

ABBREVIATIONS

ARCH ARCHITECT	JST JOIST
AB ANCHOR BOLT	LAV LAVATORY
A/C AIR CONDITIONER	LBS POUNDS
A.F.F ABOVE FINISHED FLOOR	LC LINEN CLOSET
ALUM ALUMINUM	MAS MASONRY
BSMT BASEMENT	MAN MANUFACTURER
BLDG BUILDING	MAT MATERIAL
BLK BLOCK	M.O. MASONRY OPENING
CAB CABINET	MAX MAXIMUM
CJ CEILING JOIST	NIC NOT IN CONTRACT
CEM CEMENT	NA NOT APPLICABLE
CER CERAMIC	NTS NOT TO SCALE
CFM CUBIC FT PER MINUTE	OC ON CENTER
CLO CLOSET	PED PEDESTAL
CLG CEILING	PL PLATE
COL COLUMN	POLY POLYETHELENE
CONSTR CONSTRUCTION	PSI POUNDS PER SQUARE INCH
C.T. CERMAIC TILE	PT PRESSURE TREATED
D DRYER	PVC POLY VINYL CHLORIDE
DIA DIAMETER	REQ'D REQUIRED
DN DOWN	RM ROOM
DW DISH WASHER	RO ROUGH OPENING
DWG DRAWING	SD SMOKE DETECTOR
ELEC ELECTRIC	SEC SECTION
EXT EXTERIOR	SPEC SPECIFICATION
FDN FOUNDATION	SF SQUARE FOOT
FLR FLOOR	STL STEEL
FTG FOOTING	SQ SQUARE
FIN FINISH	SQYD SQUARE YARD
FURN FURNACE	TO TRIMMED OPENING
GAL GALLON	TEMP TEMPERED
GALV GALVANIZED	T&G TONGUE AND GROOVE
GC GENERAL CONTRACTOR	TYP TYPICAL
GFI GROUND FAULT INTERRUPTER	W WASHER
GYP BD GYPSUM BOARD	WC WATER CLOSET
HM HOLLOW METAL	WD WOOD
HW HOT WATER	WOLM WOLMANIZED
INSUL INSULATION	WIC WALK IN CLOSET
IN INCH	WP WATER PROOF
	WWF WELDED WIRE FABRIC

GENERAL CONDITIONS

THESE ARE BASIC BUILDERS PLANS. UNLESS OTHERWISE NOTED, THE FOLLOWING ITEMS SHALL BE PROVIDED BY OTHERS:
 SELECTION OF FINISHES, CABINETRY AND HARDWARE.
 DESIGN OF HEATING, PLUMBING AND ELECTRICAL SYSTEMS.
 DESIGN OF LANDSCAPING AND EXTERIOR FEATURES.
 THE CONTRACTOR SHALL APPLY ALL MATERIALS, FIXTURES AND LABOR NECESSARY TO COMPLETE ALL THE WORK NOTED ON THESE PLANS AND AS OTHERWISE REQUIRED. ALL MATERIALS SHALL BE FREE FROM DEFECTS. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER ACCEPTABLE WITH MODERN PRACTICE. THE ARCHITECT LIMITS HIS RESPONSIBILITY IN REGARDS TO THESE DRAWINGS TO DIMENSIONS, SIZE OF STRUCTURAL MEMBERS AND MATERIALS BEFORE PROCEEDING. THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THE BUILDING IS CONSTRUCTED WITH DIMENSIONS, SIZES, OR MATERIALS, THAT DEVIATE FROM THESE DRAWINGS. THE ARCHITECT HAS NOT BEEN HIRED FOR CONSTRUCTION REVIEW, AND IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK FOR COMPLIANCE BETWEEN THESE DRAWINGS AND THE FINAL FIELD CONDITIONS.

GENERAL NOTES

ALL CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION, ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
 ALL CONTRACTORS SHALL HAVE AND MAINTAIN CONTRACTORS LIABILITY, PROPERTY DAMAGE INSURANCE, AND WORKMANS COMPENSATION INSURANCE.
 ALL PHASES OF CONSTRUCTION SHALL COMPLY TO LOCAL STATE AND FEDERAL SAFETY LAWS.

CODES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, FEDERAL CODES AND ORDINANCES.
 THE CONTRACTOR MUST PROVIDE ALL LEGAL AND NECESSARY GUARD RAILINGS, LIGHTS, WARNING SIGNS, ETC. DURING THE PROGRESS OF THE WORK. ALL MATERIAL IN CONSTRUCTION SHALL CONFORM WITH THE REQUIREMENTS OF ALL BUILDING AND SANITARY LAWS IN THE LOCALITY IN WHICH THE BUILDING IS CONSTRUCTED, AND SHALL MAKE ALL WORK ACCEPTABLE TO THE BUILDING DEPARTMENT.
 ALL LOCAL STATE AND FEDERAL CODES AND ORDINANCES SHALL BE CONSIDERED AS PART OF THESE CONSTRUCTION DOCUMENTS.

CONSTRUCTION CODES ADOPTED IN NEW JERSEY:

- BUILDING SUBCODE (NJAC 5:23-3.14)
 - IBC - INTERNATIONAL BUILDING CODE 2015 NJ EDITION
 - INTERNATIONAL FIRE CODE 2015
 - ICC/ANSI A117.1-2009 ADOPTED SEPT-21-2015
 - PLUMBING SUBCODE (NJAC 5:23-3.15)
 - NATIONAL STANDARD PLUMBING CODE, 2009 ADOPTED SEPT-07-2010 ELECTRICAL SUBCODE (NJAC 5:23-3.16)
 - NATIONAL ELECTRICAL CODE (NFPA 70)2014 ADOPTED SEPT-21-2015
 - ENERGY SUBCODE (NJAC 5:23-3.18)
 - INTERNATIONAL ENERGY CONSERVATION CODE, 2015 (RESIDENTIAL) ADOPTED SEPT-21-2015
 - MECHANICAL SUBCODE, (NJAC 5:23-3.20)
 - INTERNATIONAL MECHANICAL CODE, 2015 ADOPTED SEPT-21-2015
 - ONE AND TWO FAMILY DWELLING SUBCODE, (NJAC 5:23-3.21)
 - INTERNATIONAL RESIDENTIAL CODE /2015 NJ EDITION (IRC W/NJ EDITS 3.21)
 - INTERNATIONAL RESIDENTIAL CODE /2015, UNAMENDED EDITION. ADOPTED SEPT-21-2015
 - FUEL AND GAS SUBCODE (NJAC 5:23-3.22)
 - INTERNATIONAL FUEL GAS CODE, 2015 ADOPTED SEPT-21-2015
 - REHABILITATION SUBCODE (NJAC 5:23-6)
 - NJUCC SUBCHAPTER 6
 - UPDATED YEARLY
 - BARRIER FREE SUBCODE (CHAPTER 11 OF IBC /2015 & NJAC 5:23-7)
 - ICC/ANSI A117.1-2009 ADOPTED SEPT-21-2015
 - ELEVATOR SUBCODE (NJAC 5:23-12)
 - AMERICAN SOCIETY OF MECHANICAL ENGINEERS. (ASME) ADOPTED SEPT-21-2015
- CONTRACTOR(S) SHOULD BE FAMILIAR WITH THE LATEST APPROVED CODES FOR THE STATE OF NJ. CONTACT INFORMATION FOR MATERIAL AND CODE ASSISTANCE IS AVAILABLE AT:
 NJ DEPT OF COMMUNITY AFFAIRS DIVISION OF CODES AND STANDARDS 101 SOUTH BROAD STREET
 PO BOX 802 TRENTON NJ 08625-0802

GENERAL REQUIREMENTS

THESE SPECIFICATIONS ARE GENERAL IN FORM. THE OWNER/BUILDER, IN APPLYING THEM, ASSUMES COMPLETE RESPONSIBILITY FOR THEIR USE, SUBSTITUTIONS, CHANGES AND OMISSIONS.

