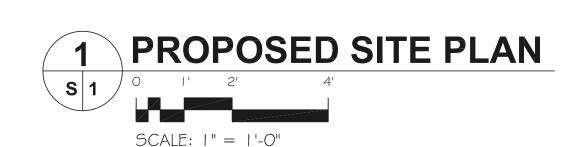
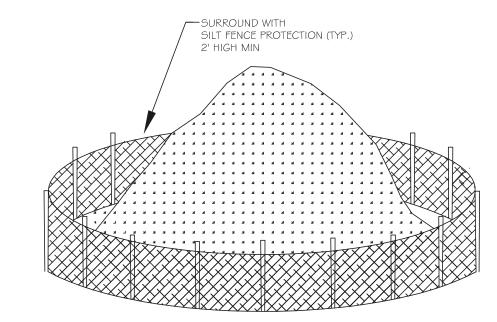
(50' WIDE)



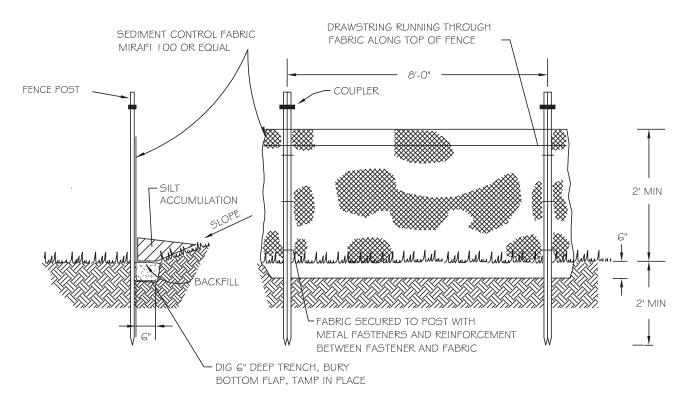
ZONING DISTRICT AREA, BULK AND	YARD REQUIR	REMENTS		(R-	15 Single Family Residential Zone - SECTION 28.21) LOT NO. 11 BLOCK NO. 264		
DESCRIPTION:	EXISTING:	PROPOSED:	MIN. REQ'D.	VARIANCE	ADDITIONAL NOTES:		
Lot Area (Square Feet)	9,981 SF	9,981 SF	15,000 S.F	YES	Lot Dimensions Are Maintained as Existing.		
Lot Width and Frontage (Feet)	207.52'	207.52'	100.00'	NO	Property is on Corner Lot, Therefore Frontage is Total of Both Frontages (106.60' + 100.92')		
Lot Depth (Feet)	93.02'	93.02'	125.00'	YES	Lot Dimensions Are Maintained as Existing. Existing Lot is Non-Conforming.		
Mın. Front Yard Setback (#1)	26.90'	26.90'	40.00'	YES	Existing Setback is Non-Confirming. Proposed is Taken From Rear Second Floor Cantilever Along Crescent Ave.		
Mın. Front Yard Setback (#2)	30.20'	25.20'	40.00'	YES	Existing Setback is Non-Confirming. Proposed Front-2 Setback is Measured Off Face of New Portico Frame.		
Mın. Rear Yard Setback	30.00'	30.00'	30.00'	NO	Proposed Setback is Measured From New Second Floor Cantilever. Existing First Floor to Remain.		
Mın. Sıde-Yard Setback	45.50'	43.50'	15.00'	NO	Proposed Second Floor Cantilever Out Beyond Existing First Floor Setback.		
Maxımum Building Height (Feet)	24.20'	30.10'	35.00'	NO	NO Proposed Ridge Height Measured From Greatest Peak Elevation. Sections Drop Below Max. Ridge Noted.		
Maximum Impervious Surface (%)	21.70%	32.25%	45.00%	NO For Lots Under 10,000 SF, Max. Allowable Impervious Coverage Shall be 45.00% of the Lot Area (9,981 SI			
Max. Lot Coverage Principal Bldg.	9.54%	10.25%	15.00%	NO	Refer to Section-J For Details.		
Max. Lot Coverage Accessory Bldg.	4.51%	4.51%	5.00%	NO	Refer to Section-J For Details.		

Additional Notes

- 1. Proposed Floor Area Includes The Sum of All Horizontal Areas of all Floors of The Building on a Lot Measured From Exterior Facade.
 2. Principal Building Coverage is That Portion of a Lot Which is Occupied by Buildings and Accessory Structures But Not Including Walkways, Driveways, Patios and Open Parking Spaces.
- 3. There are no Trees Proposed for Removal Under This Application.
- 4. The Area of Disturbance is Limited to the Disturbance That is Required to Construct The Proposed Work Elements,: First Floor Addition, Brick Patio, Portico, Etc.
- 5. The Existing Lot Grading and Existing Drainage Patterns Will Not be Altered as Part of This Application.
- 6. Refer to Table on This Drawing For Total Building Area and Construction Classification Data in Addition to Section-J.
 7. Proposed Additions do not Contribute to Additional Roof Areas Greater than 1/3of the Existing Total Roof Area. Storm Water Management is Not Proposed.
- 8. New Truck Access to be Created, Along With Tracking Pad and Silt Fence to Deliniate Access to Rear Yard. Contractor Responsible for Site Restoration Upon Completion.
- 9. Total Impervious Lot Coverage is Calculated as Listed in Section-J.
- 10. Crescent Ave. If the Narrowest of Two-Frontages (Corner Lot), Therefore Noted as Frontage-1 of 2. Wood Street is Listed as Frontage-2.



2 SOIL STOCKPILE AREA S 1 NOT TO SCALE







A EXISTING FRONT ELEVATION
S 1 NOT TO SCALE



B EXISTING REAR ELEVATION
S 1 NOT TO SCALE



C EXISTING 2ND. FRONT ELEVATION
S 1 NOT TO SCALE

SOIL EROSION AND SEDIMENT CONTROL NOTES

- I. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (NJ STANDARDS), AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
- 2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BOUND IN ACCORDANCE WITH THE NJ STANDARDS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER.
- 3. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NJ STANDARDS.
- 4. STABILIZATION SPECIFICATIONS:
- A. TEMPORARY SEEDING AND MULCHING:

 -LIME- 90 LBS./I,000 SF GROUND LIMESTONE; FERTILIZER- I I

 LBS/I,000 SF, I 0-20-I O OR EQUIVALENT WORKED INTO THE SOIL A

 MINIMUM OF 4".

-SEED- PERENNIAL RYEGRASS 40 LBS./ACRE (I LB./I,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH I AND MAY IS OR BETWEEN AUGUST IS AND OCTOBER I.
-MULCH- SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS./I,000 SF TO BE APPLIED ACCORDING TO THE NJ STANDARDS.
MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

- B. PERMANENT SEEDING AND MULCHING:
 -TOPSOIL- UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).
- LBS./I,000 SF, IO-20-IO OR EQUIVALENT WORKED INTO THE SOIL A MINIMUM OF 4".

 -SEED- TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) I 50
 LBS./ACRE (3.5 LBS./I,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH I AND NOVEMBER I 5.

 -MULCH- SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90
 LBS./I,000 SF TO BE APPLIED ACCORDING TO THE NJ STANDARDS.
 MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

-LIME- 90 LBS./1,000 SF GROUND LIMESTONE; FERTILIZER- 11

- 5. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUN-OFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- 6. SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM
- 7. STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOOD PLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAY BALE SEDIMENT BARRIER OR SILT
- 8. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1"-2 1/2" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30'X 100' AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.

- 9. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
- 10. DRIVEWAYS MUST BE STABILIZED WITH 1"-2 1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
- 11. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT
- OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- 12. CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH SECTION 30-1 OF THE NJ STANDARDS.
- I 3. STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- 14. DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE WITH SECTION 14-1 OF THE NJ STANDARDS.
- 15. DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH SECTION 16-1 OF THE NJ STANDARDS.
- I 6. TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH SECTION 9-1 OF THE NJ STANDARDS.
- 17. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR
- SEDIMENTATION THAT MAY OCCUR BELOW STORM WATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

 18. ANY REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT

CONTROL PLAN MUST BE SUBMITTED TO THE DISTRICT FOR REVIEW AND

APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.

19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT

CONSTRUCTION.

