAYAL
#225 VAN HOUTEN AVENUE
LOT 13 - BLOCK 258
TOWNSHIP OF WYCKOFF
BERGEN COUNTY, NEW JERSEY

DWG # 4 OF 8



VAN HOUTEN AVENUE
(50' RIGHT-OF-WAY)

BCW1918 - Site Engineering.dwg



LIMIT OF DISTURBANCE AREA
16,100 SF (0.370 AC)
BCSCD CERTIFICATION #19-2215

ALL OPEN EXCAVATION PITS AND/OR DRAINAGE FACILITIES TRENCHES SHALL BE COMPLETELY SURROUNDED AND SECURED WITH TEMPORARY CONSTRUCTION SAFETY FENCING, (TYPICAL)

INSTALL CONSTRUCTION FENCE FOR FALL PROTECTION AT TOP RETAINING WALLS DURING CONSTRUCTION ACTIVITY, SHALL NOT BE REMOVED UNTIL TOP OF WALL IS COMPLETELY STABILIZED WITH PERMANENT FENCE INSTALLED AND/OR HEAVY NON-TRAVERSABLE VEGETATION, (TYPICAL)

ALL SOIL STOCK-PILES SHALL BE SURROUNDED WITH FILTER FENCE, (TYPICAL)

SEPTIC FIELD SHALL BE COMPLETELY SURROUNDED AND SECURED WITH TEMPORARY CONSTRUCTION SAFETY FENCING, (TYPICAL)

SEPTIC TANK SHALL BE COMPLETELY SURROUNDED AND SECURED WITH TEMPORARY CONSTRUCTION SAFETY FENCING

BUILDING & ITS APPURTENANCES SHALL REMAIN PROTECTED THROUGHOUT CONSTRUCTION ACTIVITY

BUILDING & ITS APPURTENANCES SHALL REMAIN PROTECTED THROUGHOUT CONSTRUCTION ACTIVITY

LOT 13 BLOCK 258 30,483 SF (0.693 AC) #225 VAN HOUTEN AVENUE EXISTING 2-1/2 STORY SINGLE-FAMILY RESIDENCE (FOUNDATION 1,569 SF)

FILTER FENCE INSTALLED ALONG ALL DOWNHILL SIDES OF LIMIT OF DISTURBANCE, (TYPICAL)

DEMOLITION & CONSTRUCTION ACTIVITY SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES, (TYPICAL)

DEMOLITION & CONSTRUCTION ACTIVITY SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES, (TYPICAL)

EXCAVATION CONTRACTOR SHALL USE ABSOLUTE CAUTION IN-RELATION TO THE LOCATION OF EXISTING UTILITIES (ABOVE GRADE, OVER-HEAD SUSPENDED, & UNDER-GROUND) WHEN PERFORMING WORK. UTILITY MARK-OUT SHALL BE ORDERED BY CONTRACTOR VIA (DIG-LINE) '811' & NEW JERSEY 'ONE CALL', AND SHALL VERIFIED PRIOR THE COMMENCEMENT OF ANY EXCAVATION WORK

TREE PROTECTION AS NECESSARY, (TYPICAL)

DEMOLITION & CONSTRUCTION ACTIVITY SHALL NOT ADVERSELY AFFECT RIGHT-OF-WAY, (TYPICAL)

VAN HOUTEN AVENUE (50' RIGHT-OF-WAY)

BERGEN COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES (REVISED 12/7/17)

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (NJ STANDARDS), AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCHING. IF THE SEEDING IS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH UNROTTED STRAW AT A RATE OF 2 TONS PER ACRE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR EARTH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NJ STANDARDS.
- STABILIZATION SPECIFICATIONS:
 - TEMPORARY SEEDING AND MULCHING: GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER - APPLY 11 LBS. /1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL TO A MINIMUM OF 4". SEED - PERENNIAL RYEGRASS 100 LBS. /ACRE (2.3 LBS. /1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1. MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS. /1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
 - PERMANENT SEEDING AND MULCHING: TOPSOIL - A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5", MINIMUM OF 4" FIRMED IN PLACE IS REQUIRED. GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER - APPLY 11 LBS. /1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL TO A MINIMUM OF 4". SEED - TURF TYPE TURF FESCUE (BLEND OF 3 CULTIVARS) 350 LBS. /ACRE (8 LBS. /1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDING REQUIRES IRRIGATION MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS. /1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
- STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAYBALE SEDIMENT BARRIER OR SILT FENCE.
- A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1" - 2 1/2" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30' X 100' AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.
- MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
- DRIVEWAYS MUST BE STABILIZED WITH 1" - 2 1/2" CRUSHED STONE OR SUBSTITUTED PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
- ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH SECTION 28-1.1 OF THE NJ STANDARDS.
- STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE WITH SECTION 14-1 OF THE NJ STANDARDS.
- DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH SECTION 16-1 OF THE NJ STANDARDS.
- TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH SECTION 9-1 OF THE NJ STANDARDS.
- THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- ANY REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
- A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT CONSTRUCTION.
- THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE. BERGEN COUNTY SCD, 700 KINDERKAMACK ROAD, SUITE 106, ORADEL, NJ 07649. TEL: (201) 261-4407; FAX: (201) 261-7573.
- THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF-SITE EROSION PROBLEMS DURING CONSTRUCTION.
- THE OWNER MUST OBTAIN A DISTRICT ISSUED REPORT OF COMPLIANCE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. THE DISTRICT REQUIRES AT LEAST ONE WEEK'S NOTICE TO FACILITATE THE SCHEDULING OF ALL REPORT OF COMPLIANCE INSPECTIONS. ALL SITE WORK MUST BE COMPLETED, INCLUDING TEMPORARY/PERMANENT STABILIZATION OF ALL EXPOSED AREAS, PRIOR TO THE ISSUANCE OF A REPORT OF COMPLIANCE BY THE DISTRICT.