THE CONTRACTOR SHALL INSPECT THE PREMISES AND VIEW THE EXISTING CONDITIONS, SIZES AND QUANTITIES. PLANS ARE FURNISHED TO INDICATE THE SCOPE OF THE INTENDED CONTRACT WORK. EXISTING CONDITIONS WHICH MIGHT PRECLUDE OR INTERFERE WITH THE PROPOSED WORK AS DRAWN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT & OWNER FOR RESOLVING. RELOCATION MUST BE CHECKED TO VERIFY THEIR FEASIBILITY IN ACCORDANCE WITH THE NEW REQUIREMENTS.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT. SHOULD UNFORESEEN CONDITIONS OR OTHER CAUSES NECESSITATE CONSTRUCTION DETAILS NOT IN ACCORDANCE WITH THESE PLANS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND SUBMIT HIS DETAILS SHOWING THE PROPOSED METHODS TO ACCOMPLISH THE REQ. RESULTS. WORK SHALL NOT PROCEED UNTIL APPROVAL BY THE ARCHITECT HAS BEEN OBTAINED.

WRITTEN DIMENSIONS ON THE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND MISALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.

THE CONTRACTOR SHALL HAVE THE BUILDING LOCATION STAKED OUT IN THE FIELD BY A LICENSED LAND SURVEYOR BEFORE BEGINNING CONSTRUCTION.

MATERIALS AND WORKMANSHIP

THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, FIXTURES, APPLIANCES AND LABOR NECESSARY TO COMPLETE ALL WORK NOTED ON PLANS AND AS OTHERWISE REQUIRED. ALL MATERIALS SHALL BE FREE FROM ANY DEFECTS. ALL WORK SHALL BE PERFORMED IN A COMPETENT WORKMANLIKE MANOR ACCEPTABLE WITH MODERN PRACTICE.

SUBSTITUTIONS FOR MATERIALS SPECIFIED BY NAME MAY BE MADE IF APPROVED BY THE ARCHITECT AND OWNER. THE OWNER SHALL DECIDE IF THE EQUIVALENT SUBSTITUTION IS ACCEPTABLE.

DEMOLITION

DEMOLISH AND REMOVE PORTIONS OF EXISTING LANDSCAPE, STEPS, FENCING, BUILDINGS, WALLS, UTILITIES AND ANY SURROUNDING OBSTRUCTIONS INCLUDING ALL EQUIPMENT, FIXTURES, ETC. AS SHOWN ON THE PLANS AND/ OR AS REQUIRED BY THE NEW CONSTRUCTION.

MAKE ALL WORK SAFE AS PER THE RULES AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION OVER UTILITIES AND INSURE CONTINUED OPERATION AND PROTECTION OF EXISTING PIPES, LINES, TRAFFIC, ETC.

TAKE FULL PRECAUTION TO PROTECT WORKMEN. PASSERSBY OR OTHER PERSONS FROM FALLING DEBRIS AND OTHER HAZARDS OF OPERATION.

DATE : 09.13.21
PROJECT No. 2115
USE GROUP : R5
CONST. TYPE : 5B

FIRST FLOOR:
 EXIST 1266 SF
 PROPOSED 1936 SF

SECOND FLOOR:
 EXIST 780 SF
 PROPOSED 1111 SF

TOTALS:
 EXIST 2046 SF
 PROPOSED 3047 SF

EXIST GARAGE 496 SF

- A1 COVER SHEET
- A2 BASEMENT FOUNDATION PLAN
- A3 FIRST FLOOR PLAN
- A4 SECOND FLOOR PLAN
- A5 ATTIC ROOF PLAN 08.18.20
- A6 ELEVATIONS 08.16.20
- A7 ELEVATIONS 08.11.20
- A8 ELEVATIONS 07.03.20
- 06.30.20
- 06.22.20
- 03.18.21 06.03.20
- 02.19.21 05.15.20
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- 01.27.21 02.24.20
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- 01.15.21 01.03.20
- 12.09.20 12.12.19
- 11.13.19

REVISIONS

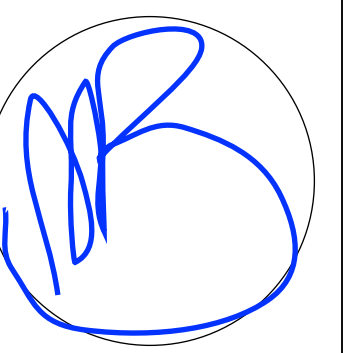
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02/20/21	ELECTRIC / WINDOWS REVIEW
06/09/21	BUDGET SET
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ADDITION ALTERATION
LEACH FAMILY