- 20. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE: BERGEN COUNTY SCD, 700 KINDERKAMACK ROAD, SUITE 106, ORADELL, NJ 07649 TEL: 201-261-4407; FAX 201-261-7573.
- 2 I . THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF-SITE EROSION PROBLEMS DURING CONSTRUCTION.
- 22. THE OWNER MUST OBTAIN A DISTRICT ISSUED REPORT OF COMPLIANCE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. THE DISTRICT REQUIRES AT LEAST ONE WEEK'S NOTICE TO FACILITATE THE SCHEDULING OF ALL REPORT OF COMPLIANCE INSPECTIONS. ALL SITE WORK MUST BE COMPLETED, INCLUDING TEMPORARY/PERMANENT STABILIZATION OF ALL EXPOSED AREAS, PRIOR TO THE ISSUANCE OF A REPORT OF COMPLIANCE BY THE DISTRICT.



MATTHEW G. EVANS
ARCHITECT - PROFESSIONAL PLANNER

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PROPOSED SECOND FLOOR ADDITION

LOT NO. 11 BLOCK NO. 264 FOR: MR. & MRS. ERIC C.POWERS 90 WOOD STREET

WYCKOFF, N.J BERGEN COUNTY N.J 07481

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P.F 01 24 22 1 ISSUED FOR ZONING APPROVAL
P.F 04 04 22 2 UPDATED PER ENGINEERING DEPT. REVIEW

SITE PLAN & CONTROL NOTES

MATTHEW G. EVANS
ARCHITECT

REV

COMMENT

P.F 01 24 22 1 ISSUED FOR ZONING APPROVAL
P.F 04 04 22 2 UPDATED PER ENGINEERING DEPT. REVIEW

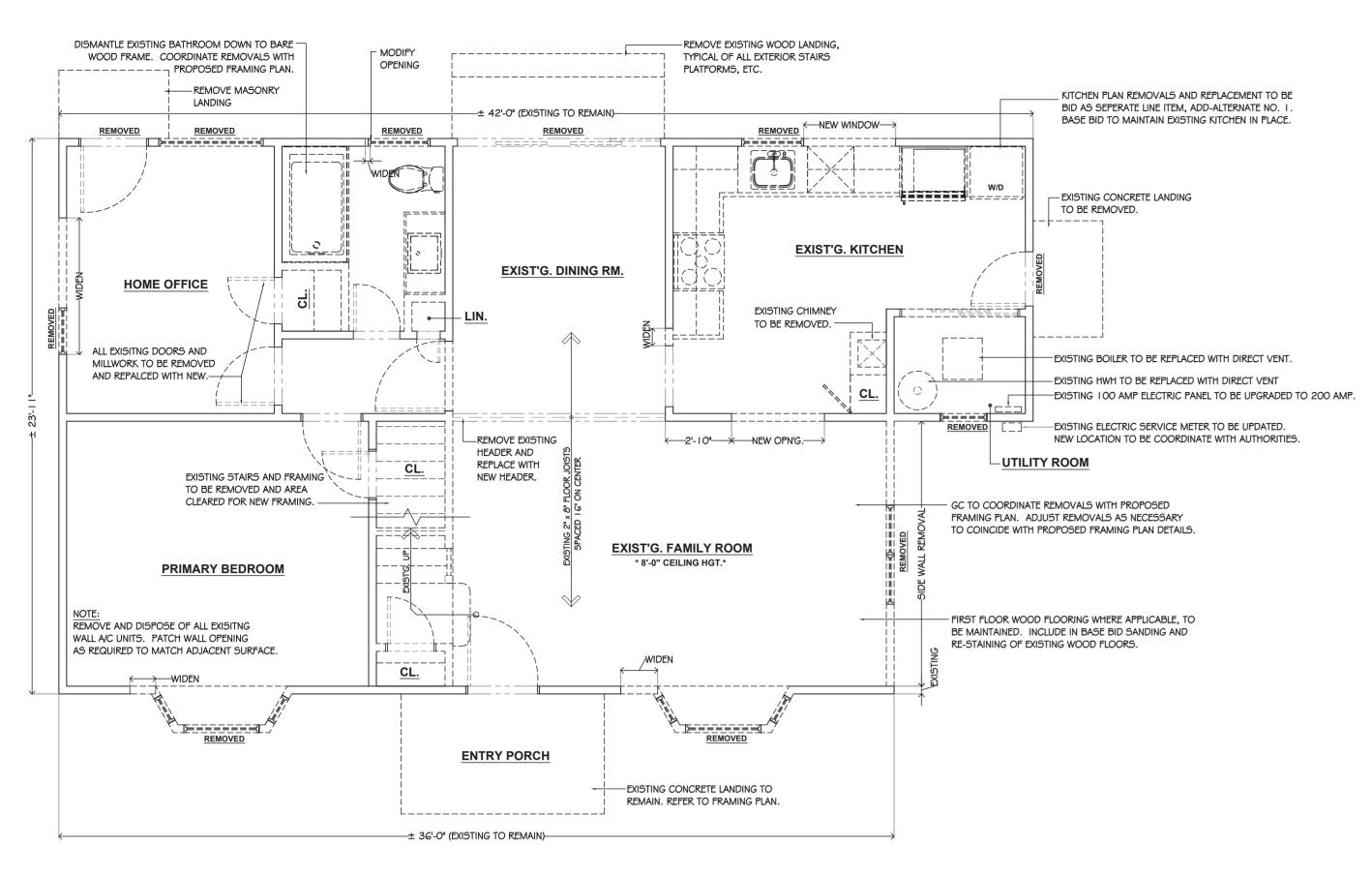
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PLANNER

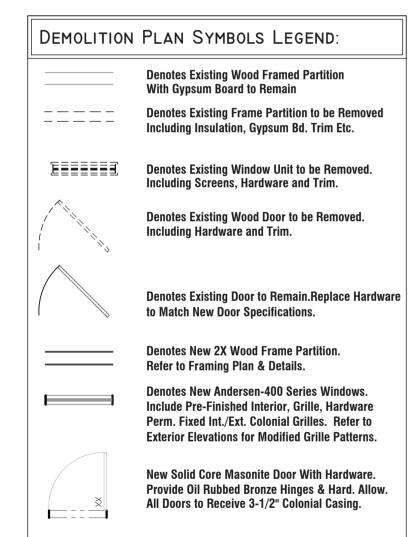
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26125 P.P. NJ. 5662





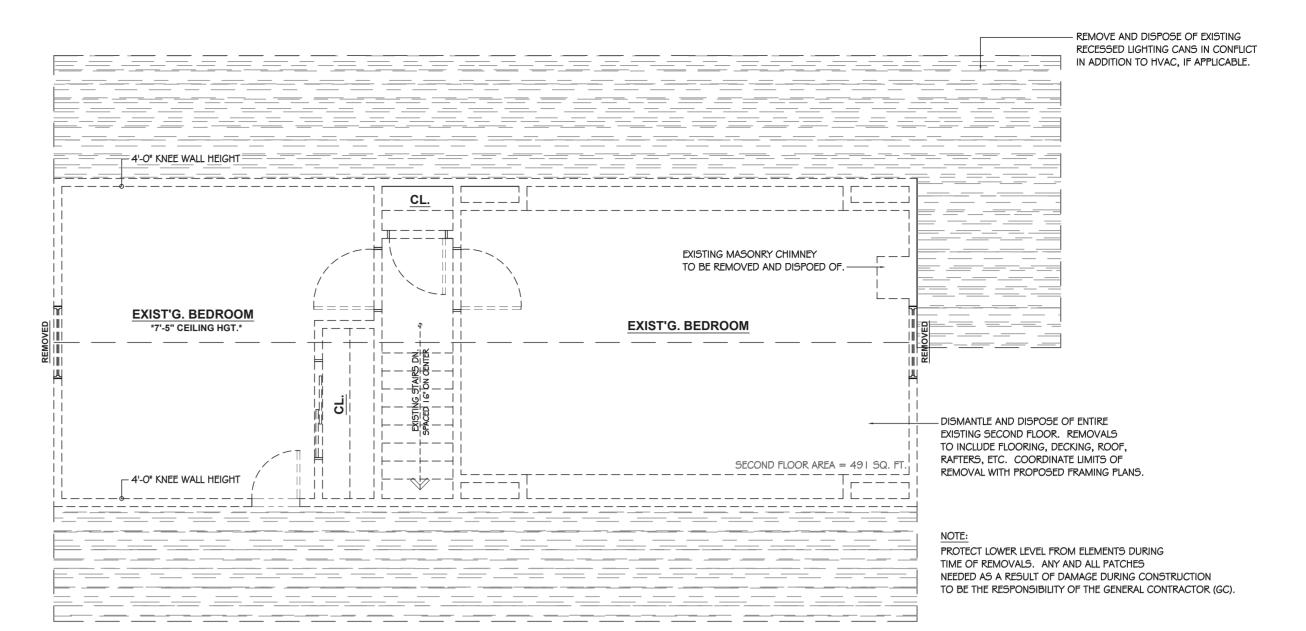


GENERAL DEMOLITION NOTES:

- The General Contractor Shall Furnish All Labor and Material as Required to Complete The Demolition And Removal of All Items as Shown or Noted on Plans.
- The General Contractor Shall at All Times Protect The Property of The Owner Including But Not Limited to Windows, Walls Not in Scope of Work, Floors, Windows, Driveways, Sidewalks Etc. Upon Completion All Damaged Areas Must be Restored to Previous Conditions.
- 3. The General Contractor Shall Furnish a System of Temporary Shelter From Weather as Existing Roof And Walls Are Removed. G.C Shall Also Protect Existing House From Any Outside Entry As Doors And Windows Are Removed.
- 4. The General Contractor Shall Remove All Wall Conduits Left After Demolition, Including Switch Boxes Electrical Outlets, Telephone Outlets, And Equipment, Include All Wiring in The Ceiling Not Being Used Clear Back to The Electric Panel And Telephone Patch Panel.
- 5. The General Contractor Shall Cap And Flush Off Behind Surfaces All Projecting Plumbing, Electrical Outlets, And All Other Projecting Items Which Are
- 6. All Openings to Existing Spaces Not in Contract Shall Be Sealed Off From Any Dust. Responsible For Maintaining Existing Spaces as is Prior to Construction.
- Coordinate Relocations of All HVAC, Electrical, Lighting, Diffusers Prior to Commencing Work. G.C to Report Relocating Strategy With Owner Prior to Dismantling.

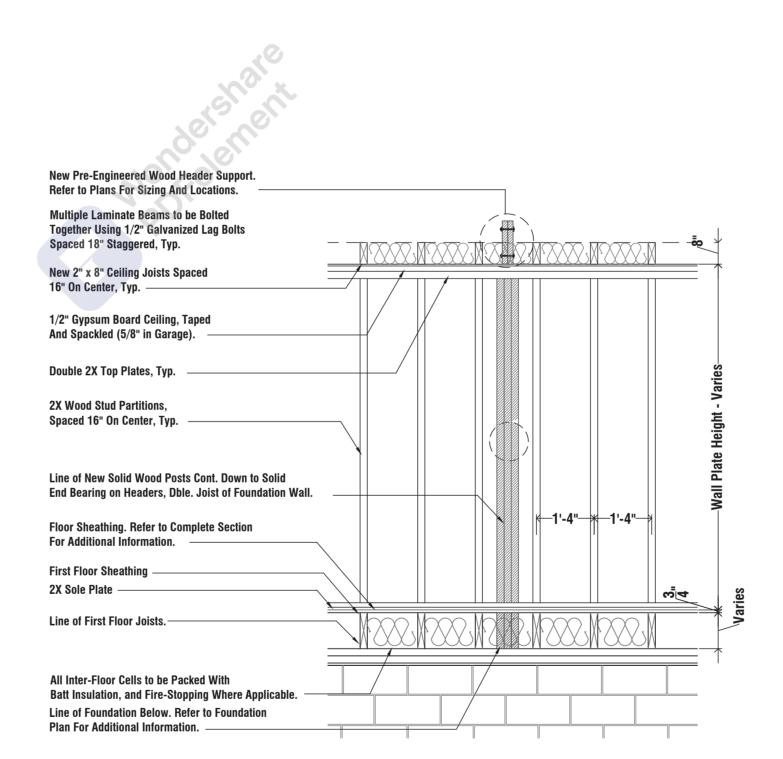
SELECTIVE DEMOLITION NOTES:

- Contractor Shall Field Verify All Dimensions on Plans For Accurate Lengths Spans, Grades, Levels And Shall Have Visited The Premises and Examined Existing Site Conditions And Shall be Responsible to do All Necessary Work And Supply All New Materials to Carry Out The Intentions of These Plans. Any Deviation or Misunderstanding Shall be Communicated And Clarified to The Owners Attention During Bidding And Approved in Writing by The Owners. All Partitions Are Dimensioned to Nominal Thickness. All Dimensions Shown (+/-) Are Existing And Are Approximate. Do Not Scale Drawings. USE WRITTEN DIMENSIONS ONLY.
- General Contractor is to Provide Temporary Bracing as Required to Resist Wind Construction Loads Etc, During Construction Bracing Shall Remain in Place Until The Structure is Capable of Sustaining All Loads.
- 2. All Work Shall Comply With Requirements of Local Building Codes And Accident And Fire Regulations. Verify The Extent of The Demolition as Required by The Plans. Demolish And Remove Existing Elements as Illustrated And Noted on Plans. Protect All Areas Scheduled to Remain And if Damaged Repair to Match Existing Work at no Additional Cost to The Owner. Protect Areas to Remain by Covering or Installing Dust Proof Partitions as Required.
- 3. Support Existing Structures as Required During Cutting of New Openings or Removed Structural Members. Prevent Accumulation of Debri of Any Part of The Structure.

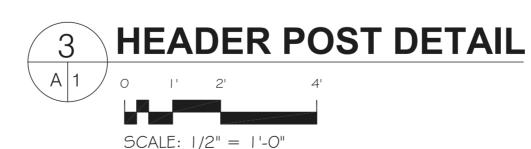


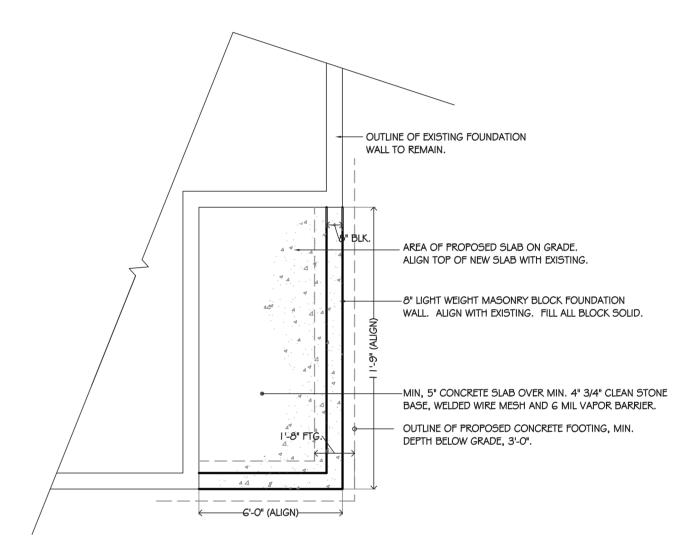
SECOND FLOOR REMOVAL PLAN

A 1 0 2 4 8 8 1



SCALE: 1/4" = 1'-0"





4 PARTIAL FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

EVANS ARCHITECTS AIA MATTHEW G. EVANS ARCHITECT - PROFESSIONAL PLANNER 470 CHAMBERLAIN AVENUE PATERSON NEW JERSEY 07522 9 7 3 9 4 2 - 9 0 2 0 MATT@EVANSARCHITECTS.COM WWW.EVANSARCHITECTS.COM