SEPTIC SYSTEM LOCATION TABLE

	X	Y
A	63.0	94.0
B	76.5	93.6
C	78.8	92.0
D	80.5	77.6
E	64.1	62.7
ST1	37.1	27.7
ST2	43.9	22.6
DB	73.7	68.8

AS PER TOWNSHIP OF WYCKOFF FILES FOR SEPTIC AS-BUILT

SEQUENCE OF CONSTRUCTION

- OBTAIN ALL NECESSARY AND APPLICABLE CONSTRUCTION PERMITS FROM MUNICIPAL BUILDING DEPARTMENT (CONSTRUCTION OFFICE) AND SOIL EROSION AND SEDIMENT CONTROL PLAN CERTIFICATION IF AND WHERE REQUIRED.
- INSTALL ALL SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN REQUIREMENTS AS SPECIFIED ON-PLAN; INCLUSIVE, BUT NOT LIMITED TO: STABILIZED CONSTRUCTION ACCESS ROADS, PERIMETER SILT FILTER FENCE, STORMWATER DRAINAGE CATCH-BASIN INLET, TOP SOIL STOCKPILE CONFINEMENT AREA (SURROUNDED WITH SILT FILTER FENCE), AND TREE PROTECTION, IF AND WHERE APPLICABLE, AND/OR DIRECTED BY ENGINEER.
- SCHEDULE SECT INSPECTION WITH TOWNSHIP ENGINEER AND TREE PROTECTION INSPECTOR, FOR RELEASE OF ADDITIONAL PERMITS, WHERE APPLICABLE.
- THE APPLICANT / OWNER SHALL NOTIFY THE DISTRICT OFFICE, BY MAIL, AT LEAST 48 HOURS PRIOR TO INITIAL LAND DISTURBANCE.
- STRIP & STOCK-PILE TOP SOILS WITHIN AREAS OF CONSTRUCTION LIMITS FOR SOIL MOVEMENT EXCAVATION ACTIVITY.
- EXCAVATE PREVIOUSLY IMPORTED SOILS (AS PER 2019 SOIL MOVEMENT ACTIVITY) & EXPORT (REMOVE) FROM SUBJECT PROPERTY.
- DISMANTLE & REBUILD BOULDER STONE REAR YARD PERIMETER RETAINING WALL (OR PORTIONS THEREOF, AS PER DIRECTION OF TOWNSHIP ENGINEER); OWNER SHALL HAVE RETAINING WALL INSPECTED BY TOWNSHIP ENGINEER & ONELLO ENGINEERING. ALL REMOVED MATERIALS DURING CONSTRUCTION SHALL BE DISCARDED AND/OR RECYCLED AS PER SUITABLE STANDARDS OF THE MUNICIPALITY.
- EXCAVATE FOR NEW STORMWATER DRYWELL PIT (BELOW PRE-EXISTING GRADE) & STOCK-PILE FOR RE-USE ON-SITE.
- SCHEDULE DESIGN ENGINEER (WITH FIVE (5) BUSINESS DAYS' NOTICE) FOR EXCAVATION WITNESS AT DRYWELL LOCATION TO SERVE AS SOILS TEST PIT, INSPECT FOR SEASONAL HIGH GROUND WATER, AND TEST SOILS AT LABORATORY FOR PERMEABILITY RATING.
- INSTALL STORMWATER FACILITIES: CRUSHED STONE & DRYWELL CHAMBER (AS PER CONSTRUCTION DETAILS) AND CONNECT DRAINAGE PIPING AS PER PLAN; OWNER SHALL HAVE INSPECTED BY TOWNSHIP ENGINEER FOR CERTIFICATION OF INSTALLATION.
- BACK-FILL & ROUGH GRADE SITE (ALL NEW IMPORTED SOILS SHALL BE CERTIFIED CLEAN FILL).
- FINALIZE GRADING WITH DRAINAGE PATTERNS, PLACE 5" LAYER OF TOP SOIL & SEED AS PER SESC REQUIREMENTS. TOPSOIL STANDARD: UNIFORM APPLICATION TO AN AVERAGE DEPTH OF FIVE (5) INCHES, MINIMUM FOUR (4) INCHES, OF TOPSOIL, FIRMED-IN-PLACE, IS REQUIRED (FOR PLACEMENT) AND THEN SEEDED AS PER SESC SPECIFICATIONS.
- TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE REMOVED UPON THE PERMANENT STABILIZATION OF ALL EXPOSED AREAS. OBTAIN AUTHORIZATION VIA INSPECTION BY BERGEN COUNTY SOIL CONSERVATION DISTRICT OFFICIAL AND/OR MUNICIPAL ENGINEER / BUILDING INSPECTOR.

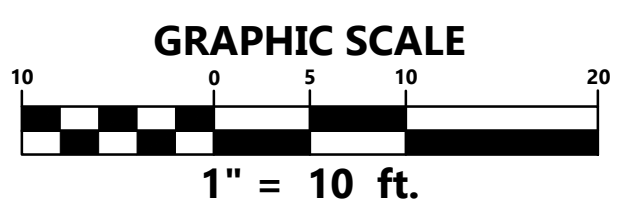
BCSCD SESC #19-2215 KAYAL, WYCKOFF SOIL EROSION & SEDIMENT CONTROL

<p>ONELLO ENGINEERING 5 BEECHNUT STREET HILLSDALE, NEW JERSEY 07642 (201) 774-1444 Angelo@OnelloEng.com</p>		<p>SITE PLAN ZONING ANALYSIS & SOIL MOVEMENT</p> <p>KAYAL #225 VAN HOUTEN AVENUE LOT 13 - BLOCK 258 TOWNSHIP OF WYCKOFF BERGEN COUNTY, NEW JERSEY</p>	<p>DWG # 6 OF 6 SHEET 8</p>
<p>LEGAL NOTICE & INFORMATION: THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REPRODUCED, DISTRIBUTED, OR REPRODUCED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF ONELLO ENGINEERING, LLC. THIS PLAN IS UNAUTHORIZED IF NOT DATED, SIGNED, & WITH A RAISED SEAL BY THE PRINCIPAL ENGINEER AT ONELLO ENGINEERING, LLC. NJ STATE BOARD OF PROFESSIONAL ENGINEERS CERTIFICATE OF AUTHORIZATION #246A28215400</p>		<p>FOR DESIGN REVIEW ONLY NOT FOR CONSTRUCTION</p> <p>ANGELO ONELLO III, PE NEW JERSEY PROFESSIONAL ENGINEER LICENSE #246A28215400</p>	