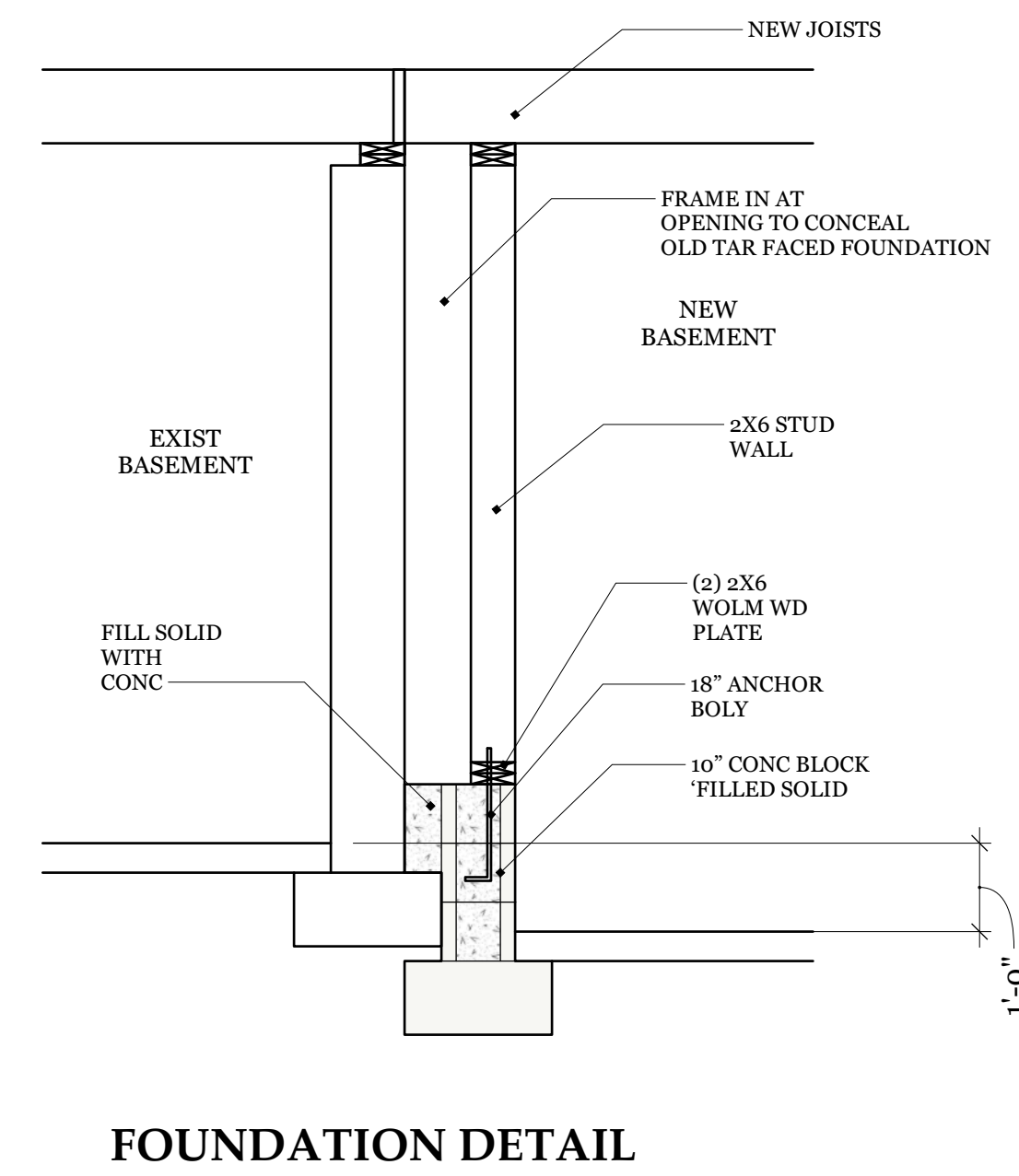
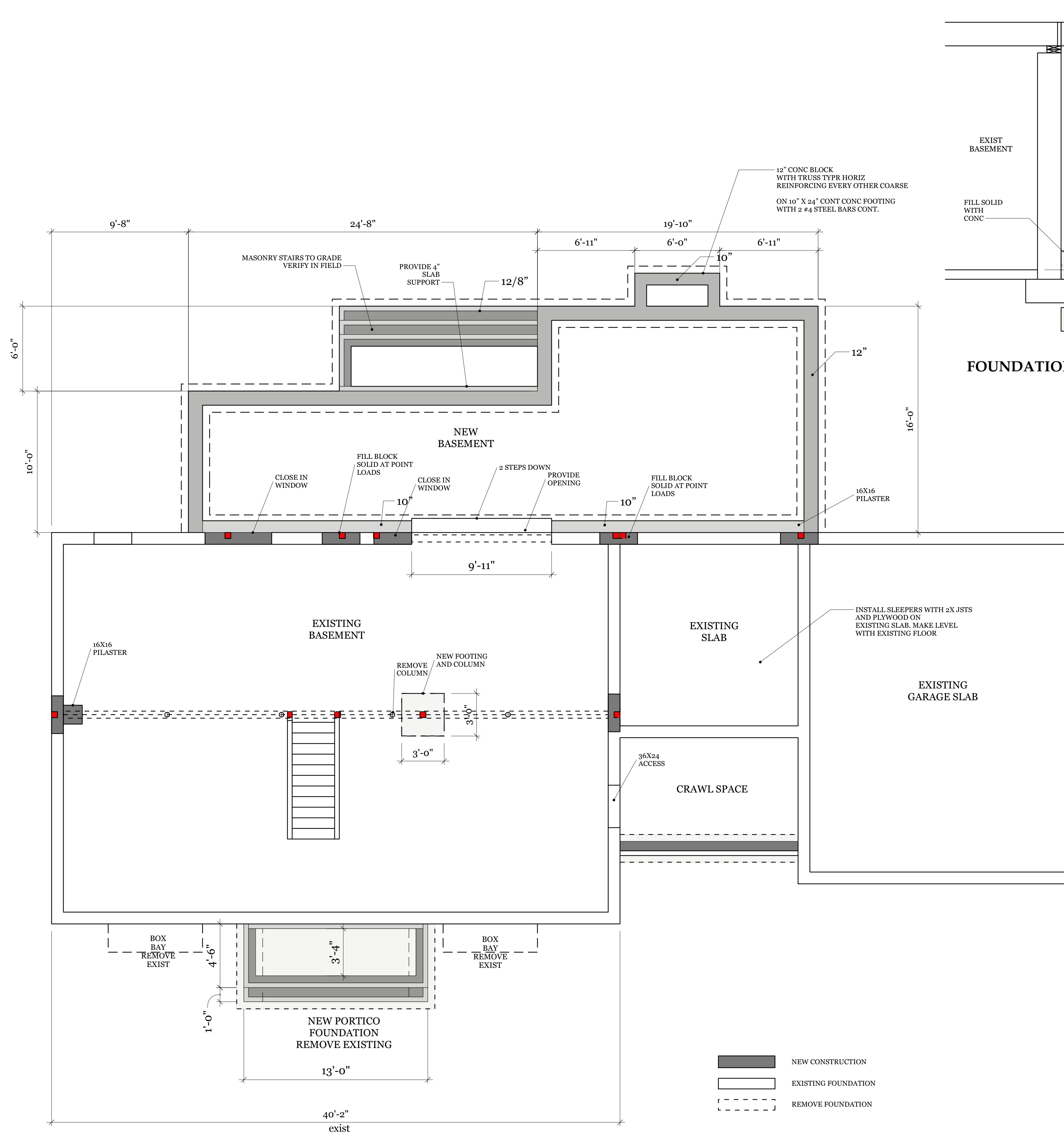
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 201-214-5114
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JOB NO:	NJ LIC# 12540
DRAWN BY: MMB	NY LIC# 046604
	CT LIC# 0013424
	NCARB 82762



A 01



BASEMENT FOUNDATION PLAN
SCALE 1/4" = 1'-0"

08.18.20	08.16.20
08.11.20	07.03.20
06.30.20	06.22.20
03.18.21	06.03.20
02.19.21	05.15.20
02.15.21	04.22.20
01.27.21	02.24.20
01.22.21	01.30.20
01.15.21	01.03.20
12.09.20	12.12.19
09.17.21	12.04.20 11.13.19

