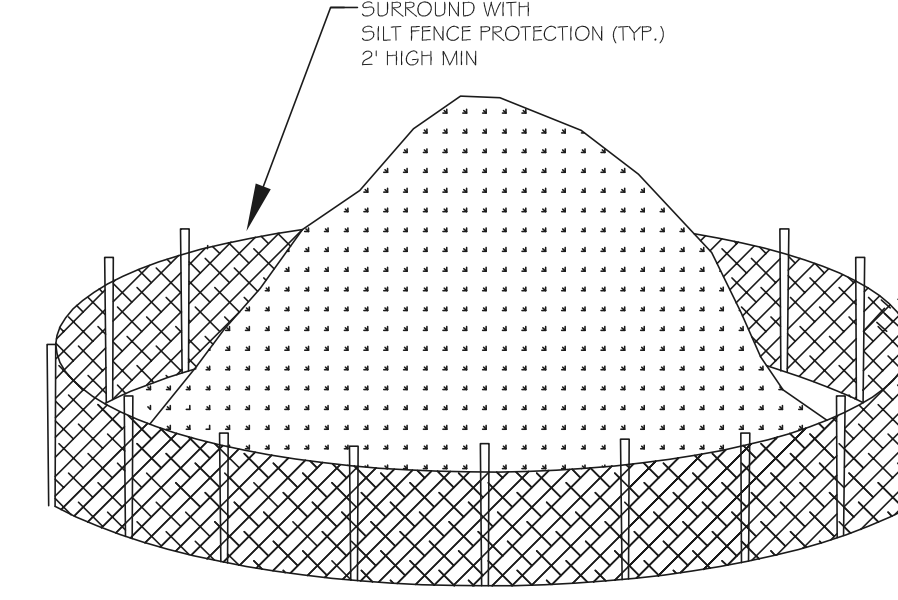
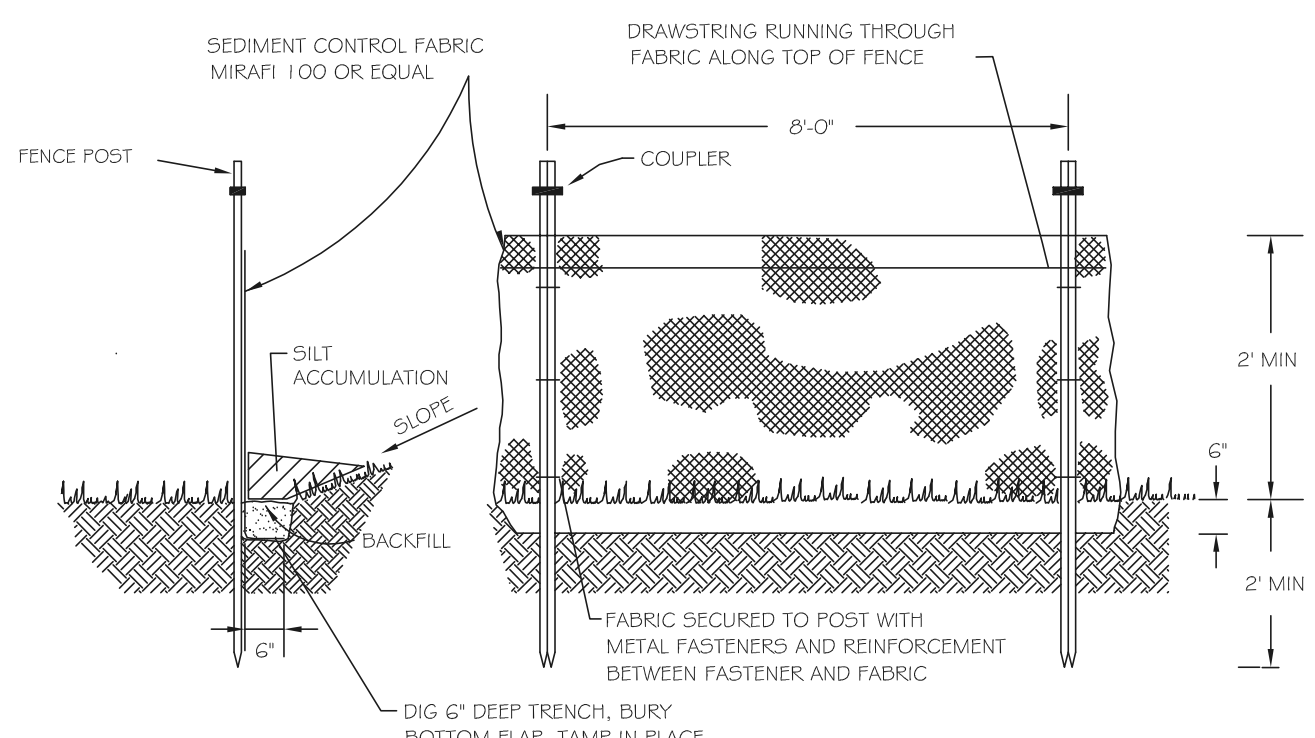