SEPTIC SYSTEM LOCATION TABLE

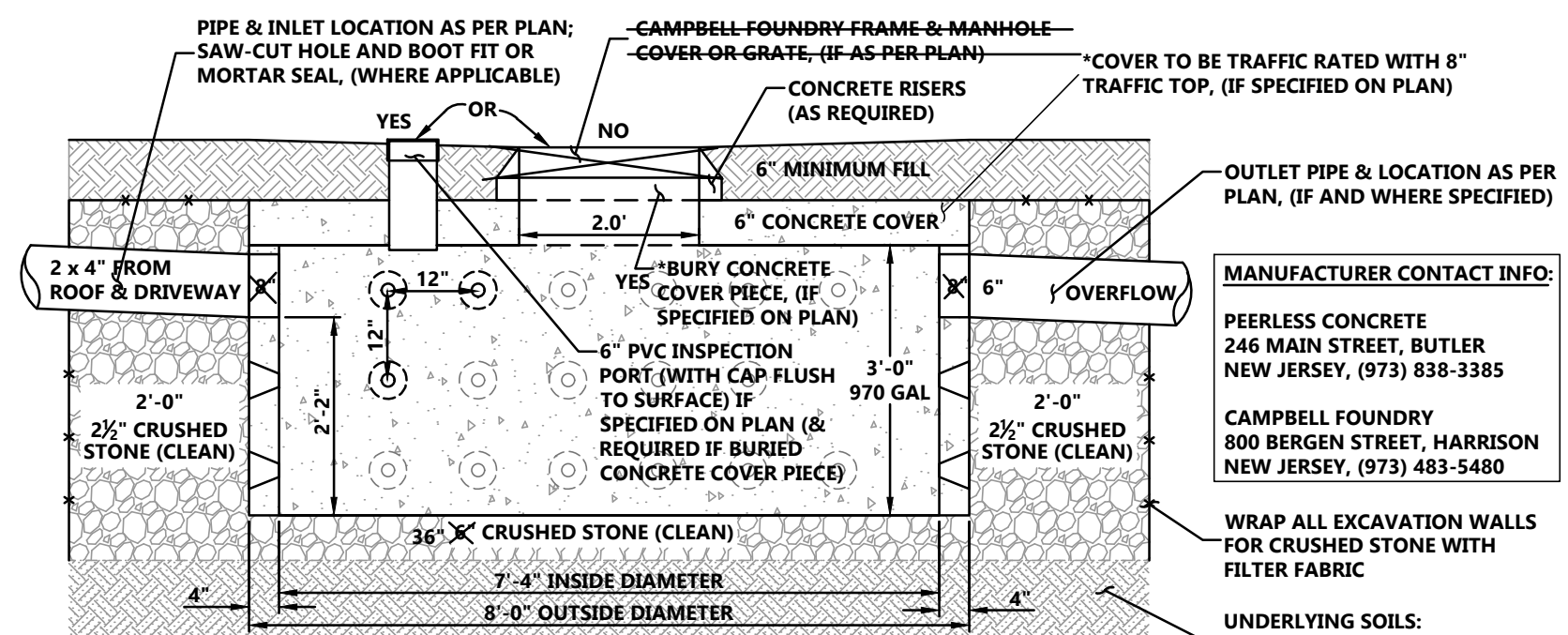
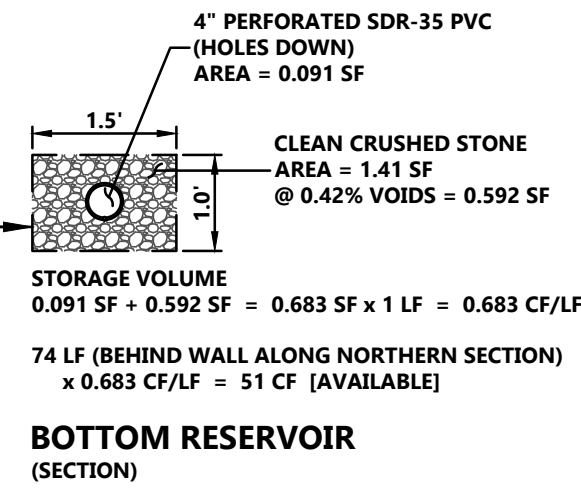
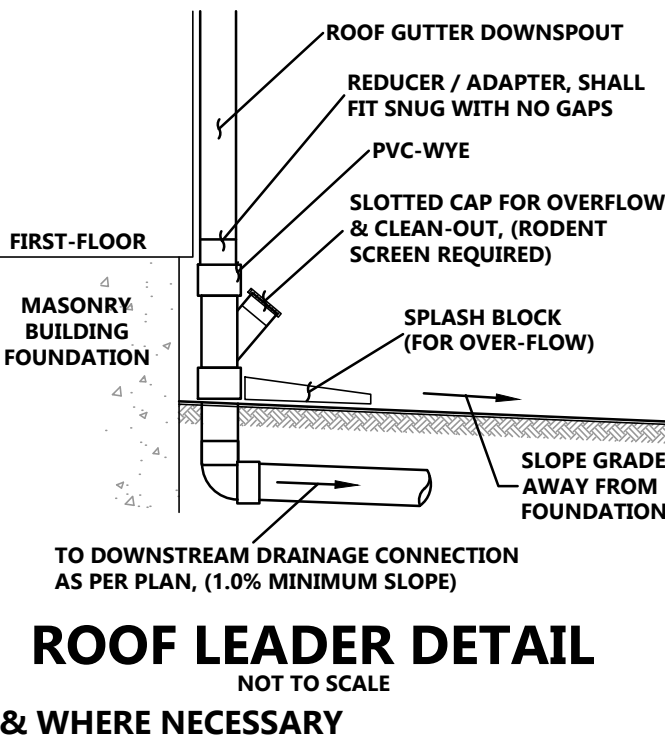
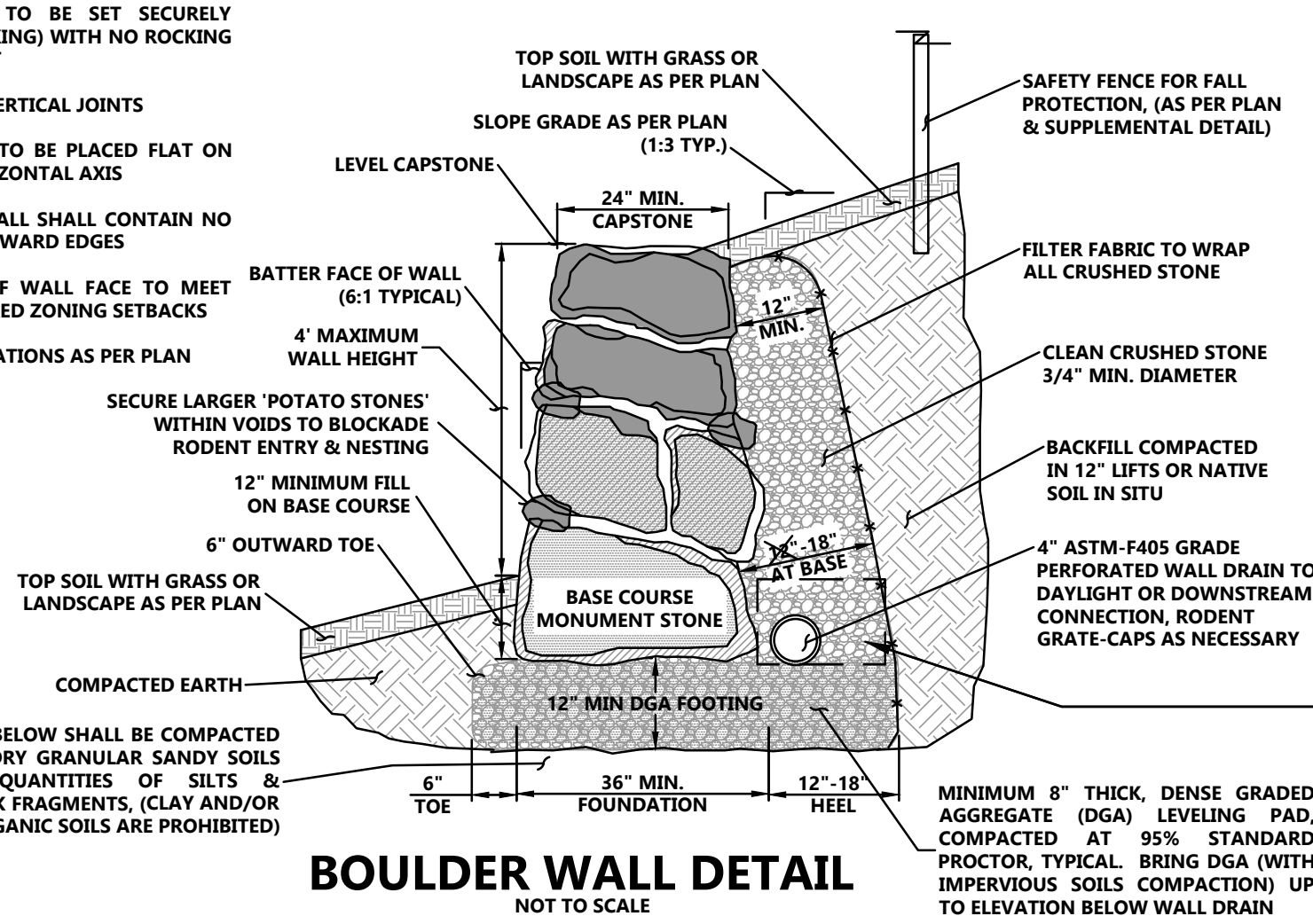
	A	B
1	28'	30'
2	47'	50'
3	68'	70'
4	77'	71'
5	59'	52'