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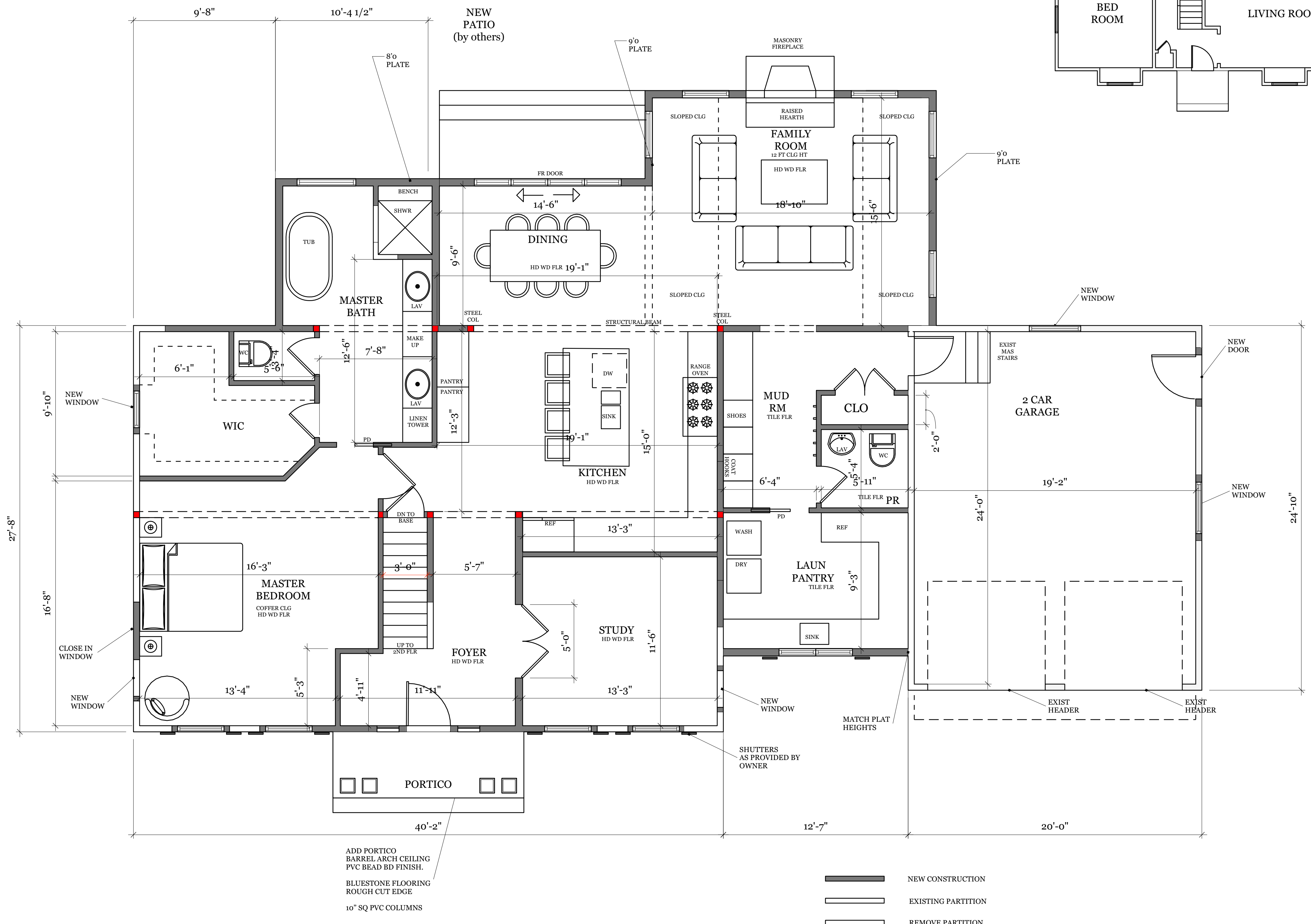
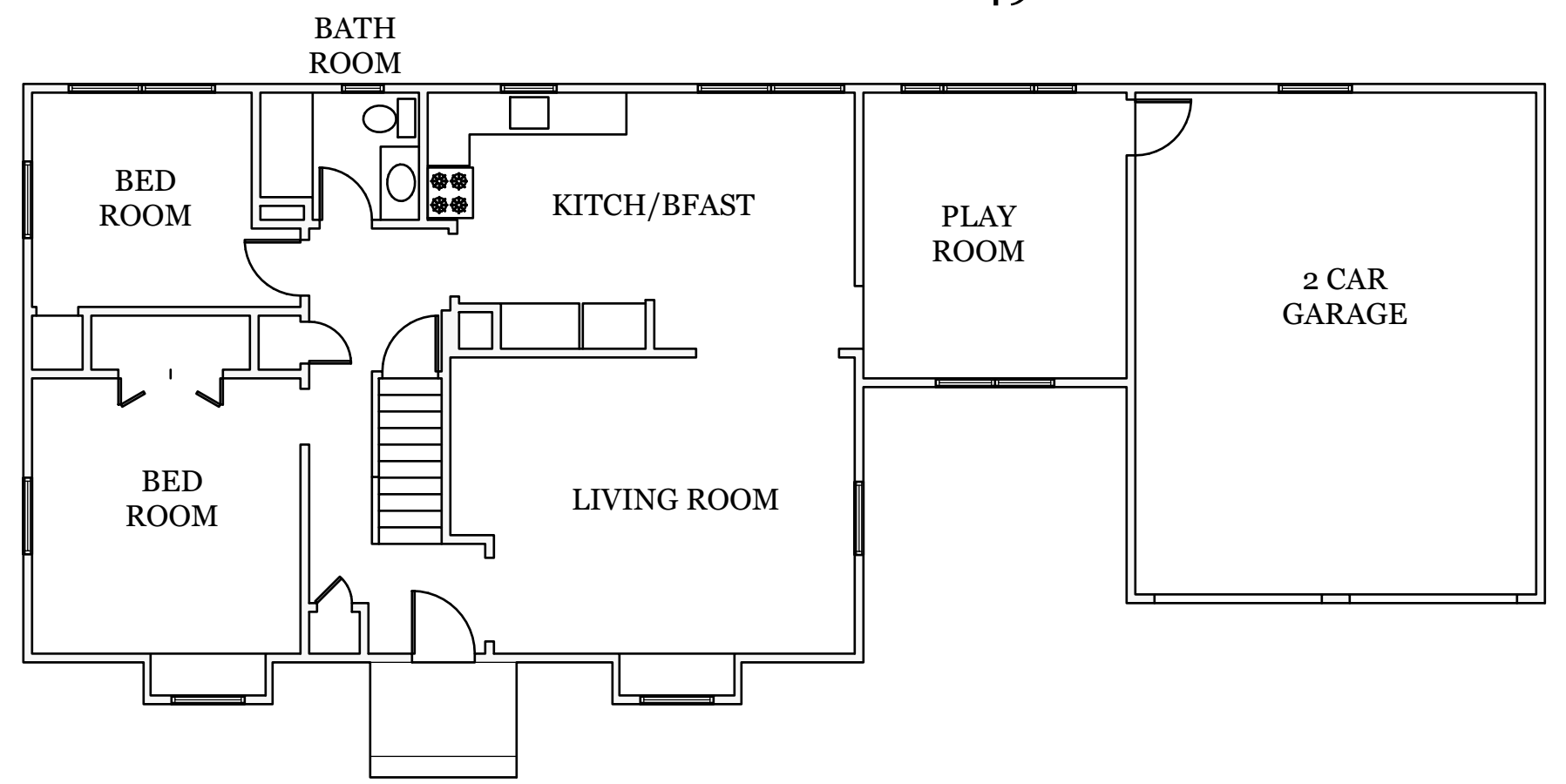
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FIRST FLOOR PLAN (EXIST) EXIST 1266 SF
SCALE 1/8" = 1'-0" GARAGE 496 SF



FIRST FLOOR PLAN PROPOSED 1936 SF
SCALE 1/4" = 1'-0"