SOIL EROSION AND SEDIMENT CONTROL NOTES

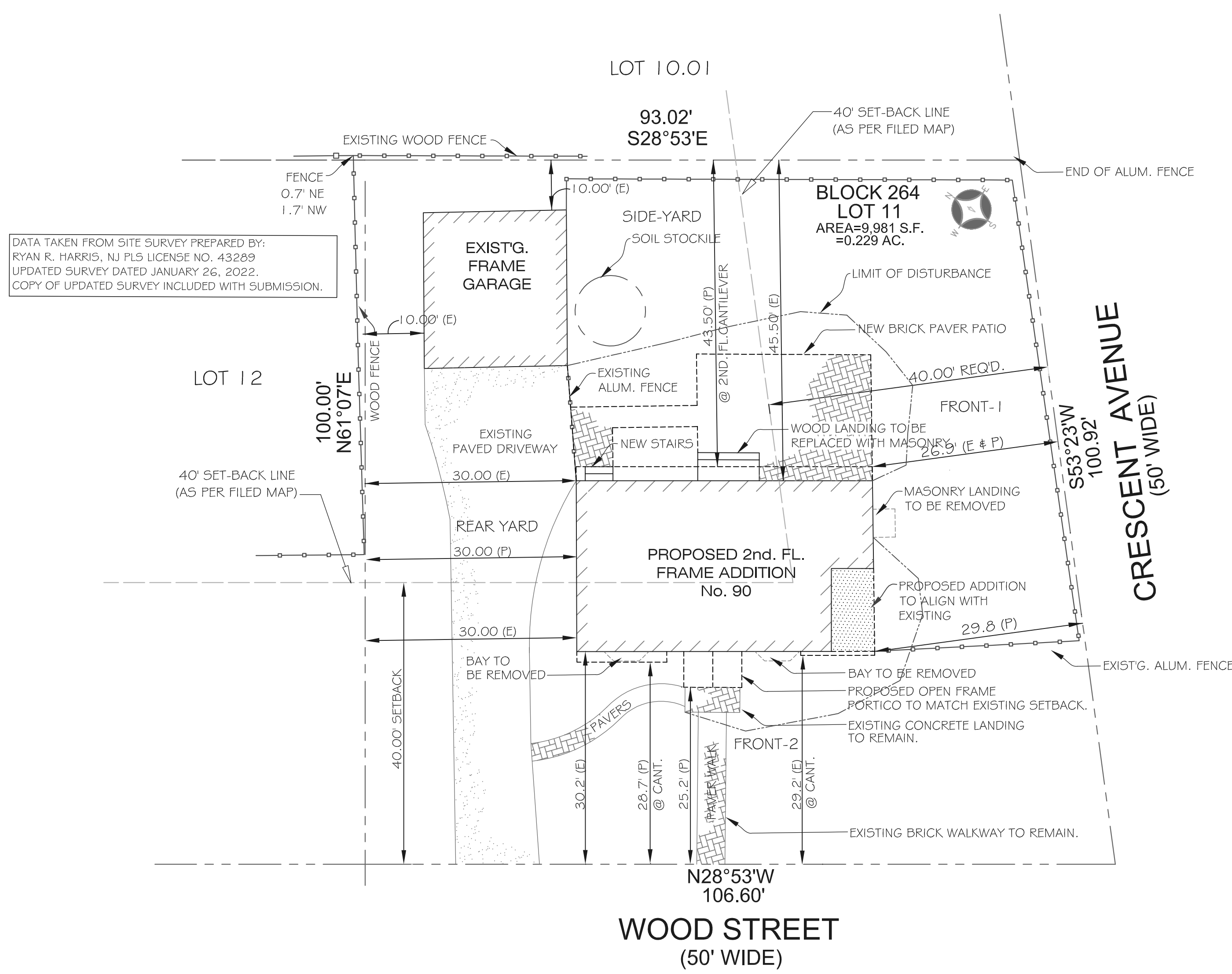
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (NJ STANDARDS), AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BOUND IN ACCORDANCE WITH THE NJ STANDARDS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NJ STANDARDS.
- STABILIZATION SPECIFICATIONS:
 - TEMPORARY SEEDING AND MULCHING:
 - LIME- 90 LBS./1,000 SF GROUND LIMESTONE; FERTILIZER- 11 LBS./1,000 SF, 10-20-10 OR EQUIVALENT WORKED INTO THE SOIL A MINIMUM OF 4".
 - SEED- PERENNIAL RYEGRASS 40 LBS./ACRE (1 LB./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
 - MULCH- SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS./1,000 SF TO BE APPLIED ACCORDING TO THE NJ STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
 - PERMANENT SEEDING AND MULCHING:
 - TOPSOIL- UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).
 - LIME- 90 LBS./1,000 SF GROUND LIMESTONE; FERTILIZER- 11 LBS./1,000 SF, 10-20-10 OR EQUIVALENT WORKED INTO THE SOIL A MINIMUM OF 4".
 - SEED- TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 150 LBS./ACRE (3-5 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND NOVEMBER 15.
 - MULCH- SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS./1,000 SF TO BE APPLIED ACCORDING TO THE NJ STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUN-OFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
- STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOOD PLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAY BALE SEDIMENT BARRIER OR SILT FENCE.
- A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1'-2" 1/2" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30X100' AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.
- MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
- DRIVEWAYS MUST BE STABILIZED WITH 1'-2" 1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
 - ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
 - CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER. DESIGNED IN ACCORDANCE WITH SECTION 30-1 OF THE NJ STANDARDS.
 - STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
 - DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE WITH SECTION 14-1 OF THE NJ STANDARDS.
 - DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH SECTION 16-1 OF THE NJ STANDARDS.
 - TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH SECTION 9-1 OF THE NJ STANDARDS.
 - THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORM WATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
 - ANY REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
 - A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT CONSTRUCTION.
 - THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE: BERGEN COUNTY SCD, 700 KINDERSKAMACK ROAD, SUITE 106, ORADELL, NJ 07649 TEL: 201-261-4407; FAX 201-261-7573.
 - THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF-SITE EROSION PROBLEMS DURING CONSTRUCTION.
 - THE OWNER MUST OBTAIN A DISTRICT ISSUED REPORT OF COMPLIANCE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. THE DISTRICT REQUIRES AT LEAST ONE WEEKS NOTICE TO FACILITATE THE SCHEDULING OF ALL REPORT OF COMPLIANCE INSPECTIONS. ALL SITE WORK MUST BE COMPLETED, INCLUDING TEMPORARY/PERMANENT STABILIZATION OF ALL EXPOSED AREAS, PRIOR TO THE ISSUANCE OF A REPORT OF COMPLIANCE BY THE DISTRICT.



2 SOIL STOCKPILE AREA
S 1 NOT TO SCALE



3 SILT FENCE DETAIL
S 1 NOT TO SCALE



1 PROPOSED SITE PLAN
S 1
SCALE: 1" = 1'-0"

ZONING DISTRICT AREA, BULK AND YARD REQUIREMENTS		(R-15 Single Family Residential Zone - SECTION 28.2.1)			LOT NO. 11 --- BLOCK NO. 264
DESCRIPTION:	EXISTING:	PROPOSED:	MIN. REQD.	VARIANCE	ADDITIONAL NOTES:
Lot Area (Square Feet)	9,981 SF	9,981 SF	15,000 S.F	YES	Lot Dimensions Are Maintained as Existing.
Lot Width and Frontage (feet)	207.52'	207.52'	100.00'	NO	Property is on Corner Lot, Therefore Frontage is Total of Both Frontages (106.60' + 100.92')
Lot Depth (feet)	93.02'	93.02'	125.00'	YES	Lot Dimensions Are Maintained as Existing. Existing Lot is Non-Conforming.
Min. Front Yard Setback (#1)	26.90'	26.90'	40.00'	YES	Existing Setback is Non-Conforming. Proposed is Taken From Rear Second Floor Cantilever Along Crescent Ave..
Min. Front Yard Setback (#2)	30.20'	25.20'	40.00'	YES	Existing Setback is Non-Conforming. Proposed Front-2 Setback is Measured Off Face of New Portico Frame.
Min. Rear Yard Setback	30.00'	30.00'	30.00'	NO	Proposed Setback is Measured From New Second Floor Cantilever. Existing First Floor to Remain.
Min. Side-Yard Setback	45.50'	43.50'	15.00'	NO	Proposed Second Floor Cantilever Out Beyond Existing First Floor Setback.
Maximum Building Height (feet)	24.20'	30.10'	35.00'	NO	Proposed Ridge Height Measured From Greatest Peak Elevation. Sections Drop Below Max. Ridge Noted.
Maximum Impervious Surface (%)	21.70%	32.25%	45.00%	NO	For Lots Under 10,000 SF, Max. Allowable Impervious Coverage Shall be 45.00% of the Lot Area (9,981 SF)
Max. Lot Coverage Principal Bldg.	9.54%	10.25%	15.00%	NO	Refer to Section-J For Details.
Max. Lot Coverage Accessory Bldg.	4.51%	4.51%	5.00%	NO	Refer to Section-J For Details.

- Additional Notes:
- Proposed Floor Area Includes The Sum of All Horizontal Areas of all Floors of The Building on a Lot Measured From Exterior Facade.
 - Principal Building Coverage is That Portion of a Lot Which is Occupied by Buildings and Accessory Structures But Not Including Walkways, Driveways, Patios and Open Parking Spaces.
 - There are no Trees Proposed for Removal Under This Application.
 - The Area of Disturbance is Limited to the Disturbance That is Required to Construct The Proposed Work Elements.; First Floor Addition, Brck Patio, Portico, Etc.
 - The Existing Lot Grading and Existing Drainage Patterns Will Not be Altered as Part of This Application.
 - Refer to Table on This Drawing For Total Building Area and Construction Classification Data in Addition to Section-J.
 - Proposed Additions do not Contribute to Additional Roof Areas Greater than 1/3of the Existing Total Roof Area. Storm Water Management is Not Proposed.
 - New Truck Access to be Created, Along With Tracking Pad and Silt Fence to Delineate Access to Rear Yard. Contractor Responsible for Site Restoration Upon Completion.
 - Total Impervious Lot Coverage is Calculated as Listed in Section-J.
 - Crescent Ave. if the Narrowest of Two-Frontages (Corner Lot), Therefore Noted as Frontage-1 of 2. Wood Street is Listed as Frontage-2.