AS PER TOWNSHIP OF WYCKOFF FILES FOR SEPTIC AS-BUILT



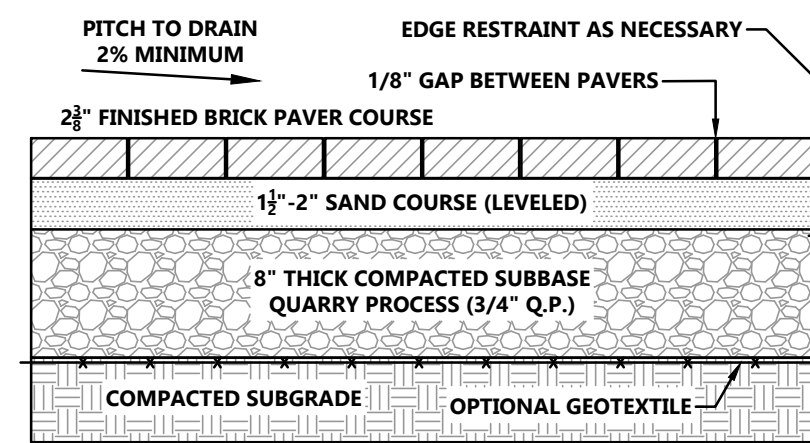
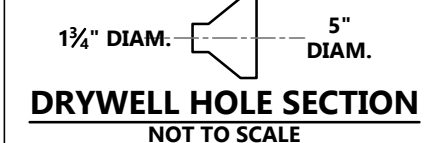
BOULDER WALL NOTES

- BOULDERS TO BE SET SECURELY (INTERLOCKING) WITH NO ROCKING MOVEMENT
- STAGGER VERTICAL JOINTS
- BOULDERS TO BE PLACED FLAT ON LONG HORIZONTAL AXIS
- FACE OF WALL SHALL CONTAIN NO SHARP OUTWARD EDGES
- BOTTOM OF WALL FACE TO MEET ALL REQUIRED ZONING SETBACKS
- WALL ELEVATIONS AS PER PLAN

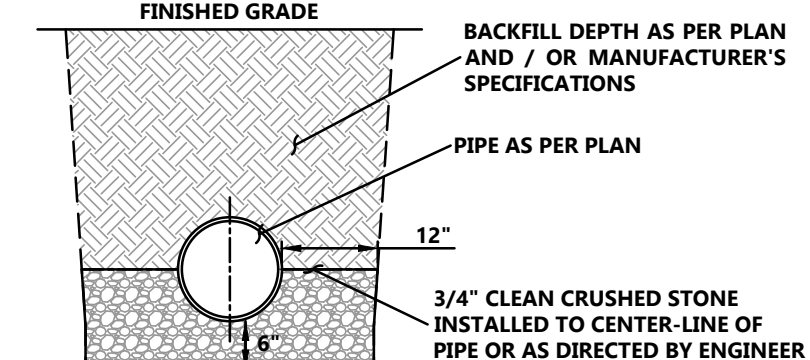


DRYWELL SEEPAGE PIT NOTES

- DRYWELL COVER TO BE 6" THICK CONCRETE FOR LIGHT RESIDENTIAL LOADING. IF OTHERWISE SPECIFIED ON PLAN, SEE NOTE #2
- CONTACT PEERLESS FOR 8" HS-20 TRAFFIC LOAD RATED COVER. CONTRACTOR TO NOTIFY ENGINEER OF ANY CHANGE-ORDERS
- CONTRACTOR TO NOTIFY BOTH THE DESIGN ENGINEER AND THE MUNICIPAL ENGINEER MINIMUM 48 HOURS PRIOR TO INSTALLATION
- PROPERTY OWNER RESPONSIBLE FOR MAINTENANCE OF DRYWELL SEEPAGE PIT. MINIMUM 4 TIMES ANNUALLY (EVERY 3 MONTHS), AND AFTER ANY STORM RESULTING IN A 1" RAINFALL EVENT
- PRECAST CONCRETE MANUFACTURER SUBSTITUTION CHANGE-ORDER ONLY IF SPECIFICATIONS OF THIS UNIT ARE EQUAL OR GREATER. BOTH DESIGN ENGINEER AND MUNICIPAL ENGINEER ARE TO BE NOTIFIED. APPROVAL REQUIRED
- 970 GALLON CAPACITY PER UNIT (8'-0" OUTSIDE DIAMETER x 3'-6" HEIGHT)
- 449 GALLONS (3,358 CF) TOTAL CAPACITY INSTALLED (INSTALLED WITHIN 12'-0" SQUARE PIT EXCAVATION & CLEAN CRUSHED STONE AS PER DETAIL)



PAVER INSTALLATION DETAIL CROSS-SECTION FOR DRIVEWAYS & PATIOS NOT TO SCALE



STORM PIPE TRENCH DETAIL NOT TO SCALE

TOWNSHIP OF WYCKOFF DRAINAGE ORDINANCE NOTES

- IN THE TOWNSHIP OF WYCKOFF, NEW JERSEY, STORMWATER MANAGEMENT APPROVAL IS REQUIRED PRIOR TO ANY CONSTRUCTION PERMIT REVIEW BY THE CONSTRUCTION OFFICE; A STORM WATER MANAGEMENT APPROVAL IS NEEDED BY THE TOWNSHIP ENGINEER IF THE PROPOSED CONSTRUCTION ACTIVITY INCLUDES:
 - ONE OR TWO FAMILY RESIDENCE (NEW AND REBUILDS)
 - ENLARGEMENT OR EXPANSION TO AN EXISTING ONE OR TWO FAMILY RESIDENCE IN WHICH THE COMPLETED DEVELOPMENT SHALL HAVE A ROOF SURFACE AREA WHICH IS MORE THAN 33% GREATER THAN THE EXISTING ROOF SURFACE AREA
 - THE CONSTRUCTION OF AN IN-GROUND POOL
- WYCKOFF CODE 168-20C: DRAINAGE FACILITIES SHALL BE DESIGNED ON THE BASIS OF A TEN YEAR STORM, USING A ONE-HOUR INTENSITY OF TWO (2) INCHES

STORMWATER STORAGE VOLUME

DRYWELL (INSTALLED WITH CRUSHED STONE) = 449 CF
 RETAINING WALL BACKING BOTTOM RESERVOIR = 51 CF
 (74 LF x 4" PVC ENCASED IN CRUSHED STONE)
 TOTAL VOLUME = 500 CF (3,740 GALLONS) (AVAILABLE)

ON-SITE IMPERVIOUS AREAS (ROOF & DRIVEWAY)
 DRAINING TO NEW DRYWELL = 4,365 SF (EFFECTIVE)

500 CF / 4,365 SF = 0.115" (1.37") RAINFALL STORAGE VOLUME
 NOTE: 1.37" RAINFALL IS GREATER THAN THE 1.25" WATER-QUALITY STORM

2" RAINFALL VOLUME STANDARD

CALCULATE INVERSE VOLUME CAPACITY FOR 2" RAINFALL STANDARD VERSUS IMPERVIOUS AREAS
 2" = 0.17"
 500 CF / 0.17" = 2,941 SF [FOR 2" STANDARD]

DRAINAGE FACILITIES (DRYWELL + WALL STONE RESERVOIR) WILL ACCOUNT FOR 2" RAINFALL ACROSS 2,941 SF

INCREASE IN IMPERVIOUS AREAS AS PER LOT COVERAGE CALCULATIONS

COMPARISON OF 'PRE-EXISTING' (APRIL 2019) TO 'CURRENT' (AS OF SEPTEMBER 2020 SURVEY)
 Δ = +905 SF [INCREASE]