ADD PORTICO
BARREL ARCH CEILING
PVC BEAD BD FINISH.
BLUESTONE FLOORING
ROUGH CUT EDGE
10" SQ PVC COLUMNS

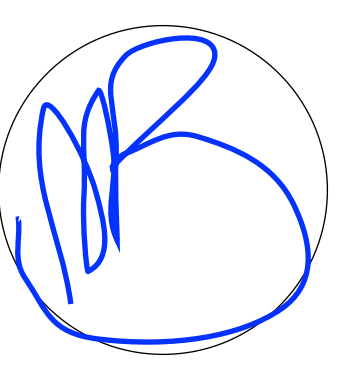
- NEW CONSTRUCTION
- EXISTING PARTITION
- REMOVE PARTITION

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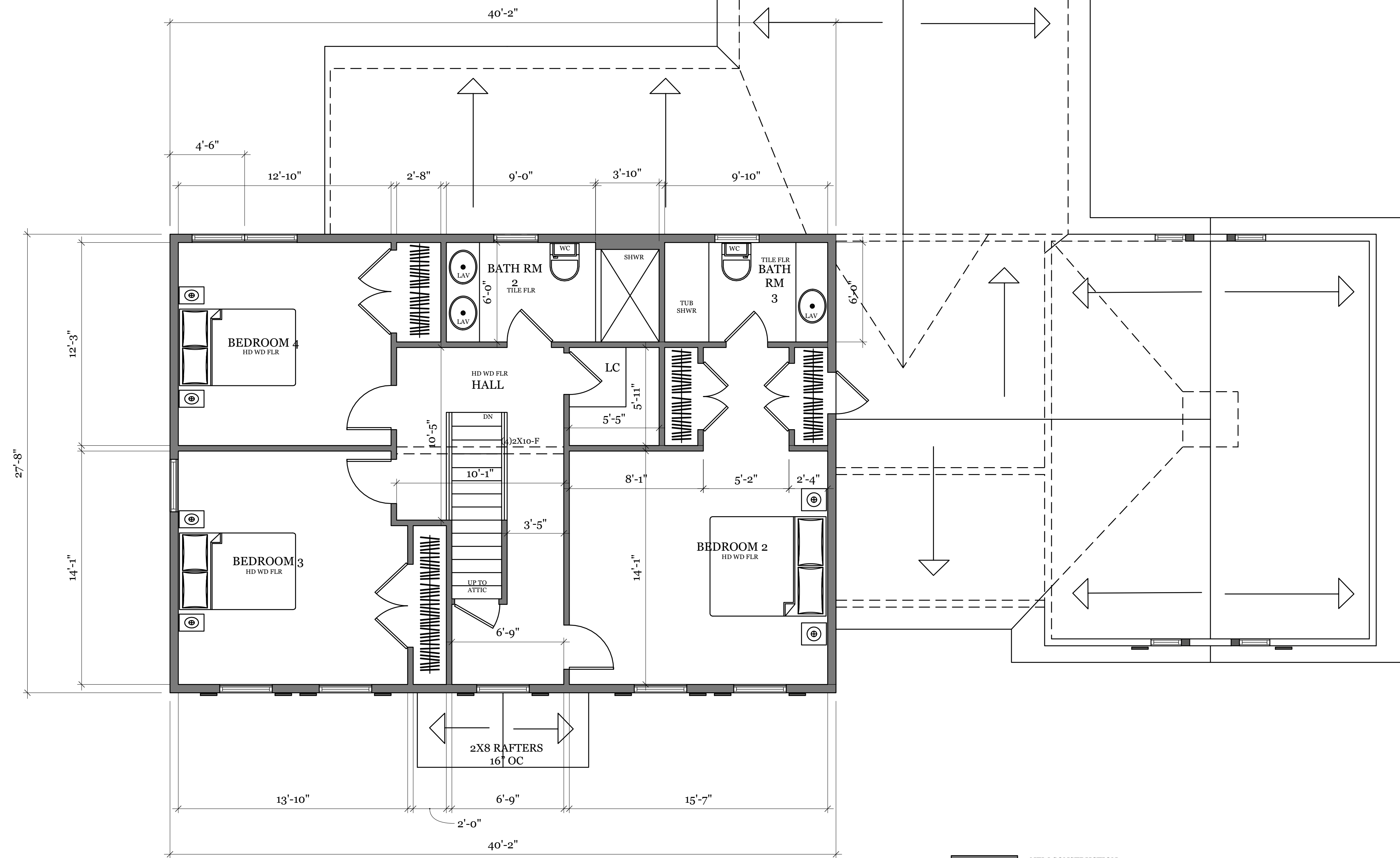
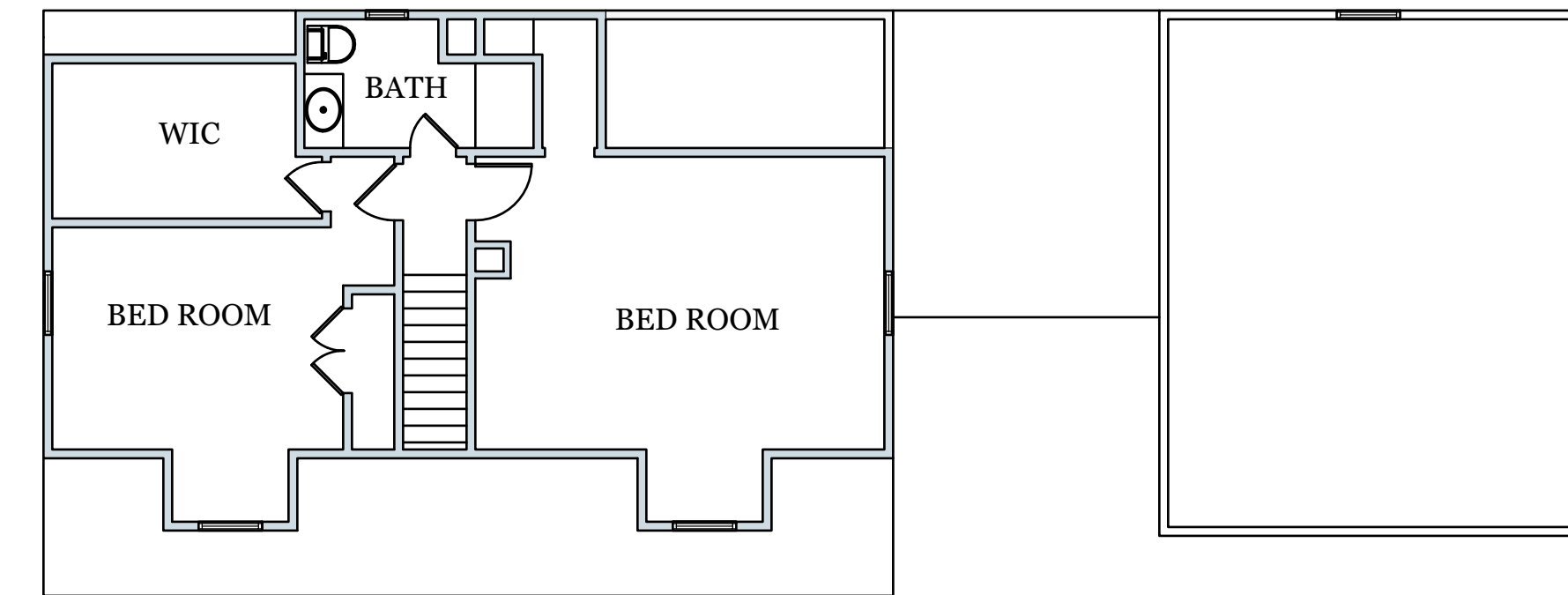
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- 11.13.19

SECOND FLOOR PLAN (EXIST) EXIST 780 SQ FT
SCALE 1/8" = 1'-0"



SECOND FLOOR PLAN 1111 SQ FT
SCALE 1/4" = 1'-0"