A EXISTING FRONT ELEVATION
S 1 NOT TO SCALE



B EXISTING REAR ELEVATION
S 1 NOT TO SCALE



C EXISTING 2ND. FRONT ELEVATION
S 1 NOT TO SCALE

EVANS ARCHITECTS AIA

MATTHEW G. EVANS
ARCHITECT - PROFESSIONAL PLANNER

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973 942-9020
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PROPOSED SECOND FLOOR ADDITION

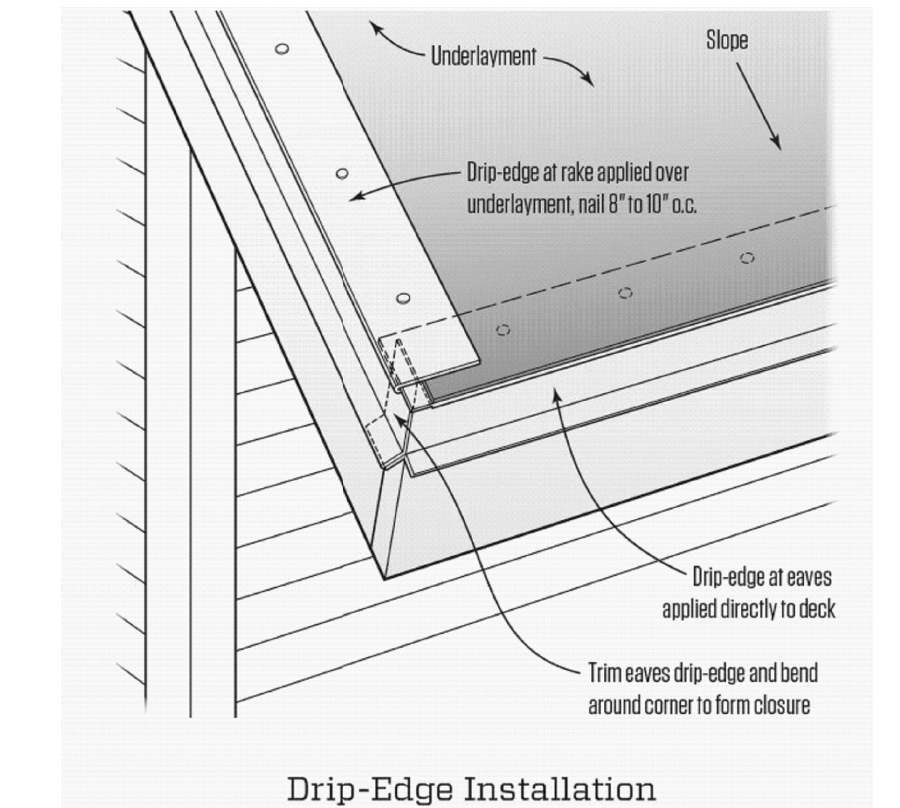
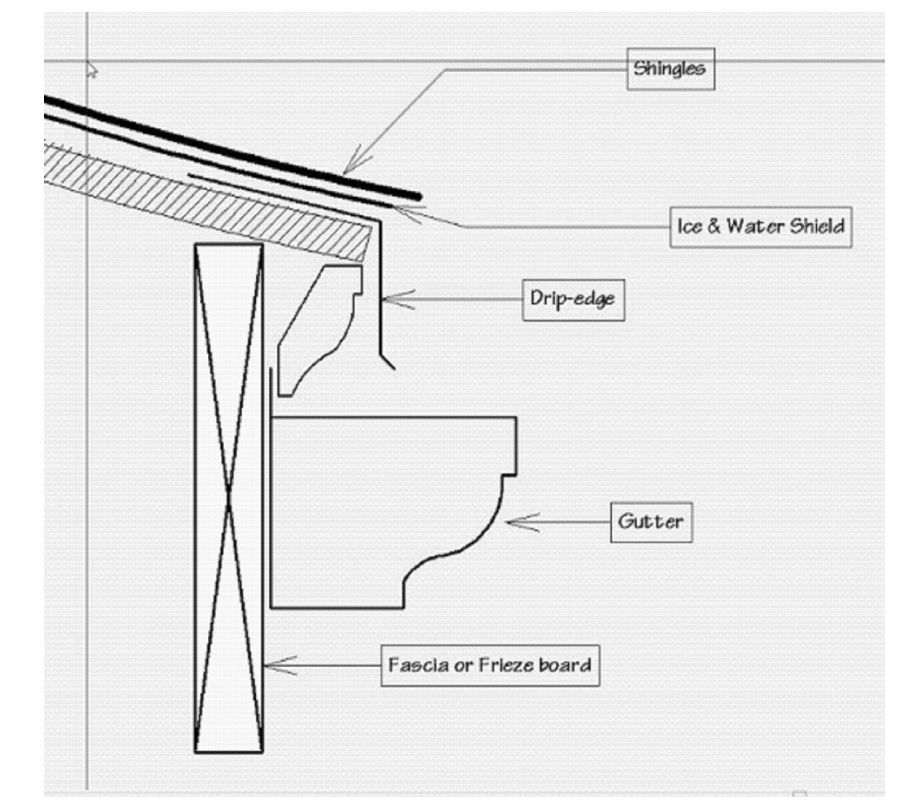