IMPERVIOUS AREAS STORMWATER RUNOFF CAPTURE (FOR 2" RAINFALL) REQUIREMENT
 2,941 SF [2" STANDARD COLLECTION] > 905 SF [IMPERVIOUS INCREASE] ✓

FOR THE PURPOSES OF 'STORMWATER MANAGEMENT DRAINAGE CALCULATIONS' (PROVIDED BELOW), THE IMPERVIOUS AREAS FOR THE 2" RAINFALL VOLUME STANDARD (2,941 SF) HAVE BEEN CONSIDERED

STORMWATER MANAGEMENT DRAINAGE CALCULATIONS

DESIGN CRITERIA
 2" RAINFALL PER HOUR, 10-YEAR STORM EVENT, 60-MINUTE DURATION

RATIONAL METHOD / ZERO NET INCREASE IN RATE OF RUNOFF (Q)

RUNOFF RATE = WEIGHTED COEFFICIENT X RAINFALL INTENSITY X AREA
 $Q = C \cdot I \cdot A$
 LOT AREA = 0.693 AC I = 2 IN/HR
 RUNOFF COEFFICIENTS = 0.05 (WOODS) 0.10 (LAWN) 0.85 (PAVEMENTS) 0.90 (ROOF)

PRE-EXISTING CONDITIONS

PRE-EXISTING & APRIL 2019 SURVEY OF IMPROVEMENTS SHEET-FLOW RUNOFF, NO DETENTION

WOODS	0.253 AC
LAWN	0.316 AC
PAVEMENTS	0.053 AC
ROOF	0.071 AC
TOTAL	0.693 AC

$C_w = 0.221$ $Q = 0.306$ CFS [PRE-EXISTING]

CURRENT CONDITIONS + PROPOSED STORAGE VOLUME

AS OF SEPTEMBER 2020 SURVEY + PROPOSED DRAINAGE FACILITIES SHEET-FLOW RUNOFF & ON-SITE DETENTION

WOODS*	0.088 AC [HEAVY ARBORVITAE & LANDSCAPED PLANTINGS]
LAWN	0.493 AC
PAVEMENTS	0.018 AC
ROOF	0.026 AC
TOTAL**	0.625 AC

$C_w = 0.148$ $Q = 0.185$ CFS [PROPOSED]

*HEAVY LANDSCAPING, PLANTINGS, MULCH BEDS; CONSIDERED AS 'WOODED AREAS' PERIMETER ARBORVITAE 2,072 SF + RESIDENCE & GARAGE PERIMETER LANDSCAPING 1,757 SF TOTAL HEAVY LANDSCAPING = 3,829 SF (0.088 AC)

**REMAINDER OF LOT AREAS 2,941 SF (0.068 AC) ARE 'IMPERVIOUS SURFACE AREAS': DRIVEWAY & WALKWAY 2,398 SF (0.055 AC) & ROOF AREAS 1,967 SF (0.045 AC) TO BE DRAINED DIRECTLY INTO DRYWELL & WALL STONE VIA ROOF GUTTER DOWNSPOUTS AND DRIVEWAY TRENCH DRAIN WITH PVC LEADER PIPING (AS PER PLAN)

RUNOFF FLOW-RATE (Q) COMPARISON

0.185 CFS [PROPOSED] < 0.306 CFS [PRE-EXISTING]
 ZERO NET INCREASE IN RATE OF RUNOFF; RESULT IS A 'NET DECREASE' ✓

STORMWATER RUNOFF CONTROL NOTES

DUE TO THE 'EFFECTIVE' IMPERVIOUS AREAS DRAINAGE TO THE PROPOSED STORMWATER FACILITIES (4,365 SF), THE AVAILABLE CAPACITY WILL BE 'OVER-TAXED' AFTER 1.37" RAINFALL BY VOLUME, WHEREAS A GREATER STORM-EVENT WILL 'OVERFLOW' AND STORMWATER WILL SEEP-THROUGH THE REAR BOULDER WALL STONES AND FOLLOW 'PRE-EXISTING' DRAINAGE PATTERNS THROUGH WOODED AREAS WITHIN ADJACENT LOT 1.01 - BLOCK 258 (TOWNSHIP OF WYCKOFF MUNICIPAL PROPERTY)

AS PER THE 'STORMWATER MANAGEMENT DRAINAGE CALCULATIONS' (PROVIDED ABOVE), THE MUNICIPAL STORMWATER REQUIREMENT FOR ZERO-NET INCREASE IN RATE OF RUNOFF IS FULFILLED, WHEREAS PER THE SPECIFICATIONS FOR AN ON-SITE DRAINAGE DRYWELL & EXTENDED CRUSHED STONE, STORAGE VOLUME IS PROVIDED, WHICH IS TO BE INFILTRATED INTO SUBGRADE SOILS

AS A RESULT, THERE WILL BE A NET REDUCTION IN THE RATE OF STORM WATER RUNOFF ✓

AS PER MUNICIPAL REQUIREMENTS: THIS STATEMENT SHALL SERVE AS WRITTEN CONFIRMATION CERTIFYING THERE WILL BE ZERO INCREASE IN THE RATE OF STORM WATER RUNOFF AS A RESULT OF THE PROPOSED PROJECT AND ASSOCIATED DRAINAGE CALCULATIONS