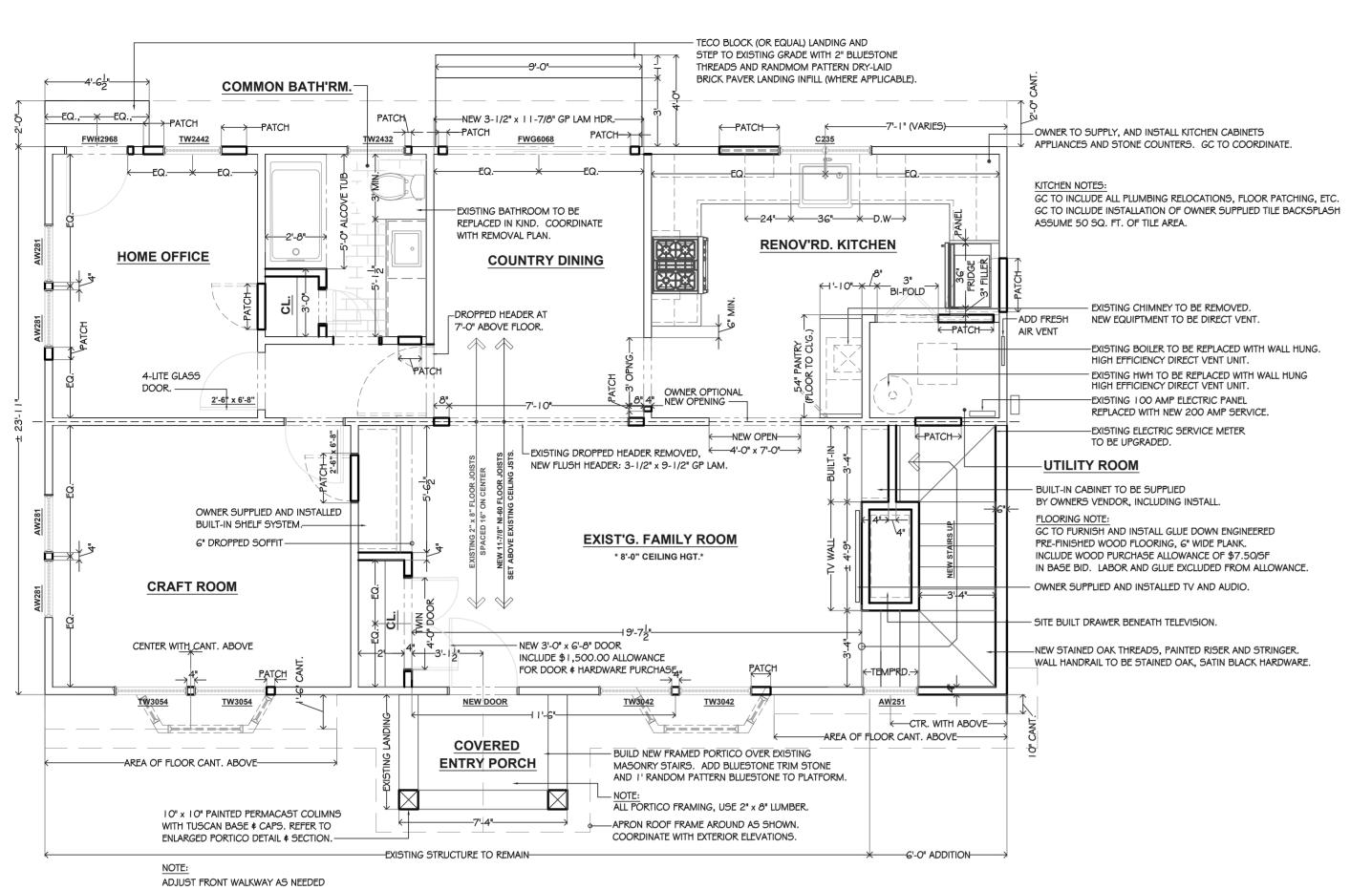
LOT NO. 11 BLOCK NO. 264 MR. & MRS. ERIC C. POWERS 90 WOOD STREET WYCKOFF N.J BERGEN COUNTY N.J 07481

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED

PROPOSED ADDITION AND RENOVATIONS

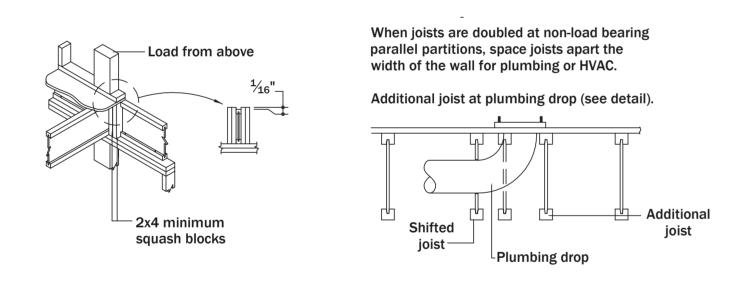
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P.F	01 :	24	22	2	RELEASED FOR ZONING	& PERMITS
		PI	RC	PO	SED REMOVAI	L PLAN
MATTHEW G. EVANS ARCHITECT PLANNER			T	S		SHEET NUMBER
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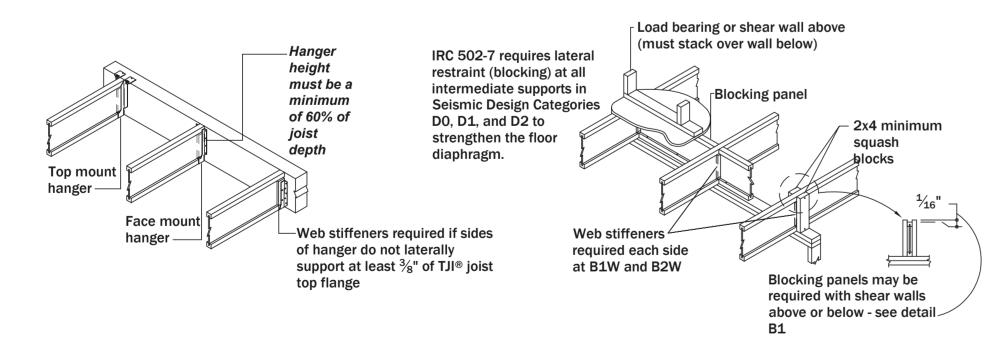
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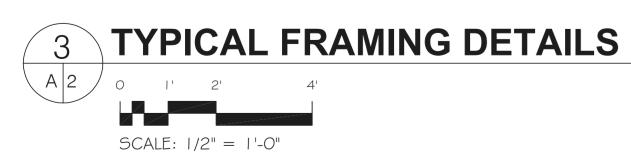


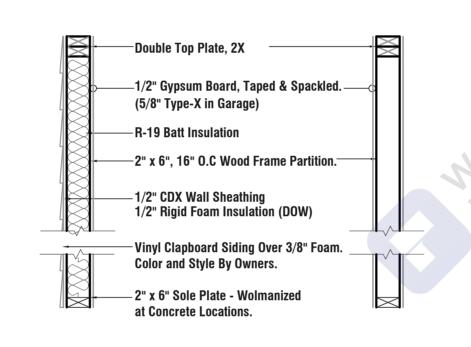


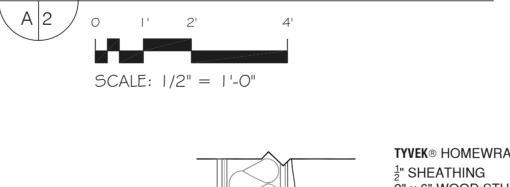
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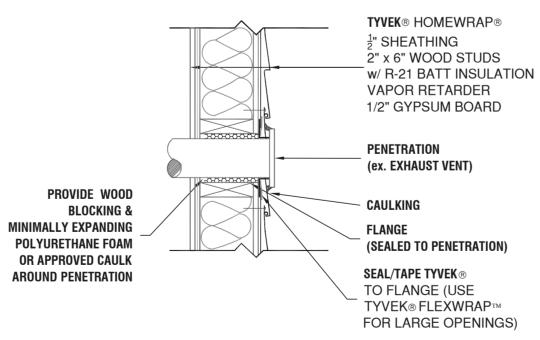