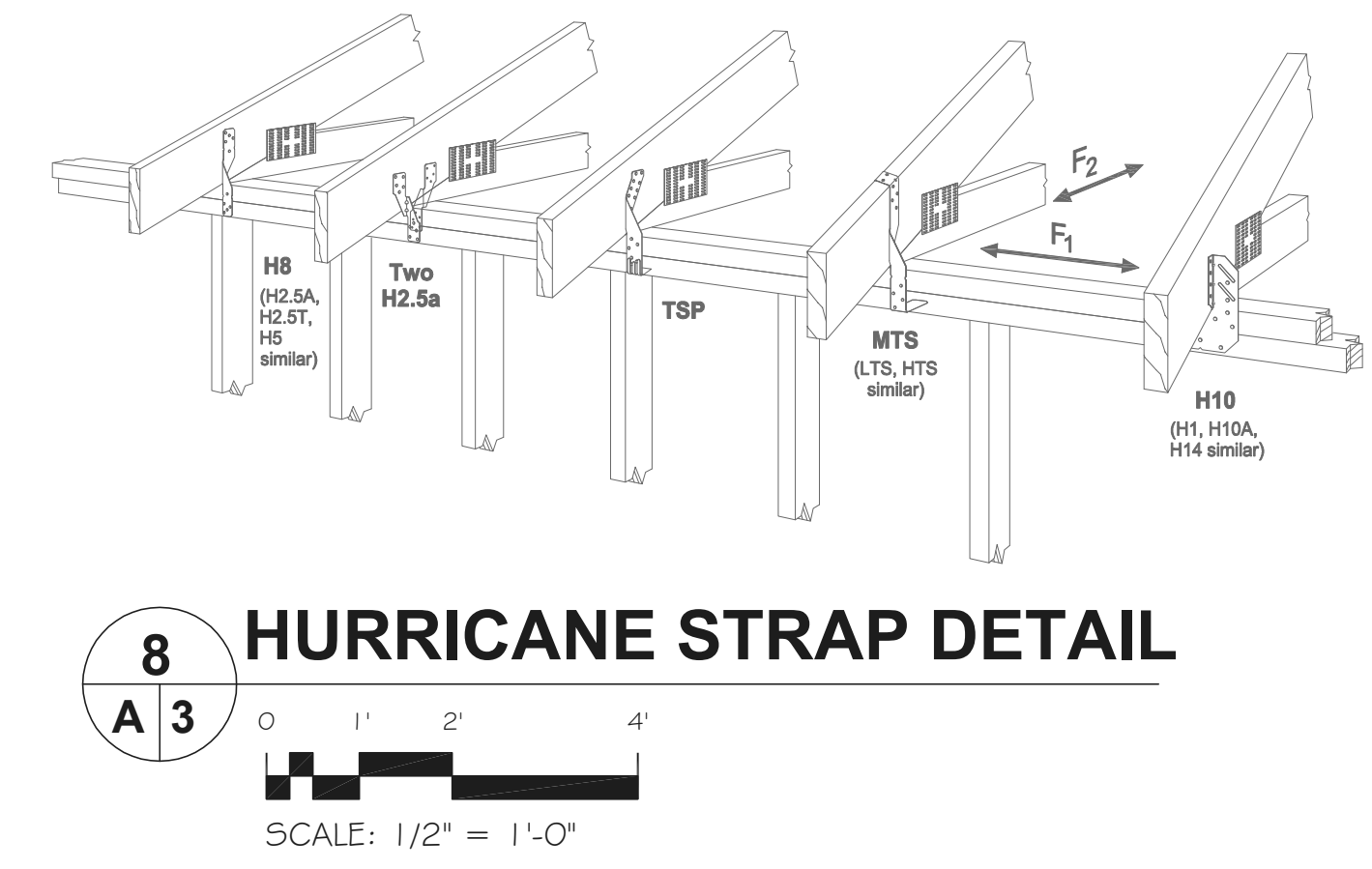
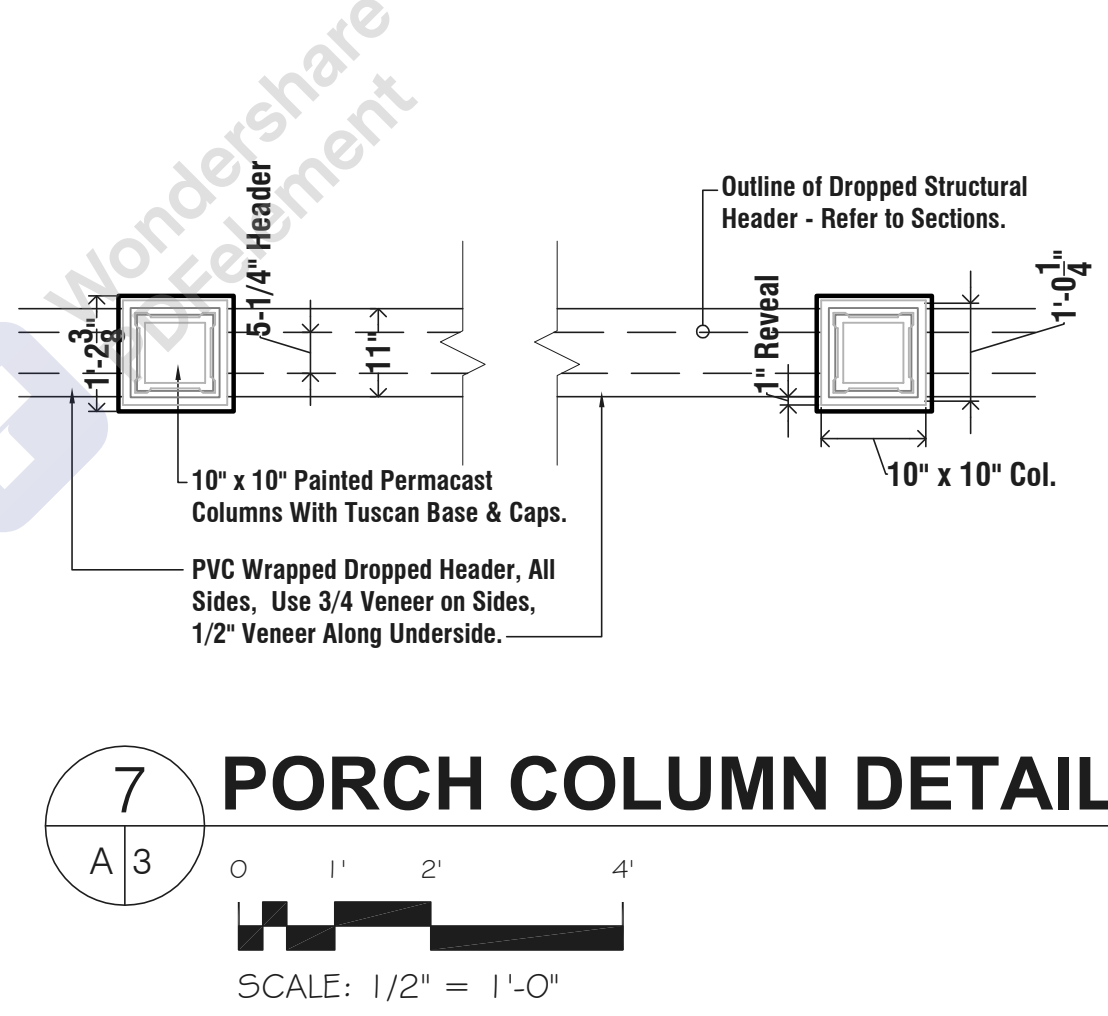
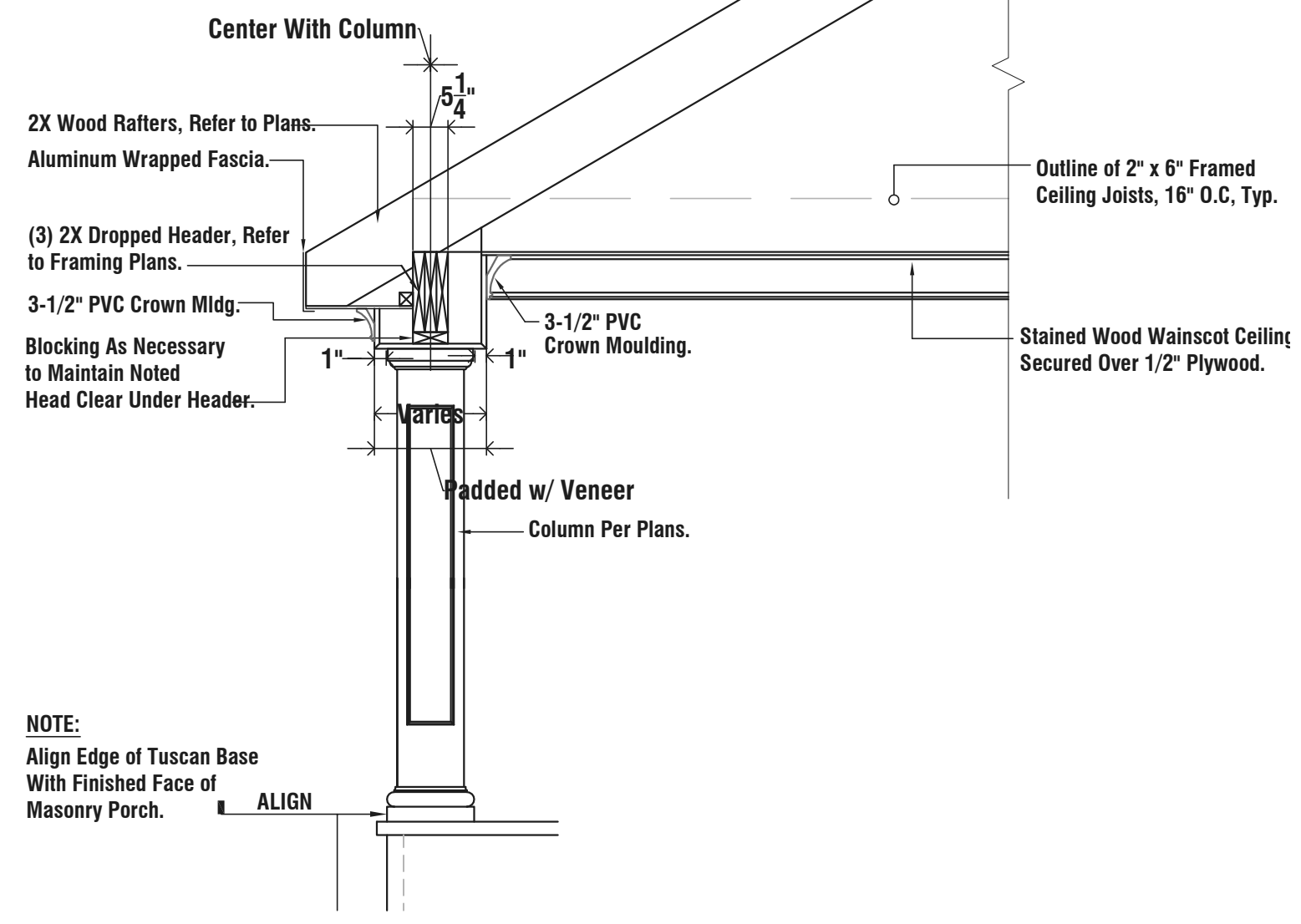
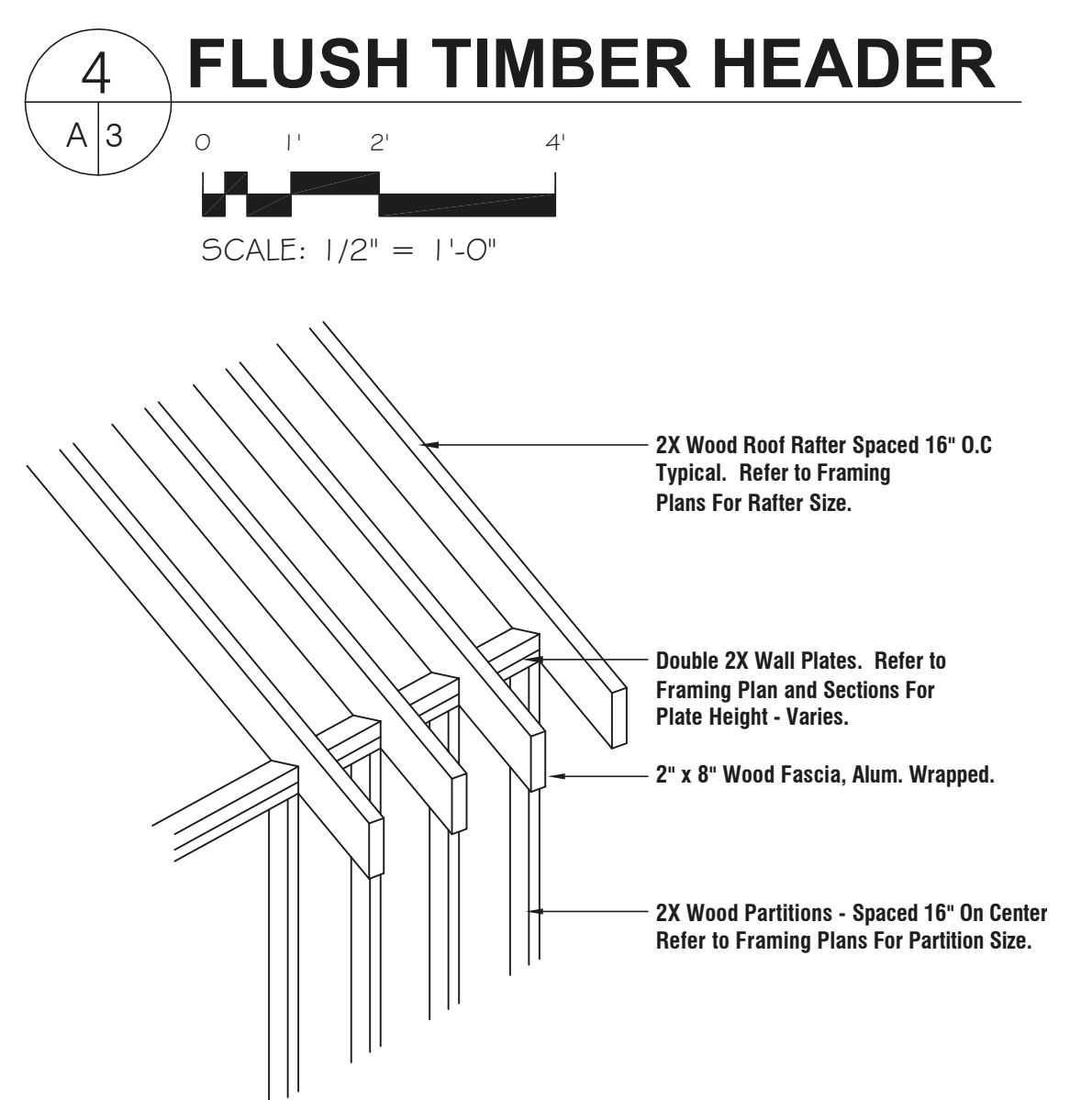
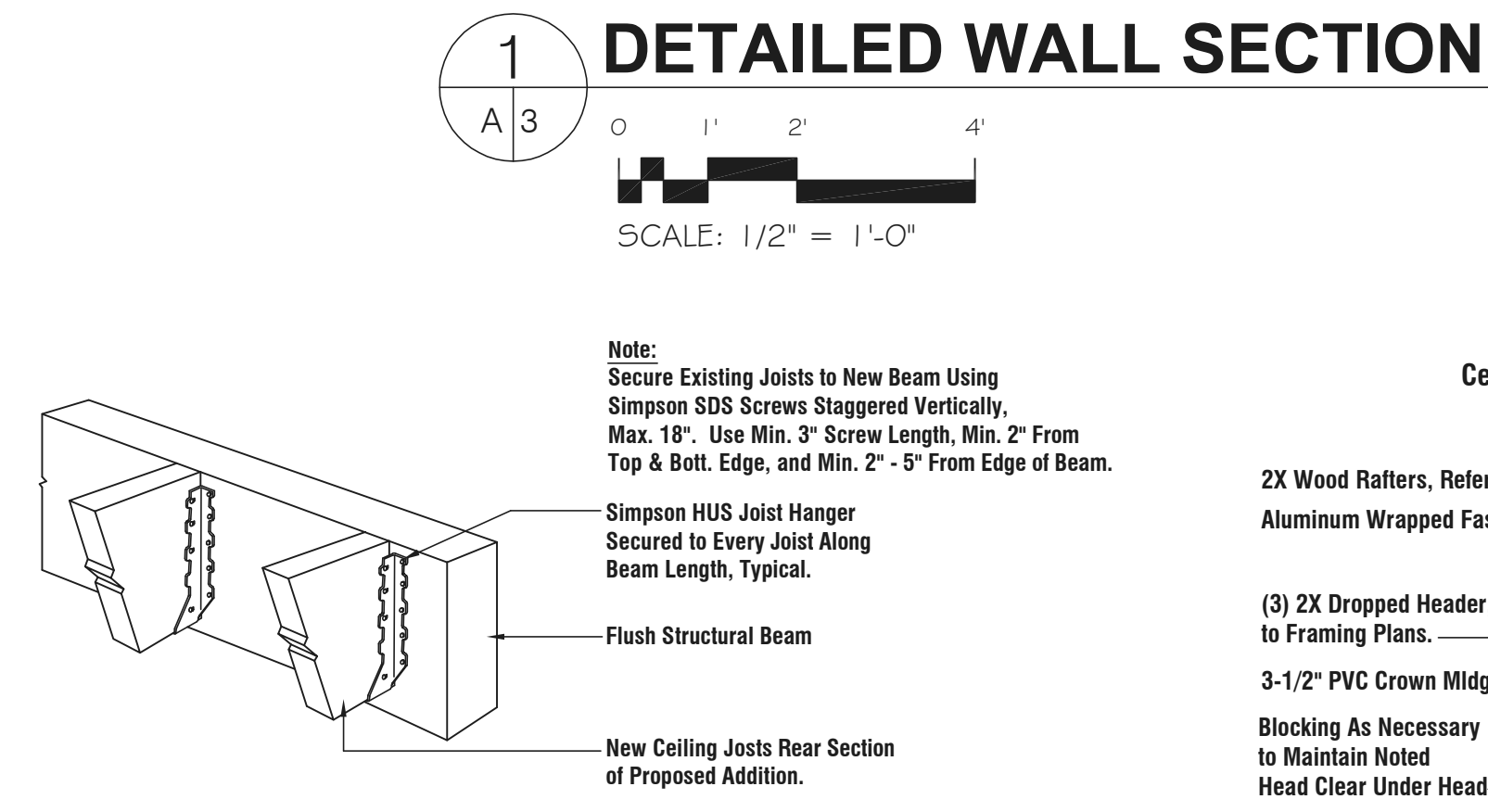