SOIL MOVEMENT & MATERIALS VOLUME CALCULATION

PREVIOUS ACTIVITY 2019	CUT	FILL	NOTES
RETAINING WALL BOULDERS & CLEAN CRUSHED STONE MATERIAL	0 CY	165 CY	REAR 190 LF @ 3.5' AVG HEIGHT x 2.5' BOULDER DEPTH + 18" CRUSHED STONE = 100 CY & SIDES 125 LF @ 2.0' AVG HEIGHT x 2.0' BOULDER SIZE + 18" CRUSHED STONE = 65 CY
DRIVEWAY SUB-BASE MATERIALS	0 CY	12 CY	IMPORTED CLEAN MATERIALS: CRUSHED STONE, DGA, & DUST
REAR RESIDENCE PATIO SUB-BASE MATERIALS	0 CY	7 CY	IMPORTED CLEAN MATERIALS: CRUSHED STONE, DGA, & DUST
IN-FILL SOILS THROUGHOUT REAR-YARD AREAS FOR GRADE LEVELING	0 CY	420 CY	SOIL PREVIOUSLY IMPORTED (TO BE REMOVED IN 2021)
TOP-SOILS & SOD	0 CY	170 CY	ASSUMES 11,000 SF LAWN AREAS AT 5" THICKNESS
SUB-TOTAL	0 CY	774 CY	PREVIOUS SOIL MOVEMENT ACTIVITY (SOILS & MATERIALS) FOR LEVELING OF REAR YARD, PLANNING BOARD APPLICATION DENIED MARCH 11, 2020
NEW / PROPOSED ACTIVITY 2021	CUT	FILL	NOTES
REMOVE PREVIOUSLY IMPORTED IN-FILL SOILS & EXPORT FROM THE SUBJECT PROPERTY	420 CY	0 CY	SOIL PREVIOUSLY IMPORTED (TO BE REMOVED FROM SUBJECT PROPERTY AND SHALL NOT BE RE-USED ON-SITE)
EXCAVATION FOR NEW 1,000-GALLON STORMWATER DRYWELL WITH CRUSHED STONE (BELOW PRE-EXISTING GRADE)	32 CY	32 CY	USE EXCAVATED SOILS (BELOW PRE-EXISTING GRADE) FOR ON-SITE BACKFILL
DRAINAGE FACILITIES MATERIALS: CONCRETE DRYWELL CHAMBER & CRUSHED STONE	0 CY	32 CY	IMPORTED CLEAN CONSTRUCTION MATERIALS (CONCRETE & CRUSHED STONE)
NEW SOILS IMPORT FOR REAR YARD IN-FILL / SITE GRADING	0 CY	388 CY	IMPORTED SOILS SHALL BE CERTIFIED CLEAN
SUB-TOTAL	452 CY	452 CY	ALL SOILS & MATERIALS BY VOLUME
GROSS TOTAL (SOIL & MATERIALS)	452 CY	1,226 CY	ALL SOILS & MATERIALS BY VOLUME, CUMMULATIVE TOTAL, PREVIOUS 2019 + NEW / PROPOSED 2021 ACTIVITY
SOIL MOVEMENT QUANTITIES	EXPORT	IMPORT	NOTES
PREVIOUS SOILS IMPORT (2019) & REMOVAL (2021)	420 CY	420 CY	TO BE REMOVED FROM SUBJECT PROPERTY (NOT TO BE RE-USED ON-SITE)
PREVIOUS TOP-SOILS / SOD IMPORT (2019)	0 CY	170 CY	TO REMAIN ON-SITE, STRIPPED, STOCK-PILED, & RE-USED
ADDITIONAL ON-SITE EXCAVATION (2021)	32 CY	0 CY	BELOW PRE-EXISTING GRADE FOR NEW DRYWELL
DEDUCTION FOR ON-SITE BACK-FILL & GRADING (2021)	-32 CY	0 CY	ON-SITE BACK-FILL TO BE PERFORMED WITH PRE-EXISTING SOILS ONLY
NEW SOILS IMPORT FOR REAR YARD IN-FILL / SITE GRADING	0 CY	388 CY	IMPORTED SOILS SHALL BE CERTIFIED CLEAN
NET TOTAL SOIL MOVEMENT	420 CY	978 CY	ALL SOIL BY VOLUME
MATERIALS VOLUME QUANTITIES	EXPORT	IMPORT	NOTES
RETAINING WALL BOULDERS & CLEAN CRUSHED STONE MATERIAL	0 CY	165 CY	TO REMAIN ON-SITE, RE-BUILD AS NECESSARY
DRIVEWAY SUB-BASE MATERIALS	0 CY	12 CY	TO REMAIN ON-SITE, IN-PLACE
REAR RESIDENCE PATIO SUB-BASE MATERIALS	0 CY	7 CY	TO REMAIN ON-SITE, IN-PLACE
DRAINAGE FACILITIES MATERIALS: CONCRETE DRYWELL CHAMBER & CRUSHED STONE	0 CY	32 CY	IMPORTED CLEAN CONSTRUCTION MATERIALS (CONCRETE & CRUSHED STONE)
NET TOTAL MATERIALS	0 CY	216 CY	ALL MATERIALS BY VOLUME
ON-SITE CUT		452 CY	2019 & 2021
IMPORT		1,194 CY	2019 & 2021
TOTAL MOVEMENT VOLUME		1,646 CY	2019 & 2021
ON-SITE FILL		1,226 CY	2019 & 2021
EXPORT		420 CY	2021
TOTAL MOVEMENT CHECK	✓	1,646 CY	

KAYAL, WYCKOFF CONST DETAILS & CALCULATIONS

ONELLO ENGINEERING
 5 BEECHNUT STREET
 HILLSDALE, NEW JERSEY 07642
 (201) 774-1444 Angelo@OnelloEng.com

2021 02/24 ORIGINAL PLAN DATE
 YEAR MM/DD REVISION DIGEST NOTES

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FOR DESIGN REVIEW ONLY NOT FOR CONSTRUCTION
 ANGELO ONELLO III, PE
 NEW JERSEY PROFESSIONAL ENGINEER LICENSE #468495840

SITE PLAN
 ZONING ANALYSIS & SOIL MOVEMENT
 DWG # 7
 OF 8
 KAYAL
 #225 VAN HOUTEN AVENUE
 LOT 13 - BLOCK 258
 TOWNSHIP OF WYCKOFF
 BERGEN COUNTY, NEW JERSEY

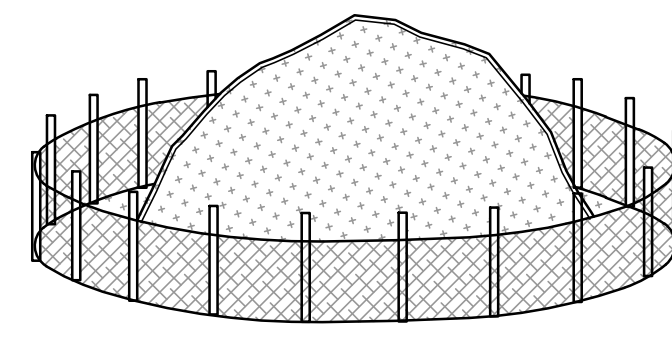
SEEDING DATES IN ACCORDANCE TO TABLE 4-2 & 4-3 OF THE STANDARDS FOR SOIL EROSION & SEDIMENT CONTROL IN NEW JERSEY

TEMPORARY STABILIZATION SPECIFICATIONS

- A. APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SF
- B. APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SF
- C. APPLY SEED MIXTURE:
PERENNIAL RYEGRASS AT 1 LB PER 1000 SF
ANNUAL RYEGRASS AT 1 LB PER 1000 SF
- D. MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SF
- E. APPLY A LIQUID MULCH BINDER OR TRACK TO STRAW OR HAY MULCH

PERMANENT STABILIZATION SPECIFICATIONS

- A. APPLY TOPSOIL TO A DEPTH OF 5-INCHES (UNSETTLED)
- B. APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PR 1000 SF & WORK 4-INCHES INTO THE TOPSOIL
- C. APPLY FERTILIZER (10-10-10) AT A RATE OF 11 LBS PER 1000 SF, (500 LBS PER ACRE)
- D. APPLY SEED MIXTURE:
TALL FESCUE (TURF-TYPE) 6 LBS PER 1000 SF
PERENNIAL RYEGRASS AT 5 LBS PER 1000 SF
OPTIMAL PLANTING PERIOD: MARCH 1 - APRIL 30
ACCEPTABLE PLANTING PERIOD: MAY 1 - AUGUST 14
ACCEPTABLE PLANTING PERIOD: AUGUST 15 - OCTOBER 15
- E. MULCH WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SF
- F. APPLY A LIQUID MULCH BINDER OR TRACK TO STRAW OR HAY MULCH



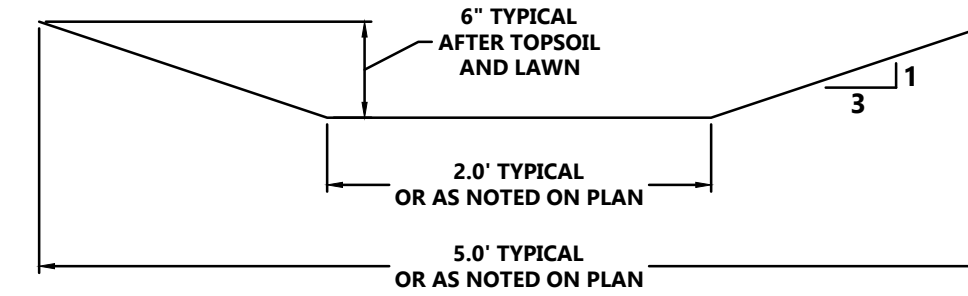
STOCK PILE NOTES
 1. REFER TO STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY 3.9.1
 2. SILT FENCE PROTECTION INSTALLED AROUND STOCK PILE AS PER 'SILT FENCE DETAIL'