- NEW CONSTRUCTION
- EXISTING PARTITION
- REMOVE PARTITION

- 08.18.20
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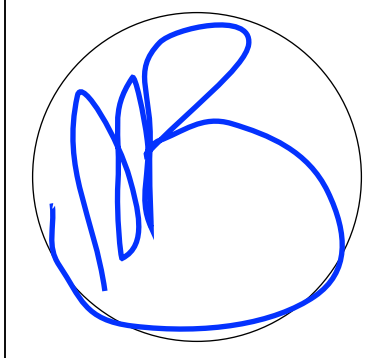
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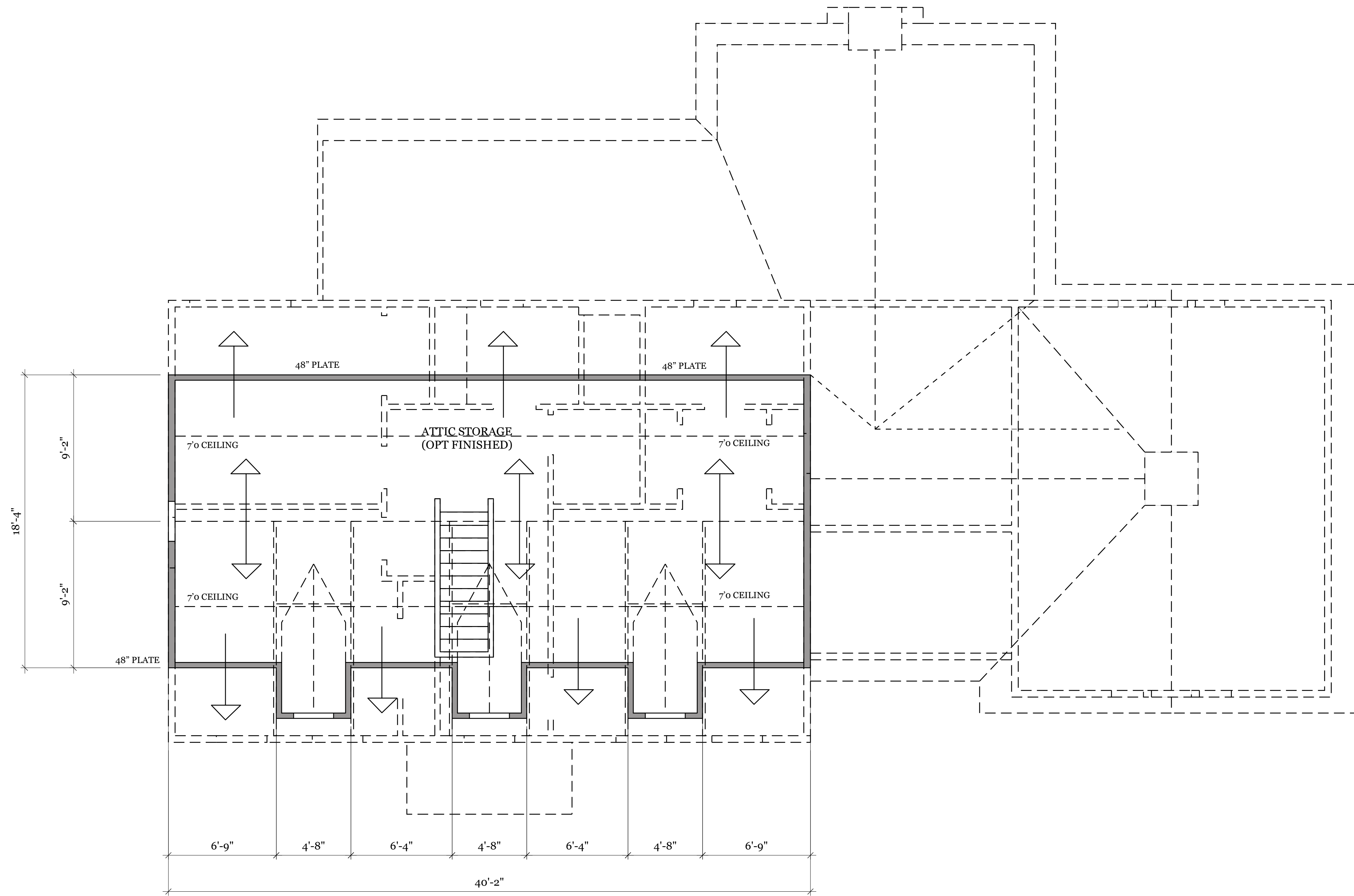
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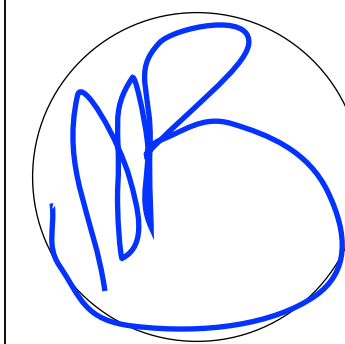


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ATTIC ROOF PLAN
SCALE 1/4" = 1'-0"

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01.15.21 01.03.20
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A 05

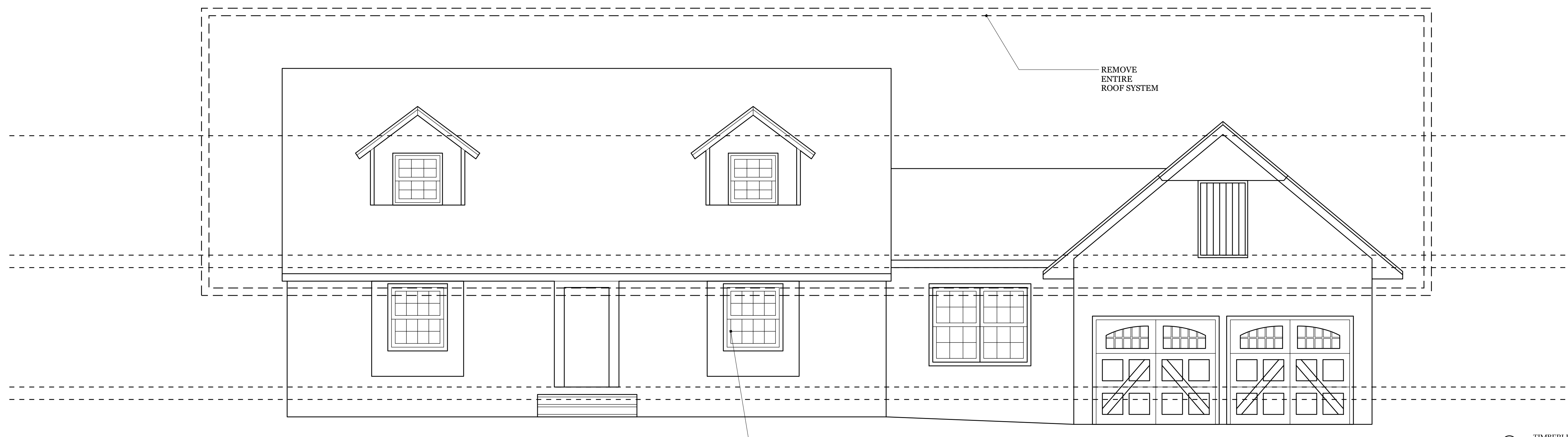
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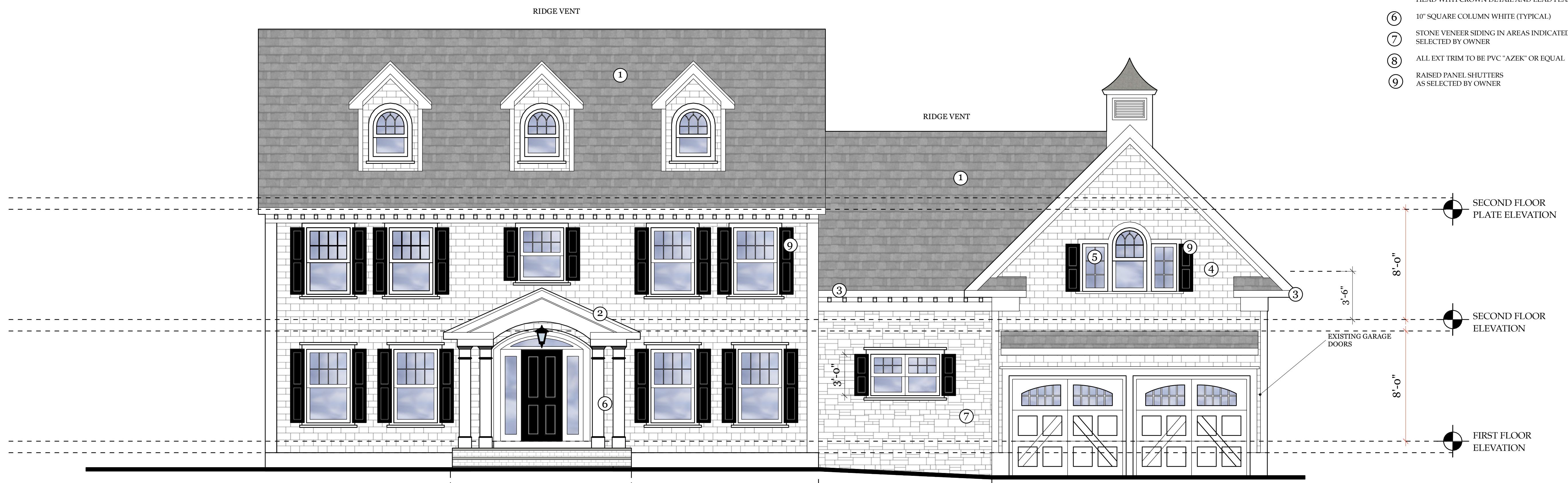
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FRONT ELEVATION EXISTING
SCALE 1/4" = 1'-0"