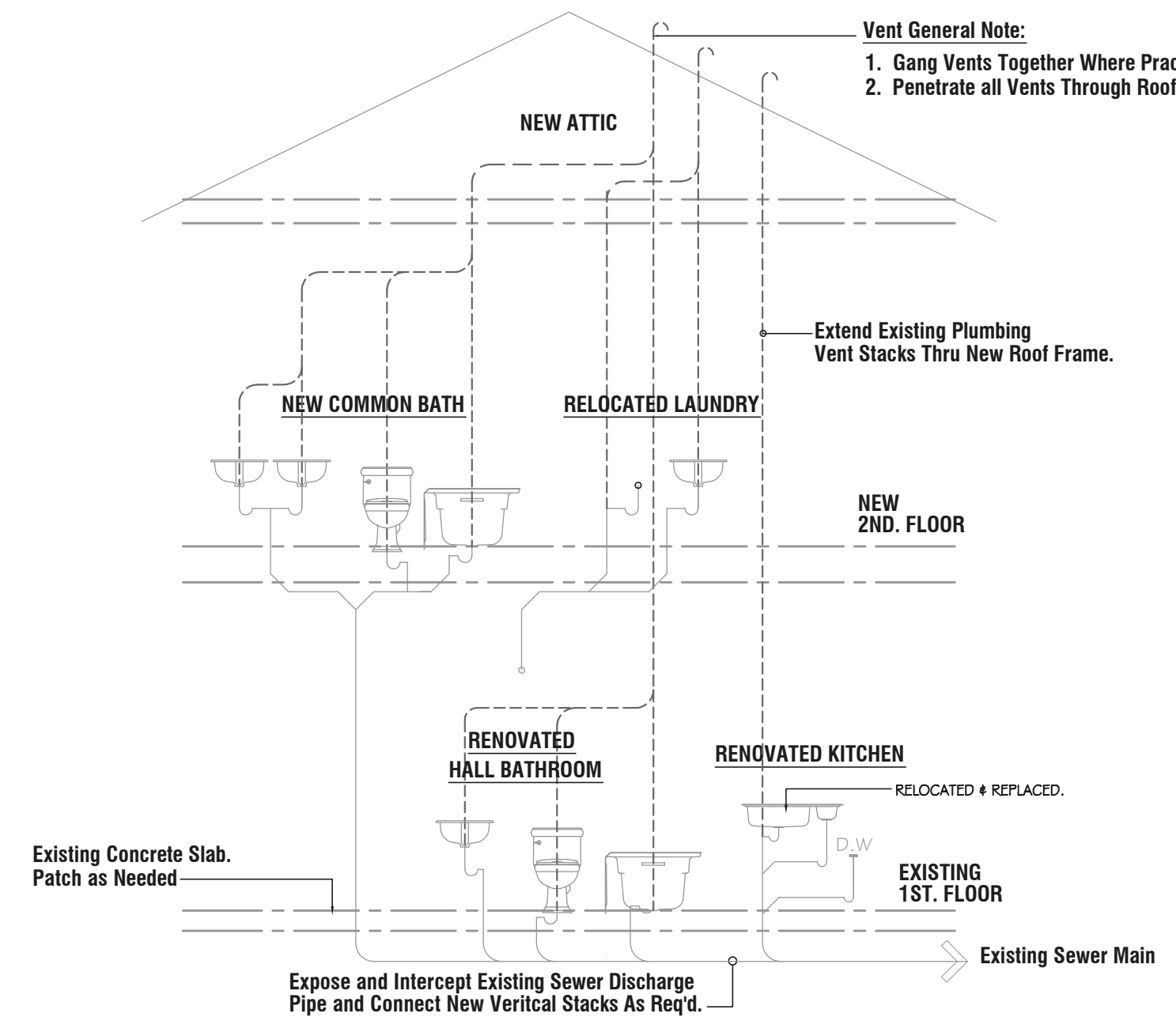
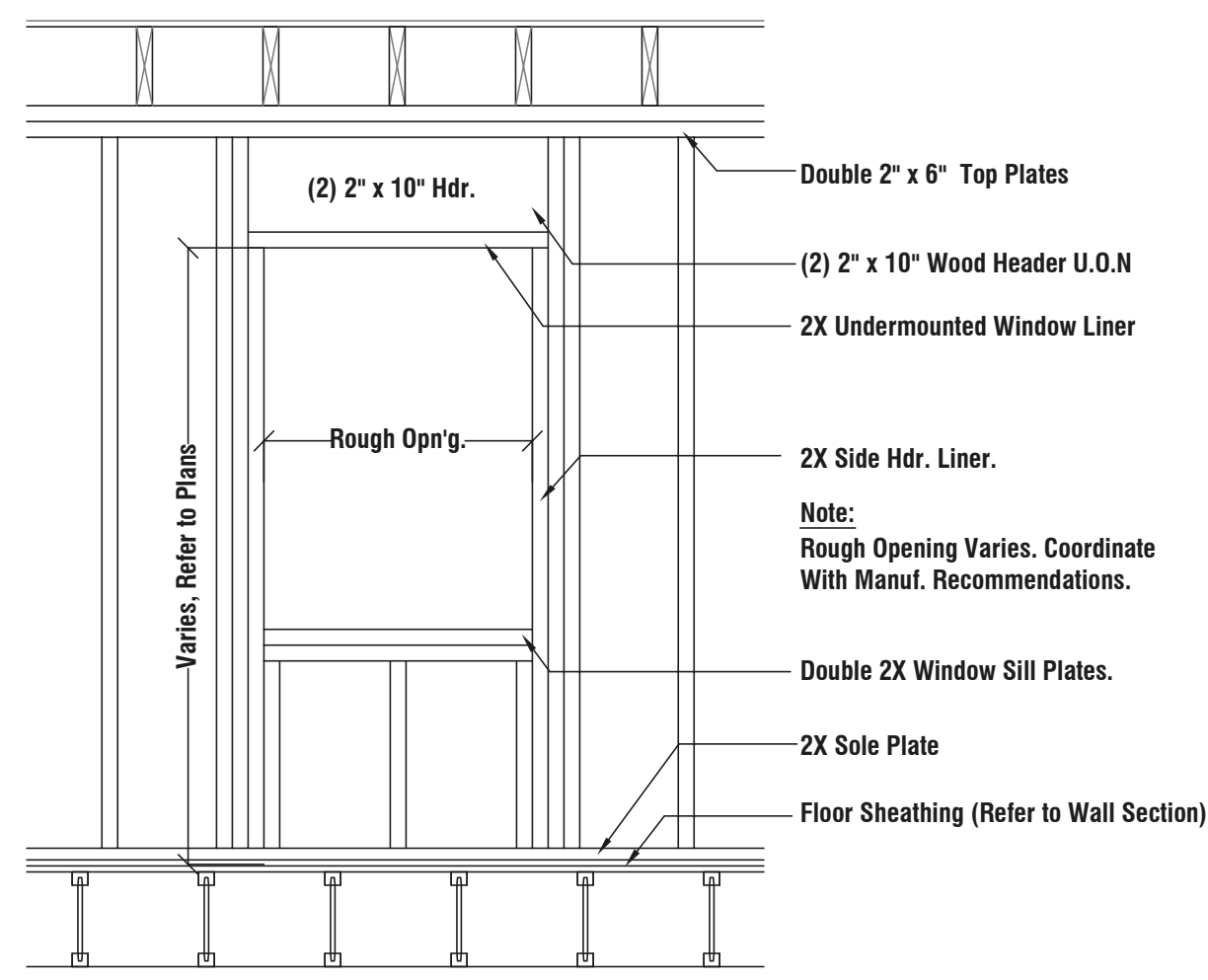
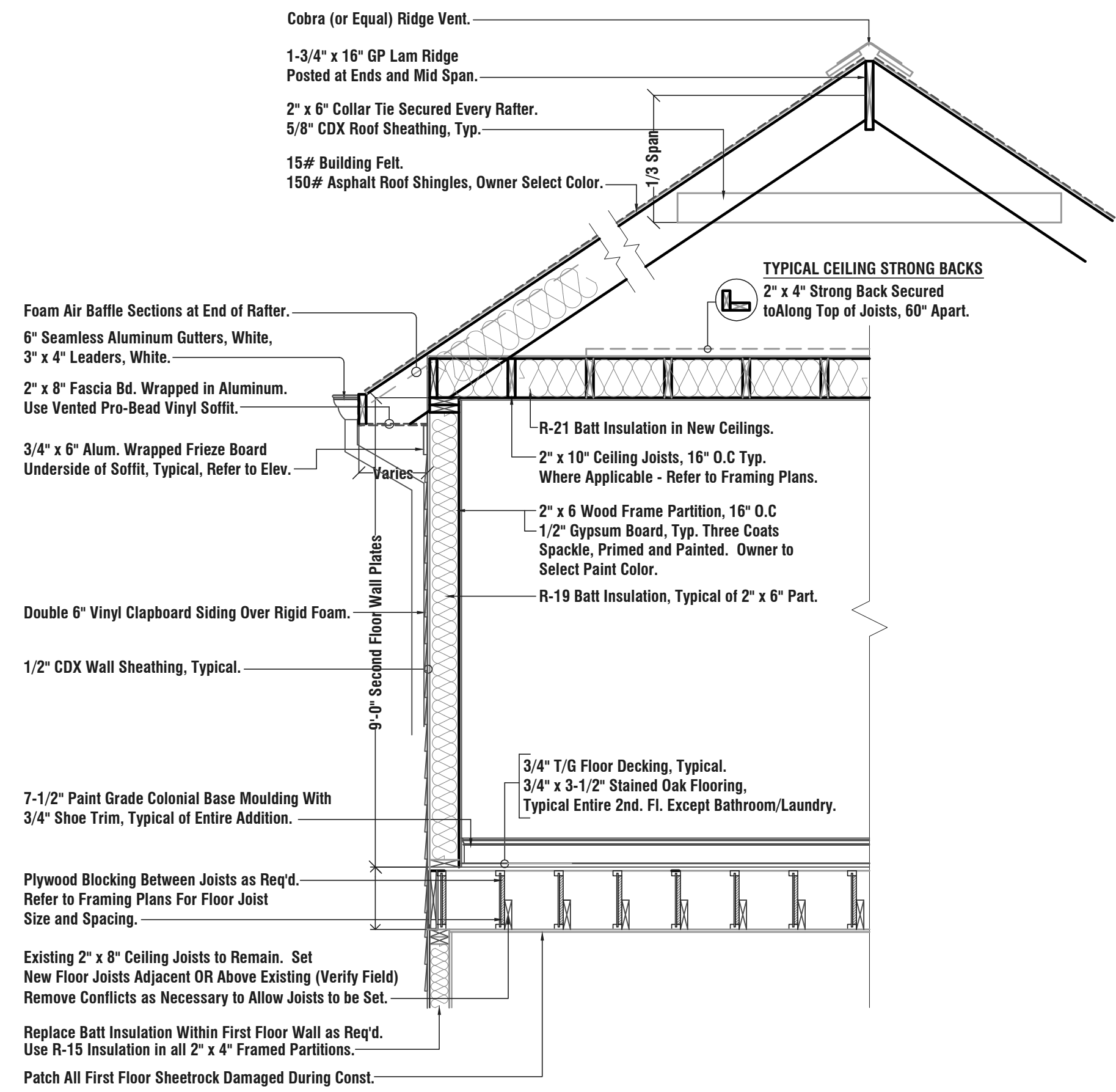
LOT NO. 11 BLOCK NO. 264
FOR: MR. & MRS. ERIC C. POWERS
90 WOOD STREET
WYCKOFF, NJ BERGEN COUNTY N.J 07481

