

# Renovation To The Schnurr Residence 605 Buena Vista Way Wyckoff, New Jersey

## GENERAL NOTES

- 1) All Federal, State and Local codes, ordinances, regulations, etc., having jurisdiction, shall be considered as part of the specifications for this building and shall take precedence over anything shown, described or implied when same are at variance.
- 2) Contractor shall review plans, verify all dimensions & existing conditions at the site. Any discrepancies between the plans and actual job conditions are to be brought to the attention of the Architect for clarification prior to start of construction.
- 3) Seven days prior written notice of intent to excavate shall be given to owners of all adjoining lots which may be affected by the foundation work or earth work operations.
- 4) Building Code used : ' International Residential Building Code, 2015 Edition, with N.J.U.C.C. revisions
- 5) Written dimensions shall take preference over scaled dimensions.
- 6) All excavations shall be substantially free of water during foundation construction work.
- 7) All concrete shall be 3000 p.s.i. at 28 days. All concrete shall be reinforced in accordance with the latest edition of the building code.
- 8) All structural steel shall be ASTM A-36, with a fiber stress of 22,000 p.s.i. Steel work shall be fabricated and erected in accordance with the latest A.I.S.C. specification.
- 9) All dimensions on plans are nominal. Critical dimensions are noted "hold". Finished dimensions will vary in actual construction.
- 10) Install all material used in the construction to manufacturers specifications, and to the code.
- 11) The floor system has been designed meet the following specs: Live loads are noted elsewhere on this sheet. Dead load of 15 psf. Live load deflection L/480, Total load deflection L/240. Because the Architect is not aware of the floor material selections and installation methods at this time, the builder must check the following, prior to construction. If the dead load of the floor structure and finishes is to exceed 15 psf, or if the floor finishes require a max. deflection which differs from above ( i.e: ceramic tile, marble, granite, etc.), the contractor shall consult the floor joist manufacturer and the Architect to determine if additional and/or different floor framing and structure is required. If changes are required, then the floor joist manufacturer shall provide calculations of the changes, sealed by a NJ licensed engineer. Provide a copy of the calcs to the Architect.
- 12) HIGH WIND AREAS: IF CONSTRUCTION OFFICAL DETERMINES THIS SITE IS IN A HIGH WIND AREA, ALL FRAMING AND CONNECTIONS SHALL BE IN ACCORDANCE WITH THE AFPA WOOD FRAME CONSTRUCTION MANUAL FOR THE WIND EXPOSURE AND WIND SPEED. FASTEN ALL FRAMING IN ACCORDANCE WITH THE CODE AND THAT MANUAL.
- 13) Step footing note: If step footing is required, contractor can use 4" x 8" precast concrete lintels as footing, each lintel to have two #4 rods cast within, and shall span from foundation wall to higher footing. 6' max. span. thickness of multiple lintels shall match the wall thickness above.