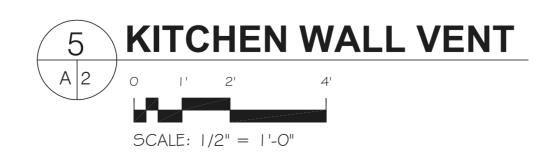


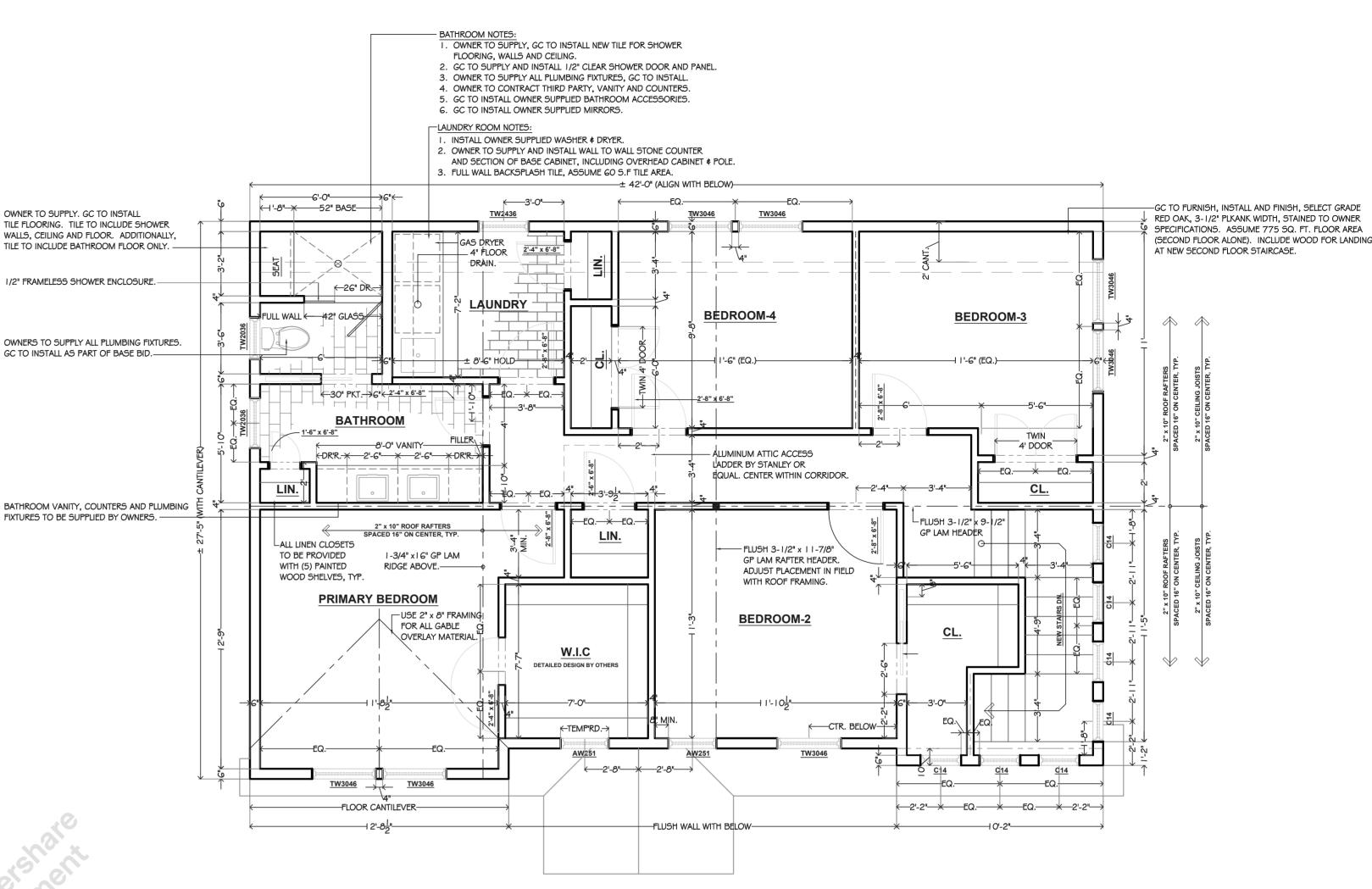




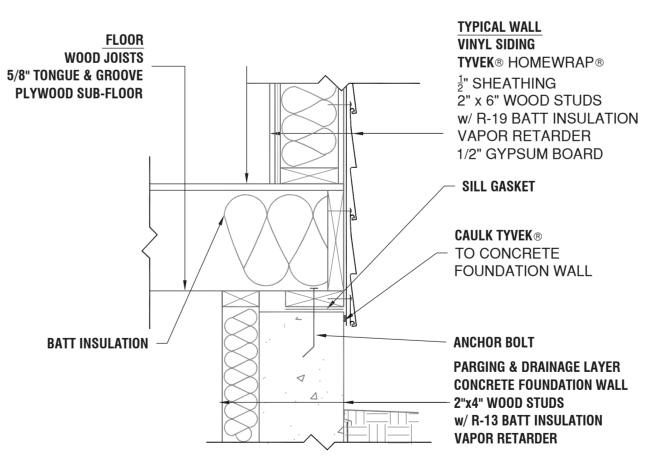
TYPICAL PARTITIONS

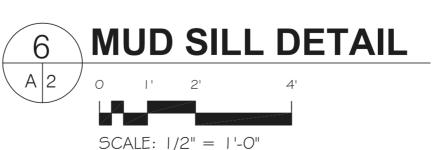




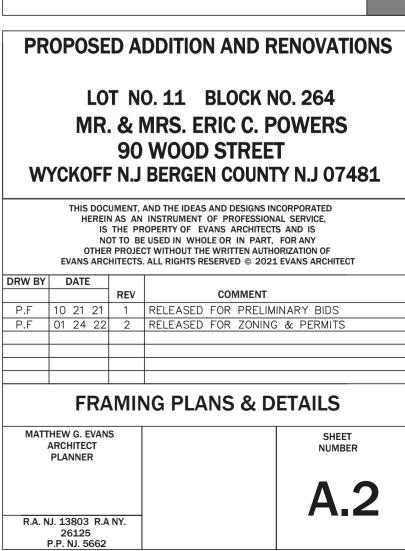


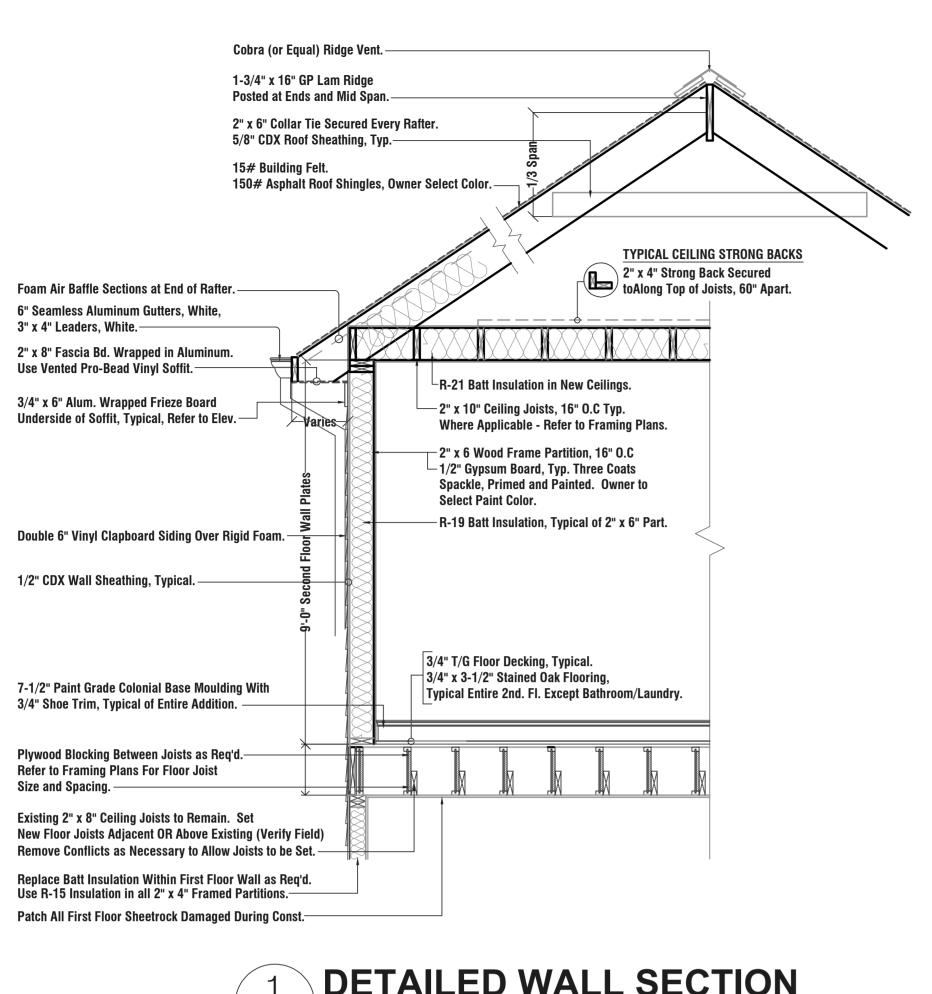






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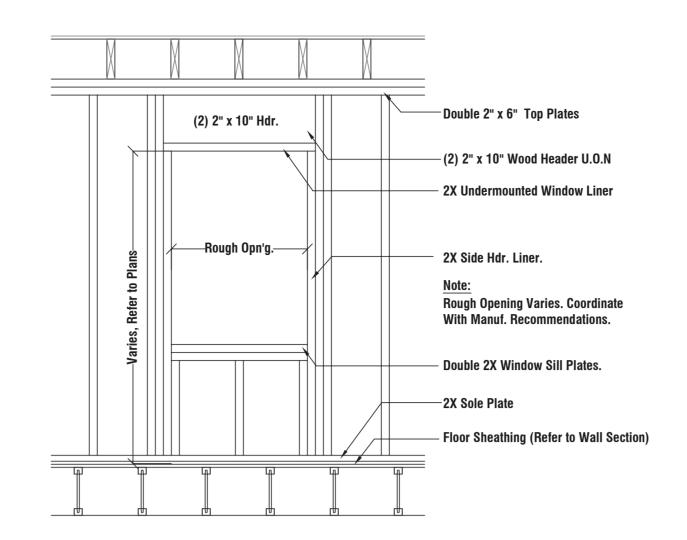