TOPSOIL STOCKPILE PROTECTION

- A. APPLY LIMESTONE AT A RATE OF 90 LBS PER 1000 SF
- B. APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SF
- C. APPLY PERENNIAL RYEGRASS AT A RATE OF 1 LB PER 1000 SF & ANNUAL RYEGRASS SEED AT A RATE OF 1 LB PER 1000 SF
- D. MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SF
- E. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH
- F. PROPERLY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE

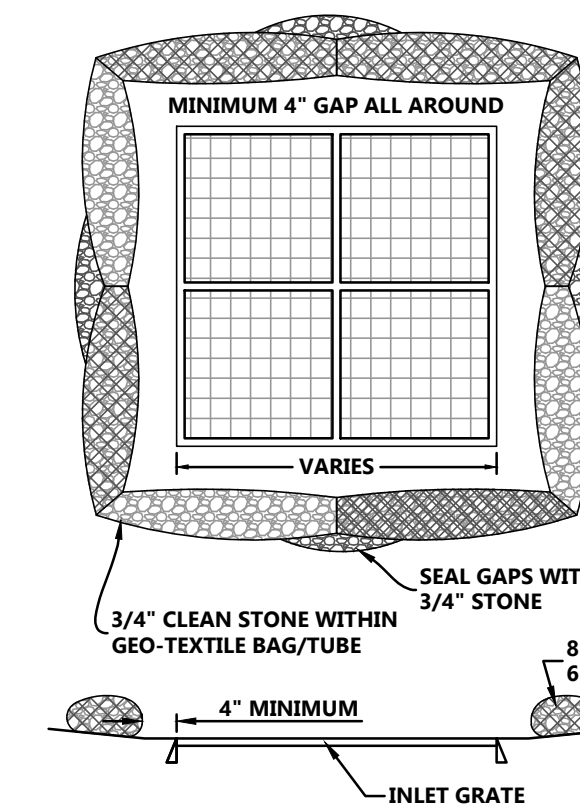
TOPSOIL STOCK PILE DETAIL

NOT TO SCALE



GRADED DRAINAGE SWALE

NOT TO SCALE



SOIL EROSION CONTROL INLET FILTER DETAIL

FOR STORMWATER CATCH-BASIN GRATES
NOT TO SCALE

INLET FILTER NOTES

1. GEOTEXTILE TO BE WOVEN POLYPROPYLENE PRODUCT GEOTEX 117F, BY PROPEX GEOTEXTILE SYSTEMS, OR APPROVED EQUAL
2. 3/4" CLEAN STONE CORE SHALL BE COMPLETELY CONTAINED WITHIN GEOTEXTILE TUBE/BAG, SEAMS SHALL BE SEWN OR CLOSED BY SUITABLE MECHANICAL MEANS TO PREVENT LEAKAGE OF STONE
3. WHERE NO CURB IS PRESENT, BARRIER SHALL COMPLETELY ENIRCLE THE DRAIN INLET
4. INLET GRATE OPENING TO BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIMES
5. THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1-YEAR, 24-HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM
6. INSPECTIONS SHALL BE FREQUENT. MAINTENANCE, REPAIR AND REPLACEMENT SHALL BE MADE PROMPTLY AS REQUIRED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED
7. OTHER METHODS THAT ACCOMPLISH THE PURPOSE OF STORM SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT

STANDARD FOR DUST CONTROL

DEFINITION - THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADS

PURPOSE - TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCED ON-SITE AND OFF-SITE DAMAGE AND HEALTH HAZARDS AND IMPROVE TRAFFIC SAFETY

CONDITION WHERE PRACTICE APPLIES - THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON-SITE AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. CONSULT WITH LOCAL MUNICIPAL ORDINANCES ON ANY RESTRICTIONS

WATER QUALITY ENHANCEMENT - SEDIMENTS DEPOSITED AS "DUST" ARE OFTEN FINE COLLOIDAL MATERIAL WHICH IS EXTREMELY DIFFICULT TO REMOVE FROM WATER ONCE IT BECOMES SUSPENDED USE OF THIS STANDARD WILL HELP TO CONTROL THE GENERATION OF DUST FROM CONSTRUCTION SITES AND SUBSEQUENT BLOWING AND DEPOSITION INTO LOCAL SURFACE WATER RESOURCES

PLANNING CRITERIA
THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1

VEGETATIVE COVER - SEE STANDARD FOR: TEMPORARY VEGETATIVE COVER, PG. 7-1, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4-1 AND PERMANENT STABILIZATION WITH SOD, PG. 6-1

SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS

DUST CONTROL MATERIALS, TABLE 16-1*

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1,200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON POLYACRYLAMIDE (PAM) - DRY SPREAD	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. *SEE SEDIMENT BASIN STANDARDS, P. 26-1		
ACIDULATED SOY BEAN SOAP STICK	NONE	COURSE SPRAY	1,200

*SEE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY

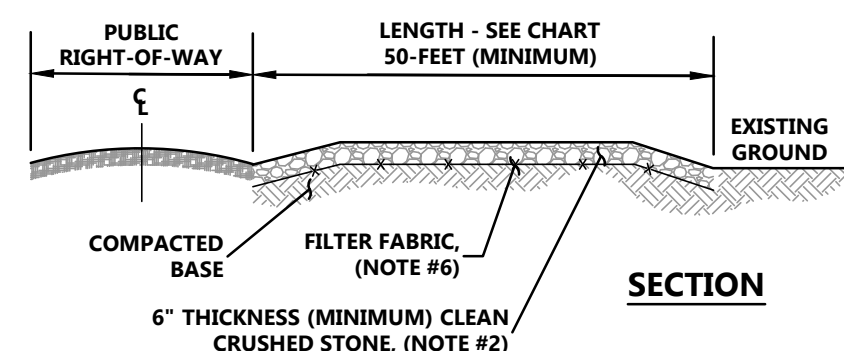
TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT

SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET

BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING

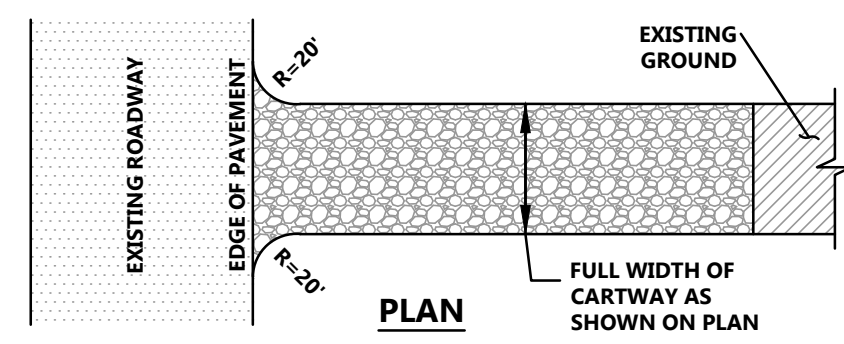
CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS

STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL



TRACKING PAD NOTES

1. PLACE STABILIZED CONSTRUCTION ENTRANCE AT LOCATION
2. STONE SIZE SHALL BE ASTM C-33, SIZE #2 OR #3, CLEANED CRUSHED ANGULAR STONE
3. THE THICKNESS OF THE STABILIZED CONSTRUCTION ENTRANCE NOT BE LESS THAN 6" (SIX INCHES)
4. WIDTH - NOT LESS THEN FULL WIDTH OF POINTS OF INGRESS OF EGRESS
5. LENGTH - STABILIZED CONSTRUCTION ACCESS SHALL NOT BE LESS IN LENGTH THAN AS SPECIFIED IN THE CHART BELOW
6. AT POORLY DRAINED LOCATIONS, SUB-SURFACE DRAINAGE GRAVEL FILTER FABRIC SHALL BE INSTALLED BEFORE INSTALLING THE STABILIZED CONSTRUCTION ENTRANCE
7. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY / PAVEMENT. THIS REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN-OUT OF ANY MEASURE USED TO TRAP SEDIMENT
8. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO THE PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY



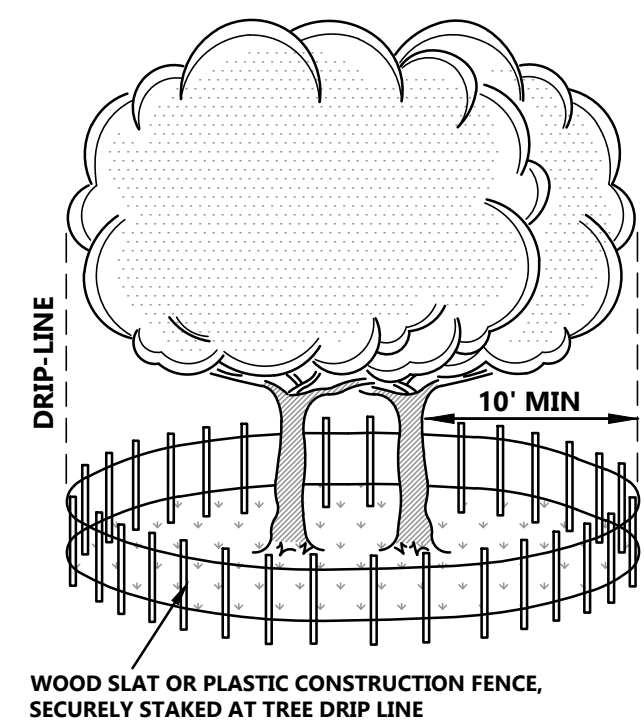
% SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	COARSE SOILS	FINE SOILS
0% TO 2%	50-FEET	100-FEET	
2% TO 5%	100-FEET	200-FEET	
> 5%	ENTIRE SURFACE TO BE STABILIZED*		

*IF REQUIRED BY LOCAL ORDINANCE OR OTHER GOVERNING BODY

STABILIZED CONSTRUCTION ACCESS

WHEEL BLANKET TRACKING PAD DETAIL

NOT TO SCALE



WOOD SLAT OR PLASTIC CONSTRUCTION FENCE, SECURELY STAKED AT TREE DRIP LINE

TREE PROTECTION DETAIL

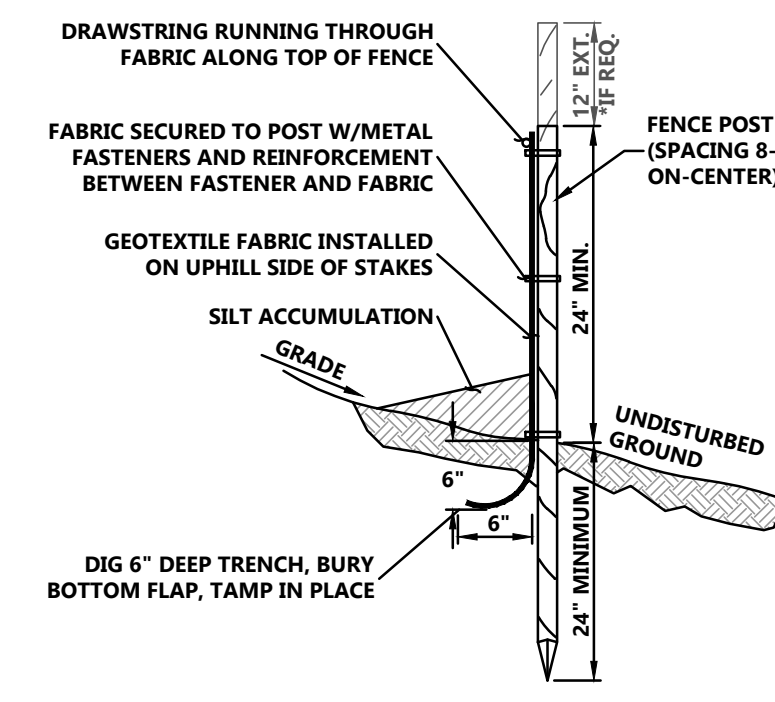
NOT TO SCALE

TREE PROTECTION NOTES

1. ALL SPECIMEN TREES AS SHOWN ON THE PLANS ARE TO BE PROTECTED DURING CONSTRUCTION
2. THE CONTRACTOR SHALL INSTALL SNOW FENCING AT THE DRIP LINE OF EACH SPECIMEN TREE BEFORE WORKING IN VICINITY OF THE TREE

TREE NOTES

1. IF TREES ARE TO BE REMOVED AS PART OF THIS APPLICATION, THE OWNER SHALL OBTAIN A TREE REMOVAL PERMIT FROM THE MUNICIPALITY
2. CONSTRUCTION ACTIVITY SHALL BE KEPT CLEAR OF ALL TREES TO REMAIN, WHEREAS TREE PROTECTION SHALL BE INSTALLED IF AND WHERE NECESSARY AS PER THE PROVIDED CONSTRUCTION DETAIL WITHIN THIS PLAN SET
3. NO ADJACENT PROPERTY(S) TREE ROOTS SHALL BE COMPROMISED AS A RESULT OF THIS APPLICATION. IF ADJACENT PROPERTY(S) TREE ROOTS ARE ENCOUNTERED DURING EXCAVATION, THE IMMEDIATE ARE EXCAVATION SHALL COME TO A HALT, WHEREAS THE ADJACENT PROPERTY OWNER(S) SHALL BE CONTACTED ACCORDINGLY. A TREE EXPERT SHALL BE ENGAGED TO EVALUATE THE PROPOSED EXCAVATION ACTIVITIES AT THE SOLE COST OF THE OWNER



SILT FENCE DETAIL

NOT TO SCALE

REQUIREMENTS FOR SILT FENCE

1. FENCE POSTS SHALL BE SPACED 8 FEET ON-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1-1/2 INCHES
2. A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FT. HEIGHT MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC, WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED
3. A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FT. ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS AND STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHER, ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE PORTION OF THE FENCE FOR ADDED STRENGTH

**BCSCD SESC #19-2215
KAYAL, WYCKOFF
SOIL EROSION CONTROL DETAILS**

YEAR	MM/DD	REVISION DIGEST NOTES
2021	02/24	ORIGINAL PLAN DATE

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ANGELO ONELLO III, PE
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE #246A058490

ONELLO ENGINEERING

5 BEECHNUT STREET
HILLSDALE, NEW JERSEY 07642
(201) 774-1444 Angelo@OnelloEng.com

SITE PLAN
ZONING ANALYSIS & SOIL MOVEMENT

KAYAL
#225 VAN HOUTEN AVENUE
LOT 13 - BLOCK 258
TOWNSHIP OF WYCKOFF
BERGEN COUNTY, NEW JERSEY

DWG # 8 OF 8