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DRW BY	DATE	REV	COMMENT
P.F	01 24 22	1	ISSUED FOR ZONING APPROVAL
P.F	04 04 22	2	UPDATED PER ENGINEERING DEPT. REVIEW

SITE PLAN & CONTROL NOTES

MATTHEW G. EVANS ARCHITECT PLANNER	SHEET NUMBER S.1
RA-NJ-13803 RA-NY-26125 P.P. NJ-5662	



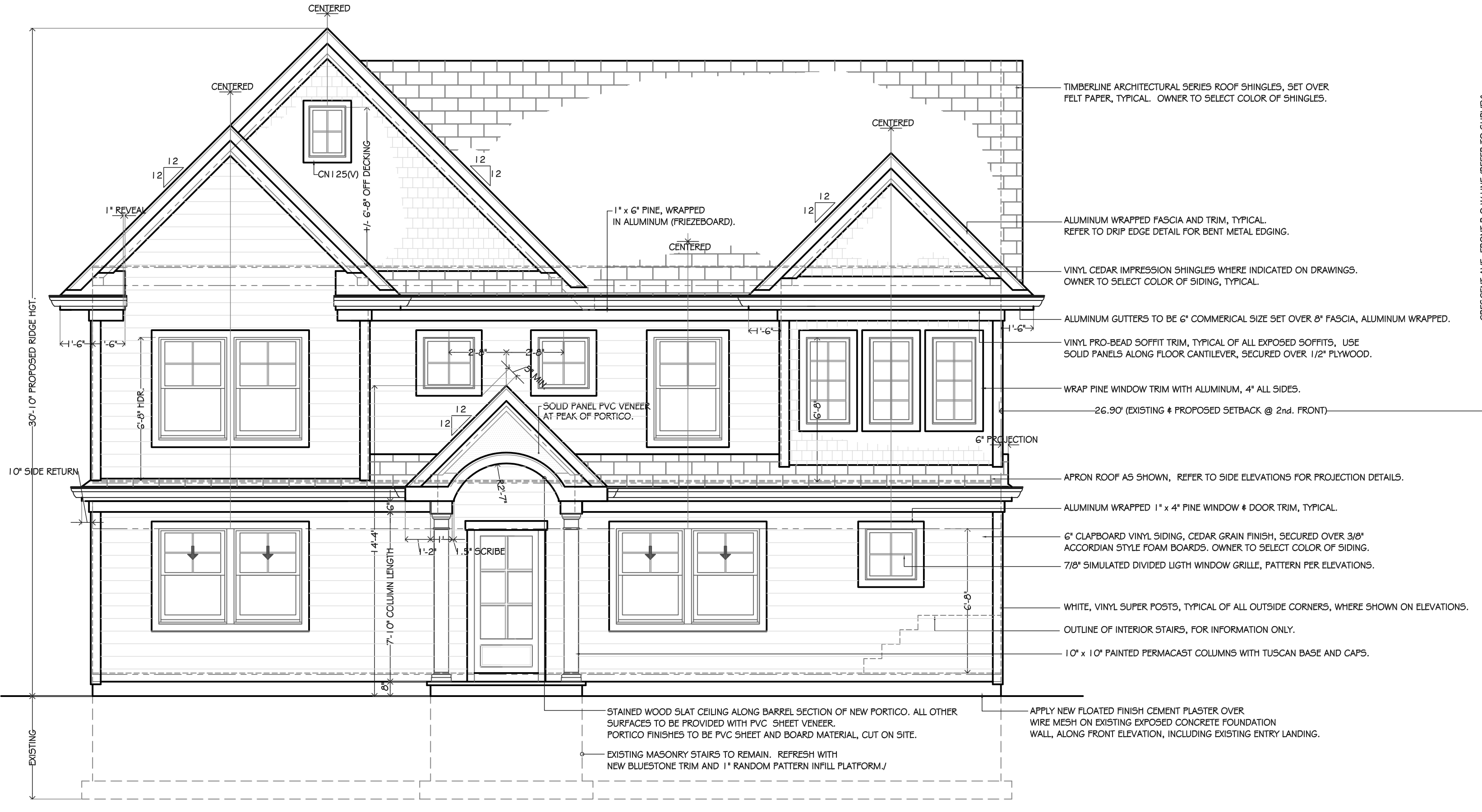
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PROPOSED ADDITION AND RENOVATIONS
 LOT NO. 11 BLOCK NO. 264
 MR. & MRS. ERIC C. POWERS
 90 WOOD STREET
 WYCKOFF NJ BERGEN COUNTY N.J 07481