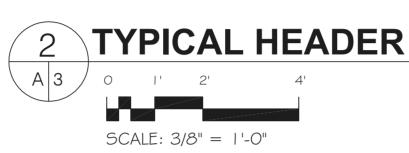


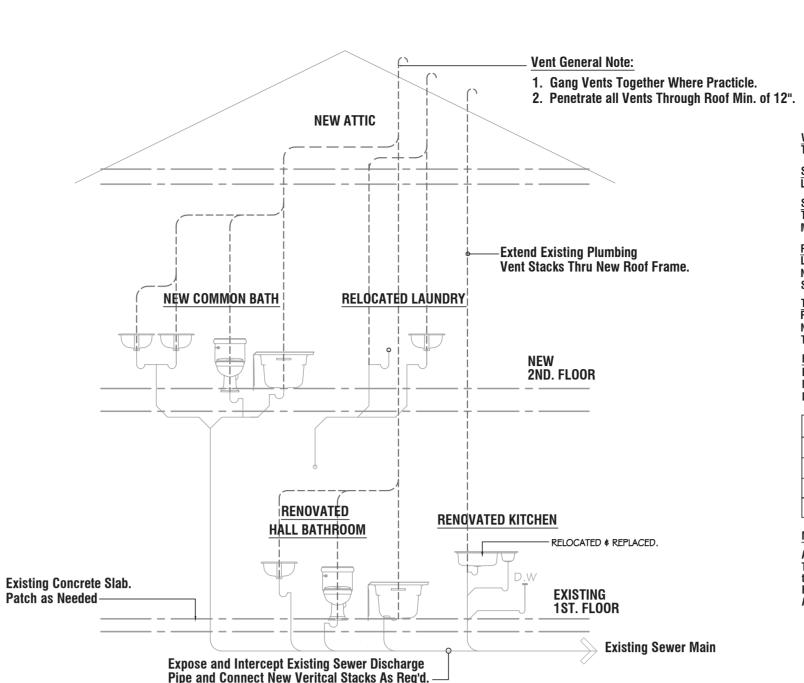
2X Wood Partitions - Spaced 16" On Center Refer to Framing Plans For Partition Size.

RAFTER END BEARING

SCALE: 3/8" = 1'-0"







Water Test: Test under working pressure or min. 50 psi

Shower: Listed anti-scald temperature/pressure balance valve req'd

Shower Pan:
Total area- 1,024sq.in. (990**) up to 70in. & 30in. circle
Min. square- 34in. x 34in. (finishes to 32in. x 32in.); min. neo angle 38in.

Plastic Liner: Liner-min. 3in. above finished dam No fasteners <1in. above dam Slope underlayment 1/4 in./ft.

Toilet & Bidet: Flange- 30in. wide clearance, 26in. front (24in. finish Non corrosive flange fasteners.

Trap to vent- max. developed length 6ft.

Exhaust Fan: Backdraft damper req'd.

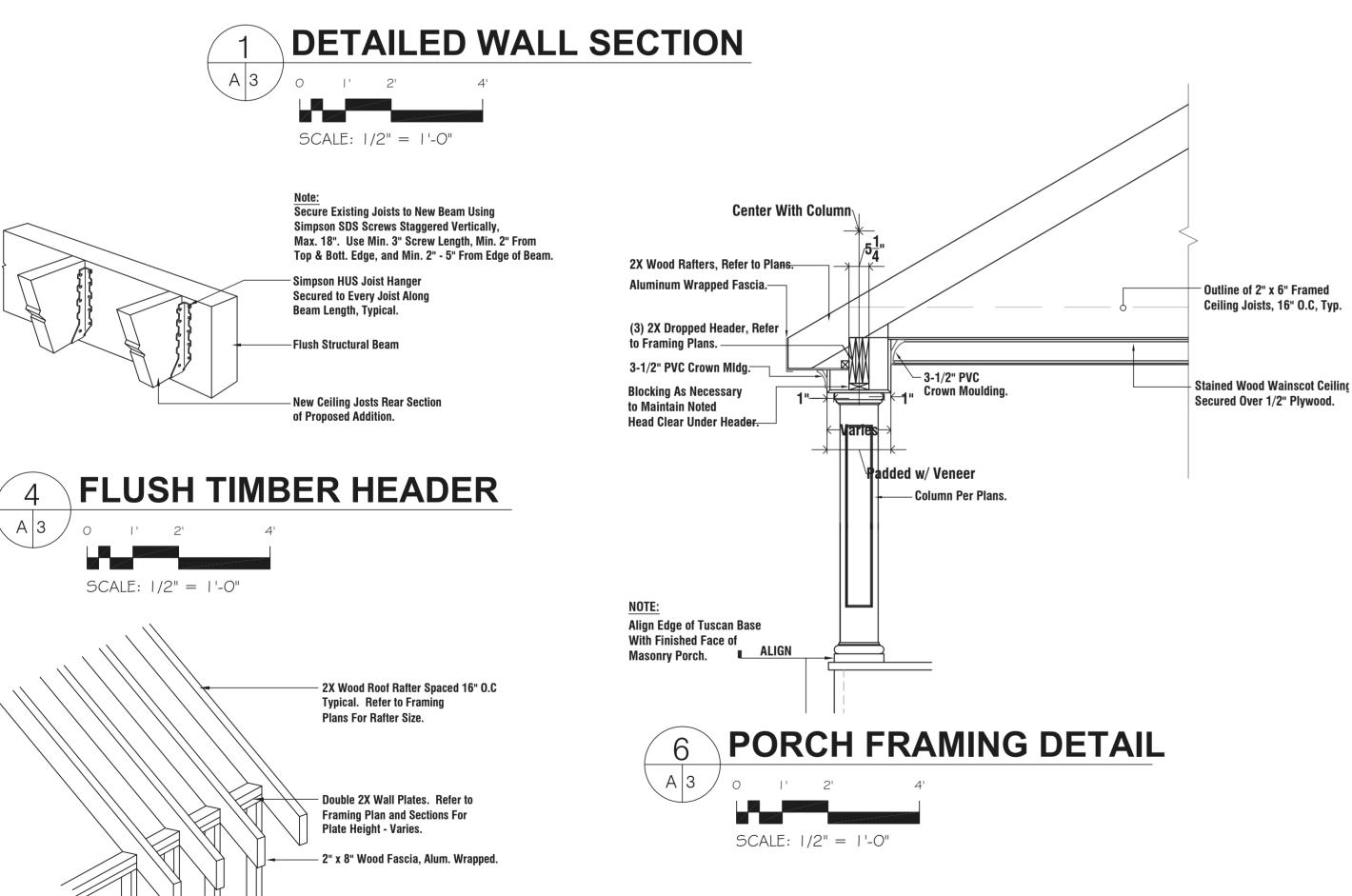
Min. 3ft. from opening or property line **Duct material listed for application**

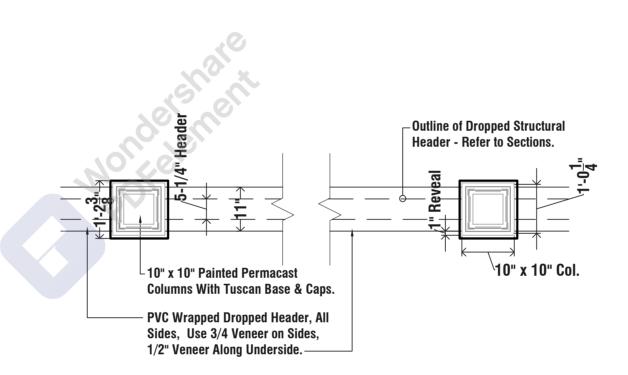
Fixture:	H.W	C.W	Drain	Trap	Vent
Water Closet	-	1/2"	3"	-	2"
Lavatory	1/2"	1/2"	1-1/2'	1-1/2"	1-1/2"
Kitchen Sink	1/2"	1/2"	1-1/2'	1-1/2	1-1/2"
Laundry Tray	1/2"	1/2"	1-1/2'	1-1/2"	1-1/2"