- ① TIMBERLINE 30 YEAR ARCHITECTURAL SHINGLE AS SELECTED BY OWNER
- ② STANDING SEAM METAL ROOFING COLOR AND STYLE AS SELECTED BY OWNER
- ③ ALUMINUM GUTTERS AND LEADERS COLOR TO BE WHITE
- ④ 6" EXPOSED "HARDI" SIDING / SHAKE COLOR AND STYLE AS SELECTED BY OWNER
- ⑤ ANDERSEN TILT/WASH WINDOWS WITH SDL UPPER SASH AS INDICATED. TRIM WITH MIN 4" JAMB AND 6" HEAD WITH CROWN DETAIL AND LEAD FLASHING.
- ⑥ 10" SQUARE COLUMN WHITE (TYPICAL)
- ⑦ STONE VENEER SIDING IN AREAS INDICATED AS SELECTED BY OWNER
- ⑧ ALL EXT TRIM TO BE PVC "AZEK" OR EQUAL
- ⑨ RAISED PANEL SHUTTERS AS SELECTED BY OWNER



FRONT ELEVATION PROPOSED
SCALE 1/4" = 1'-0"

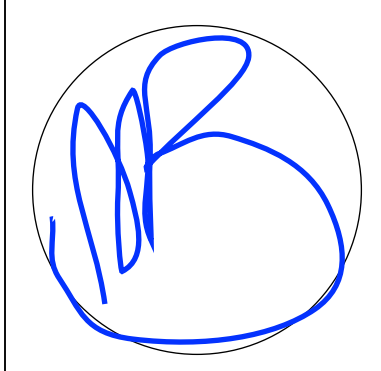
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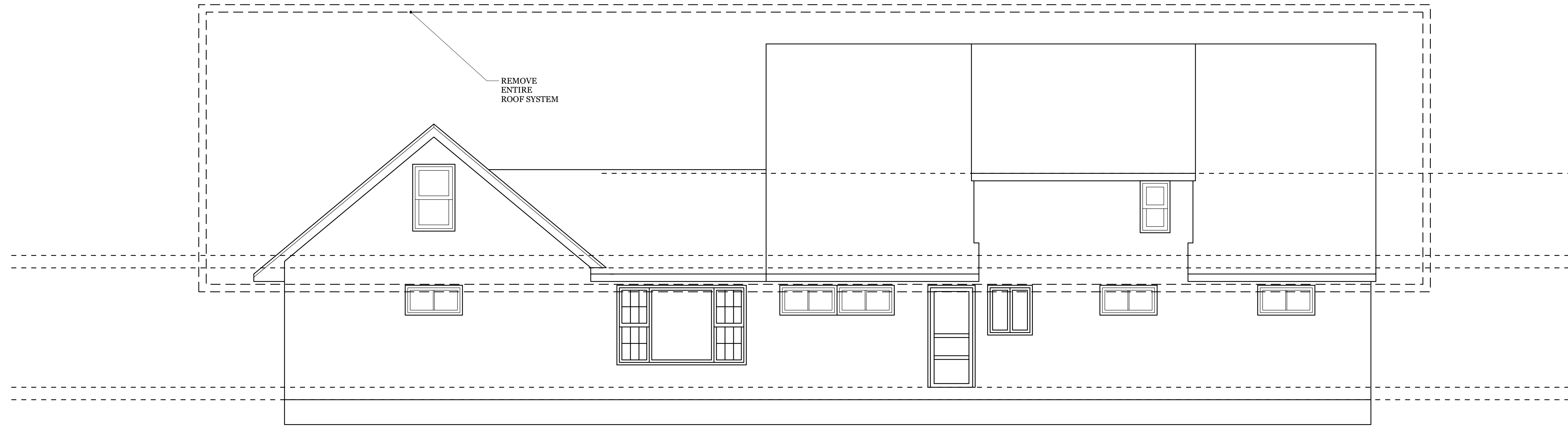
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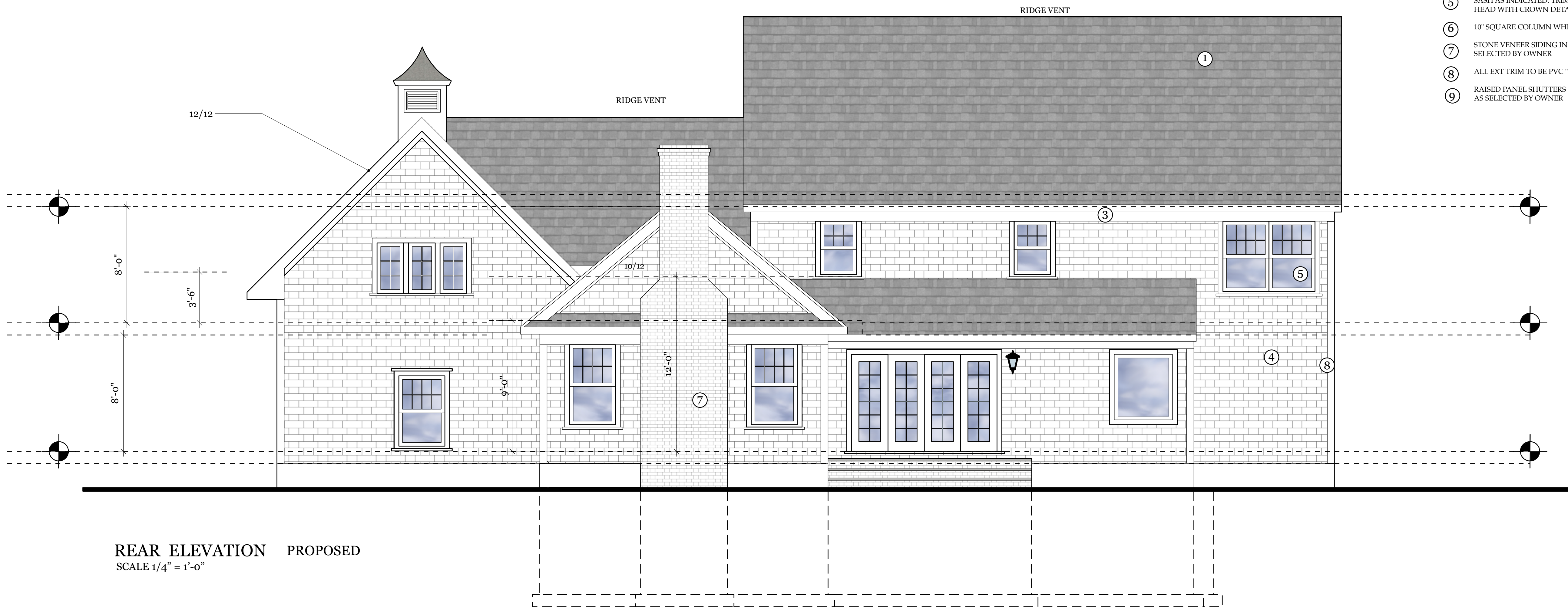


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08.18.20	06.03.20
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REAR ELEVATION EXISTING
SCALE 1/4" = 1'-0"



REAR ELEVATION PROPOSED
SCALE 1/4" = 1'-0"