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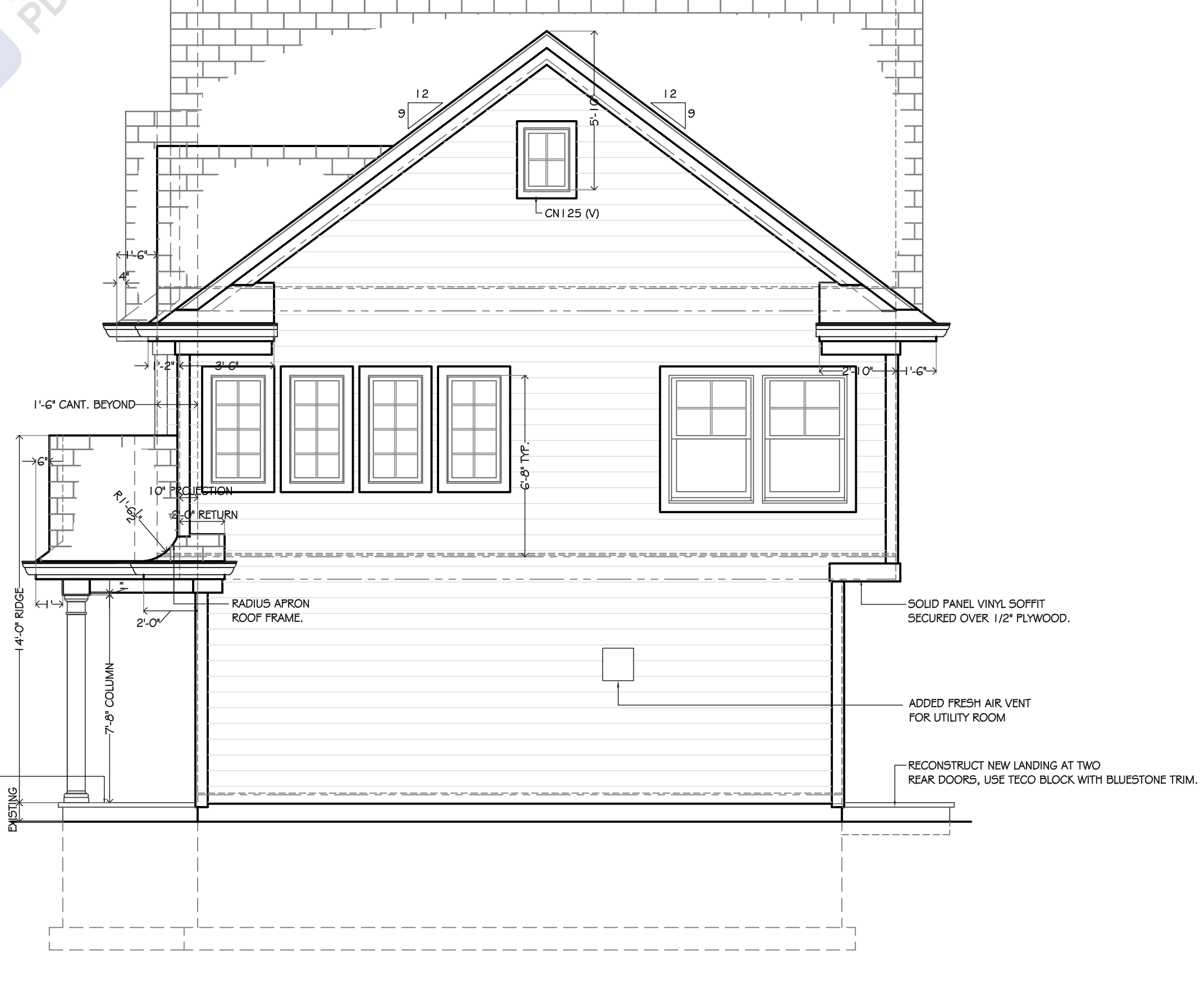
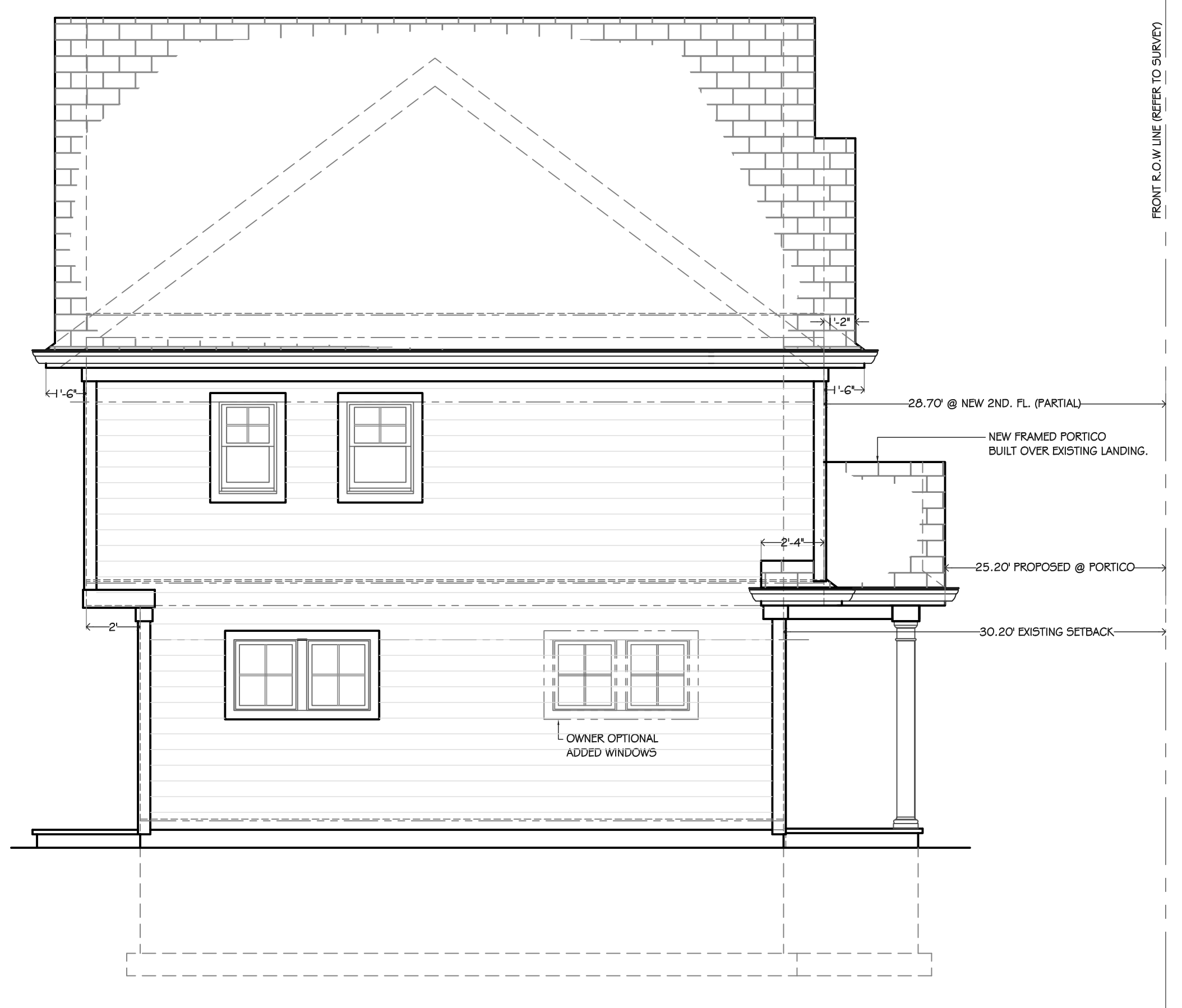
DRW BY	DATE	REV	COMMENT
P.F.	10 21 21	1	RELEASED FOR PRELIMINARY BIDS
P.F.	01 24 22	2	RELEASED FOR ZONING & PERMITS

MISC. FRAMING DETAILS & SECTIONS
 MATTHEW G. EVANS
 ARCHITECT
 PLANNER
 SHEET NUMBER
A.3
 R.A. NJ. 13803 R.A.N.Y.
 26125
 P.P. NJ. 5562



1 PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

2 PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



3 PROPOSED EAST ELEVATION
 SCALE: 1/4" = 1'-0"

4 PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"

EVANS ARCHITECTS AIA
 MATTHEW G. EVANS
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PROPOSED ADDITION AND RENOVATIONS
LOT NO. 11 BLOCK NO. 264
MR. & MRS. ERIC C. POWERS
90 WOOD STREET
WYCKOFF NJ BERGEN COUNTY N.J 07481

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DRW BY	DATE	REV	COMMENT
P.F.	10 21 21	1	RELEASED FOR PRELIMINARY BIDS
P.F.	01 24 22	2	RELEASED FOR ZONING & PERMITS

PROPOSED EXTERIOR ELEVATIONS

MATTHEW G. EVANS ARCHITECT PLANNER	SHEET NUMBER A.4
--	-------------------------------

R.A. NJ 13803 R.A. NY.
 26125
 P.P. NJ 5562