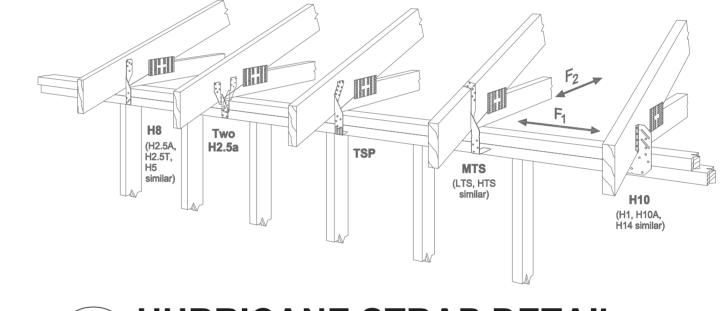
 $\underline{\text{Mechanical / Heating, Ventilating and Air Conditioning:}}$

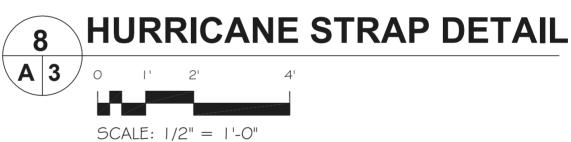
All Heating, Air Conditioning, And Mechanical Ventilation And Related Work Remains
The Responsibility of The Owner And Respective Contractor Including But Not Limited
to: Filing Necessary Plans or Documents, Obtaining All Permits, Paying of Required
Fees, Obtaining All Approvals, Performing All Tests, As May Be Required By Local Codes

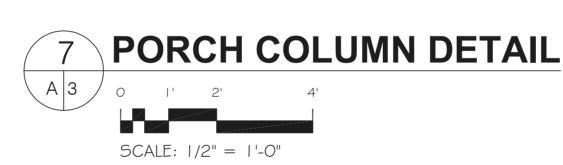
PLUMBING SCHEMATIC

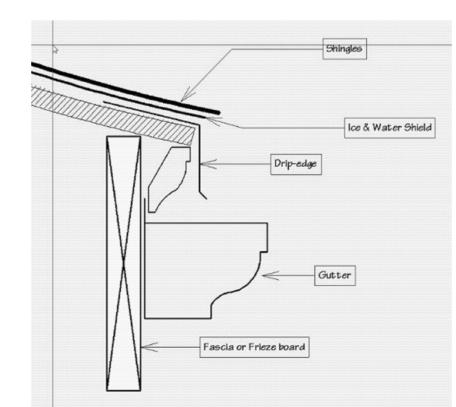


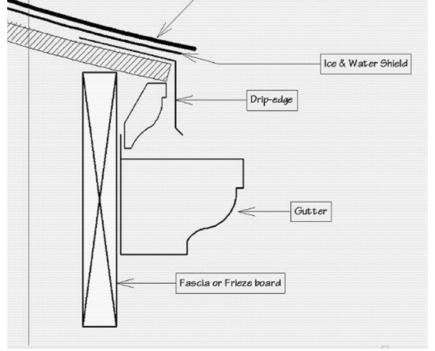


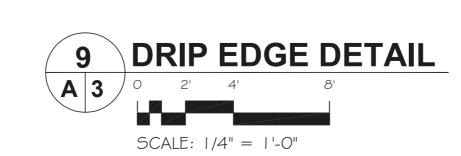


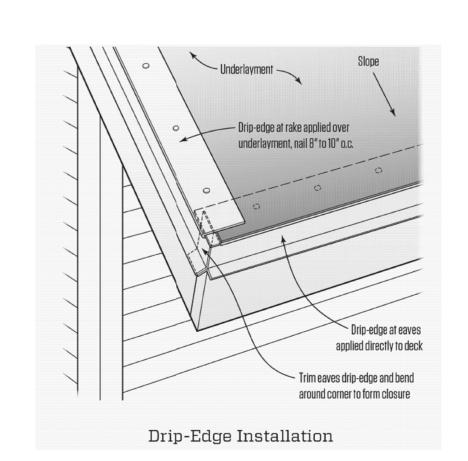


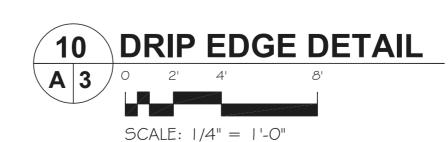












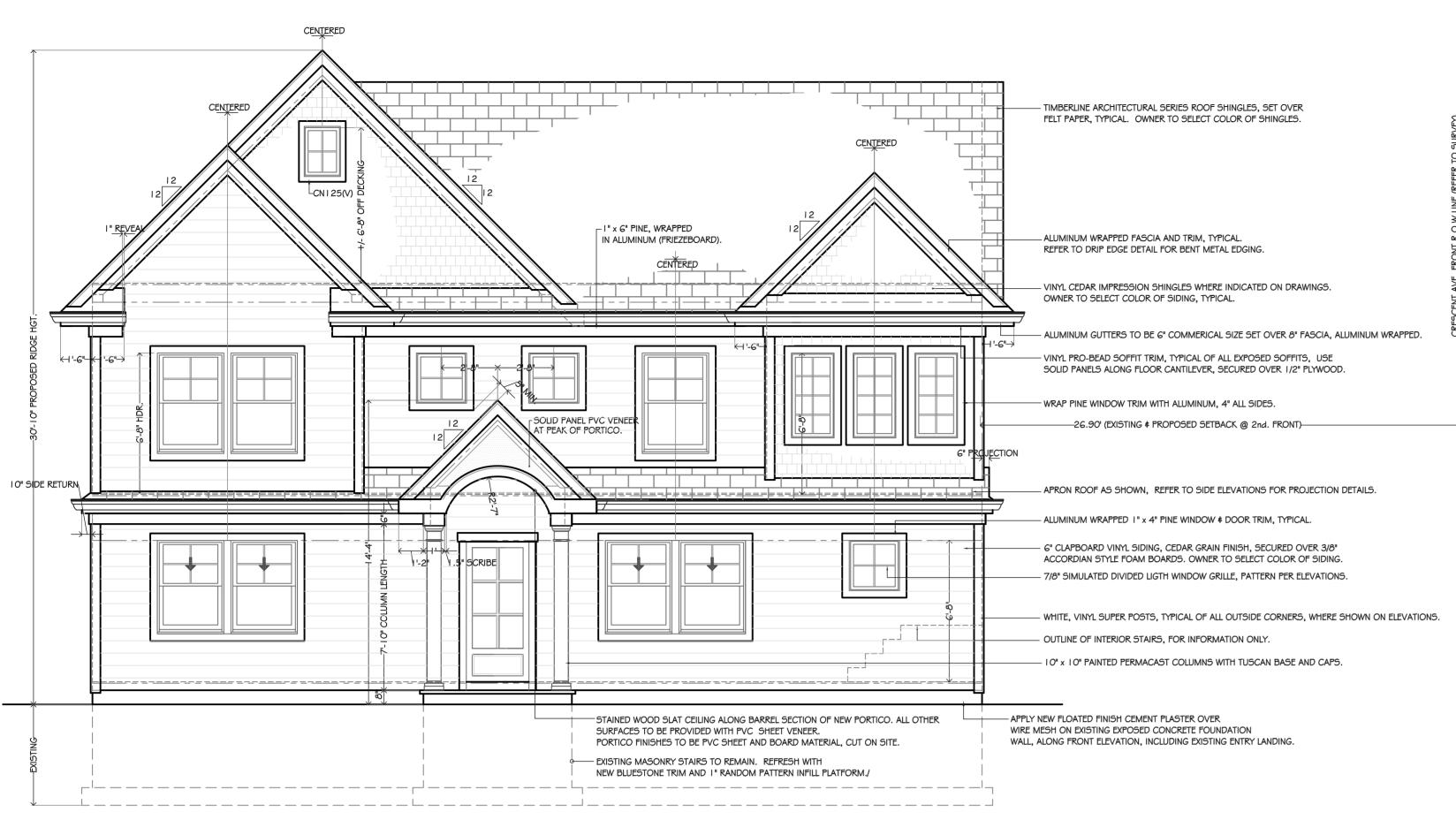


MATT@EVANSARCHITECTS.COM WWW.EVANSARCHITECTS.COM

PROPOSED ADDITION AND RENOVATIONS LOT NO. 11 BLOCK NO. 264 MR. & MRS. ERIC C. POWERS 90 WOOD STREET WYCKOFF N.J BERGEN COUNTY N.J 07481