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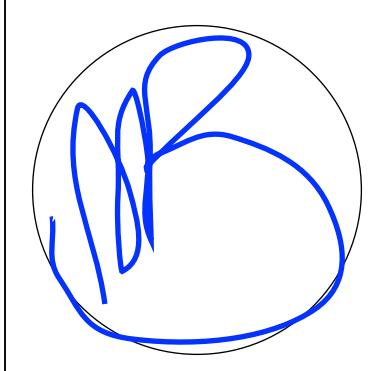
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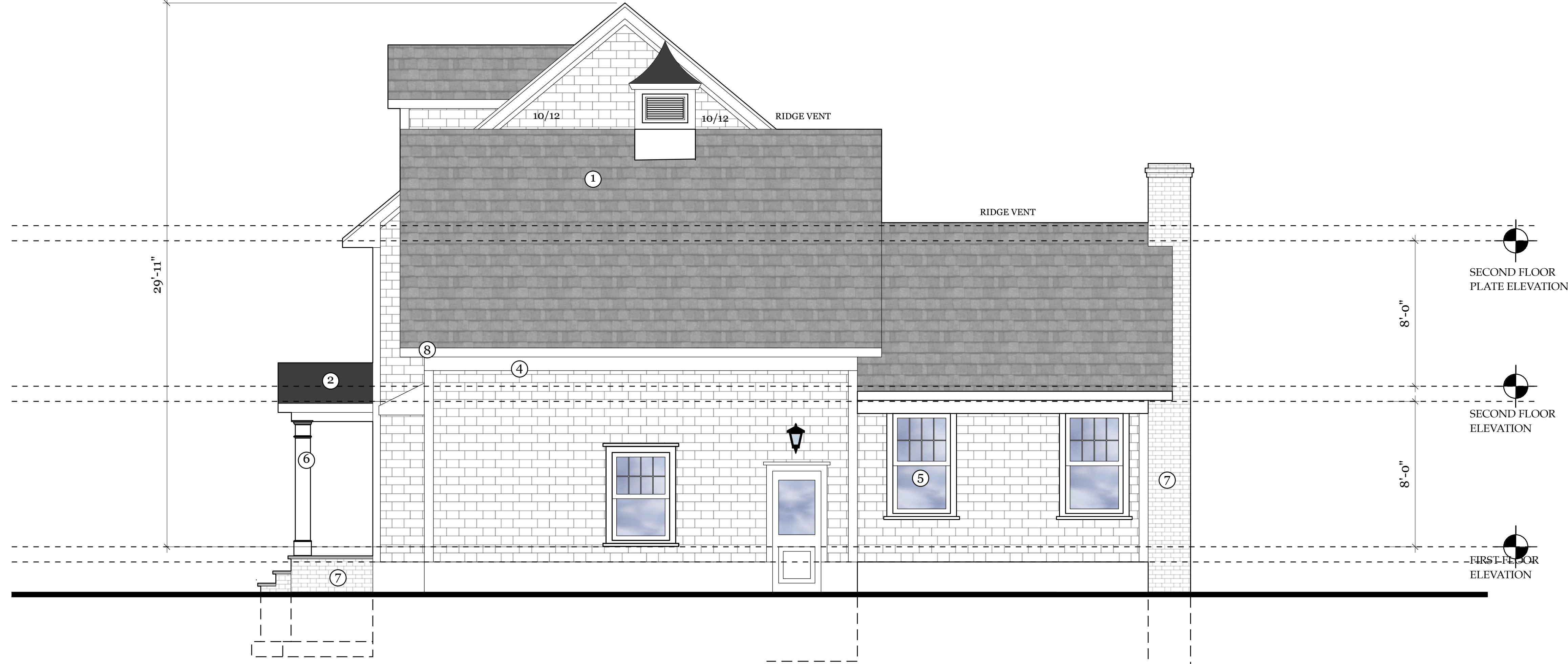
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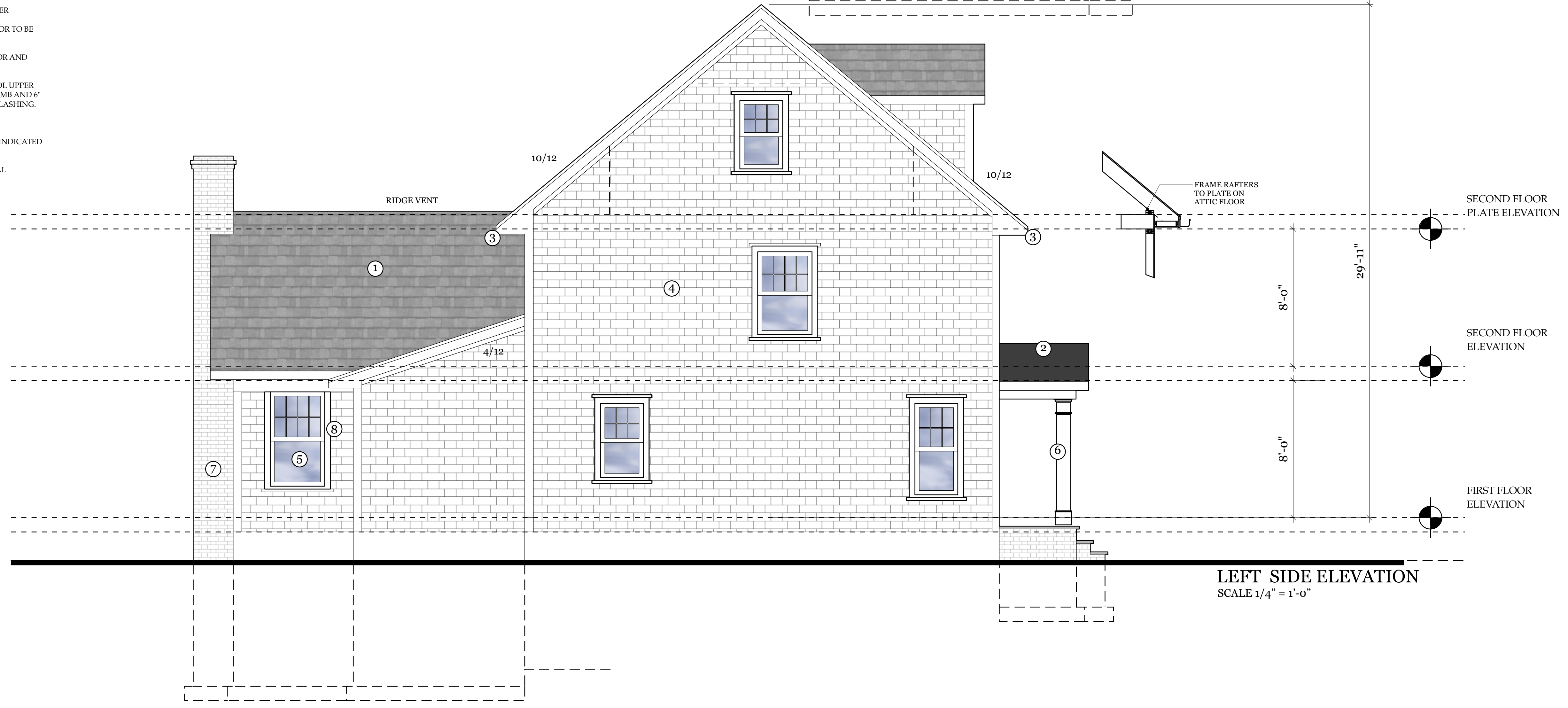
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RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"

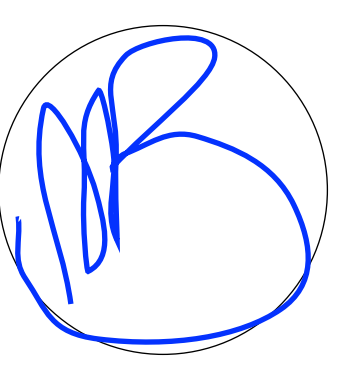
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ADDITION ALTERATION
LEACH FAMILY
304 VOORHIS AVE
WYCKOFF NJ 07481

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JOB NO:	NJ LIC# 12540
DRAWN BY:	MMB NY LIC# 046604
	CT LIC# 0013424
	NCARB 82762



- 08.18.20
- 08.16.20
- 08.11.20
- 07.03.20
- 06.30.20
- 06.22.20
- 03.18.21
- 06.03.20
- 02.19.21
- 05.15.20
- 02.15.21
- 04.22.20
- 01.27.21
- 02.24.20
- 01.22.21
- 01.30.20
- 01.15.21
- 01.03.20
- 12.09.20
- 12.12.19
- 09.17.21
- 12.04.20
- 11.13.19