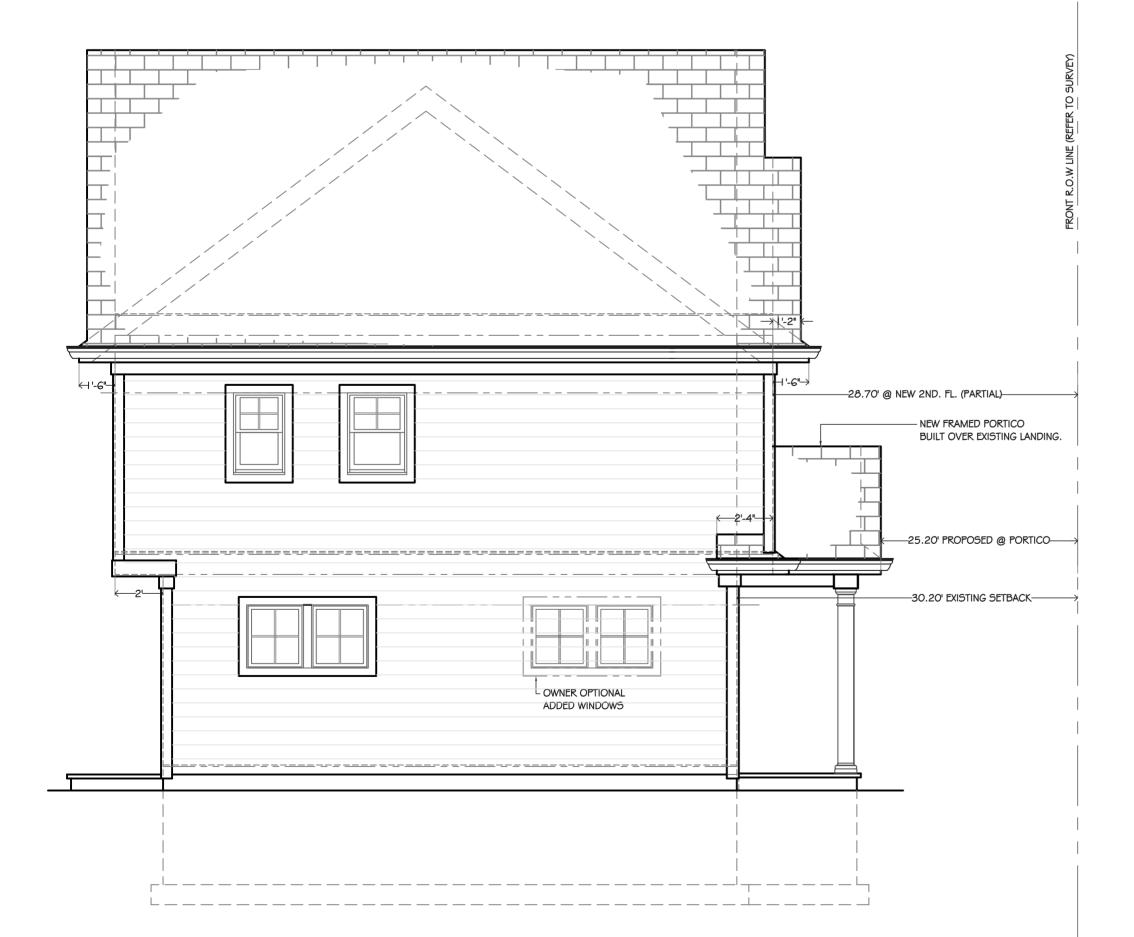
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		R	ΕV	COMMENT	
P.F	10 21 :	21	1	RELEASED FOR PRELIM	INARY BIDS
P.F	01 24	22	2	RELEASED FOR ZONING	& PERMITS
MI	SC. F	RA	M	ING DETAILS 8	& SECTIONS
MATTHEW G. EVANS ARCHITECT PLANNER					SHEET NUMBER
PΔN	II. 13803	RΔNY			A.3

R.A. NJ. 13803 R.A NY. 26125 P.P. NJ. 5662

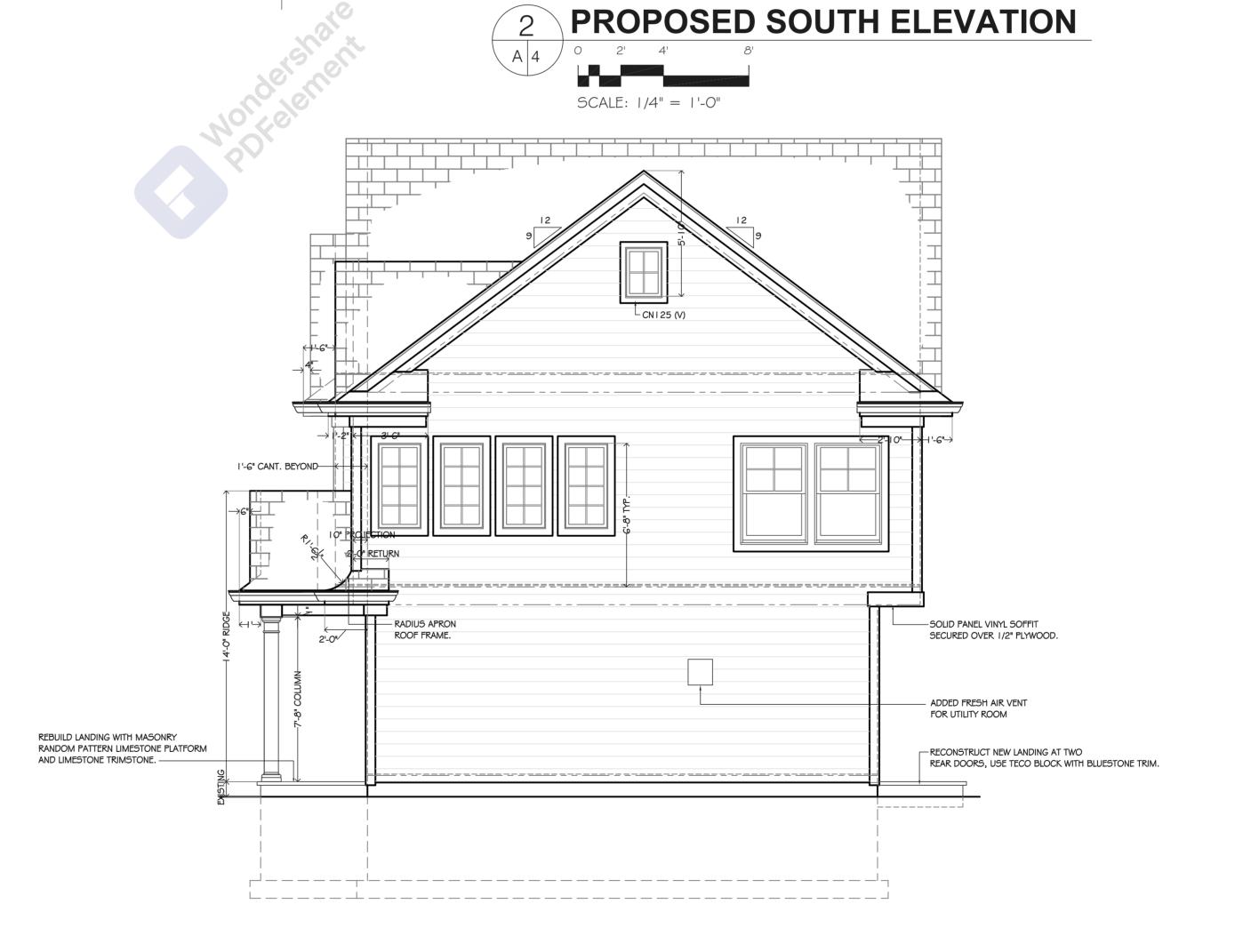




PROPOSED NORTH ELEVATION A 4 0 2' 4' 8'







PROPOSED WEST ELEVATION A 4 0 2' 4' 8'

SCALE: 1/4" = 1'-0"

EVANS ARCHITECTS AIA

MATTHEW G. EVANS ARCHITECT - PROFESSIONAL PLANNER

> 470 CHAMBERLAIN AVENUE PATERSON NEW JERSEY 07522 9 7 3 9 4 2 - 9 0 2 0 MATT@EVANSARCHITECTS.COM WWW.EVANSARCHITECTS.COM

PROPOSED ADDITION AND RENOVATIONS

LOT NO. 11 BLOCK NO. 264
MR. & MRS. ERIC C. POWERS
90 WOOD STREET
WYCKOFF N.J BERGEN COUNTY N.J 07481

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED

PROPOSED EXTERIOR ELEVATIONS

MATTHEW G. EVANS

SHEFT

MATTHEW G. EVANS
ARCHITECT
PLANNER

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