- 1) All footings shall bear on undisturbed soil capable of supporting 3000#/sf. All footings shall be a minimum of 3'-0" below grade. The bearing capacity of the soil is to be determined by the Contractor before construction begins. Specific soil conditions at variance with this shall be brought to the attention of the Architect, by the Contractor in writing, prior to construction.
- 2) Fill all concrete block solid with concrete y=under all wood posts and girders from above.
- 3) All interior footings to step down to perimeter wall footing depth at all footing intersections.
- 4) Site grading shall direct water away from the building.
- 5) 4" brick or stone veneer shall be installed with corrugated metal ties 16" o.c. vertically, and 24" o.c. horizontally. Provide 1" airspace between veneer and sheathing. Provide and flash keep holes 32" o.c.
- 6) Wood framing members shall have a minimum fiber stress of 1450 psi, and minimum modulus of elasticity of E=1,700,000. Except where noted.
- 7) Two 2" x 6" framing sills over foundation walls to be anchored to foundation with 1/2" diameter x 20" long anchor bolts at 6'-0" o.c., 12" max from corners or galv. metal sill straps (Simpson MAB23 or equal), spaced 3'-6" o.c. or as per manufacturer written specifications.
- 8) Where wood framing members are supported by other wood members at a similar elevation, use metal joist hangers of appropriate sizes. Install appropriate hanger or additional post or lally column under engineered wood products which require a greater bearing length.
- 9) All structural wood framing to be 2" clear of flues, chimneys, and fireplaces and 6" clear of flue openings.
- 10) Where partitions are parallel with floor joists, double such members under partition. Double all headers around openings in floors, ceilings, or roofs.
- 11) All wood posts are to be (2) 2"x4" [(3) 2"x4" at corners], except where noted. All posts are to be built up unless noted otherwise.
- 12) Install 5/4" x 3" cross bridging in continuous lines, perpendicular to floor framing, so that no such member has an unbraced length greater than 8'-0". For spans less than 16'-0", install center bridging. Cross bridging is required for dimensional lumber only, unless specified in 1 joist manuf. specs.
- 13) Cover all sheathing for exterior walls and roofs with building wrap with a 4" lap. Sheathing shall cover and be well spiked into foundation sill. Roof sheathing to be 5/8" plywood. Wall sheathing to be 1/2" plywood.
- 14) Wood headers to be (2) 2" x 10", unless noted otherwise.
- 15) Cutting and notching of wood members, if allowed, to be in accordance with manufacturers written specifications, or the IRC.
- 16) Unless specified elsewhere on plans, place attic collar ties at no higher than 6'-11" above attic floor.
- 17) The door from the garage into the residence shall be a self-closing 1 3/8" thick solid wood door or a 20 minute rated fire door.
- 18) Interior walls and ceilings, unless otherwise noted, shall be finished with 1/2" gypsum board, laid up as per manufacturers specifications. All walls facing bathrooms, toilet rooms, or other wet locations, to be finished with water and mold resistant gypsum board from floor to ceiling.
- 19) Provide and Install flashing at all entrance slabs adjacent to wall construction. Provide approved step or continuous flashing at all wall / roof intersections to insure watertight condition. Provide approved blind flashing where required to insure watertight condition. Exterior windows and doors to be flashed as per manufacturer specs, or pan flashed to code. All skylights, metal flues, stacks, or other roof accessories requiring flashing shall be installed as per manufacturers specifications.

- 20) All smoke and CO detectors shall be AC or wirelessly interconnected with battery backup. Install at least one smoke detector on each floor, including basement and habitable attic. A smoke detector shall be located in each sleeping room. Provide a smoke/CO detector in the space leading to a sleeping room, within the immediate vicinity of sleeping room door. Smoke alarm shall be placed not less than 3' horizontally from a bathroom door containing a tub or shower.
- 21) Stairs : Riser 8 1/4" maximum, Treads 9" minimum. 6'-8" minimum headroom, 147" max. vertical rise. Handrails to be between 30" and 38" measured vertically from the nosing of the tread, shall be provided on at least one side of a stairway with 3 or more risers. Handrails shall be continuous for the full length of the stairway. Min. 1 1/2" between wall and handrail. Handrails shall be of a diameter of 1 1/4" to 2" or a non circular cross section with with a perimeter dimension of at least 4", but not more than 6 1/4", and the largest cross section not exceeding 2 1/4".  
  
Guardrails: Porches, or raised floor surfaces more than 30" above the floor or grade below shall have guardrails not less than 36" in height. Open sides of stairs with a total rise of more than 30" shall have guardrails not less than 34" in height, measured vertically from the nosing. Required guardrails shall have intermediate rails or ornamental closures which do not allow the passage of a 4" sphere.  
  
22) There shall be a landing or floor on each side of an exterior door. The width of the landing shall not be less than the door served. The landing shall have a dimension of 36" minimum, measured in the direction of travel.  
  
Floor elevations at required egress doors. Landings or finished floors at the required egress door shall not be more than 1 1/2" lower than the top of the threshold, except that the landing or floor on the exterior side shall be not more than 8 1/4" below the top of the threshold provided the door does not swing over the landing or floor.  
  
Floor elevations for other exterior doors. Exterior doors other than the required egress doors shall be provided with a landing or floors not more than 8 1/4" below the top of the threshold. A top landing is not required where a stairway of not more than 2 risers is located on the exterior side of the door, provided the door does not swing over the stairway.
- 23) Pitch garage floor at least 4" toward the overhead doors.
- 24) Tempered Safety glazing is required in the following locations:
  - All glass within tub and shower enclosures where glass is less than 60" from walking surface.
  - Glass that meets ALL of the following conditions: individual pane is larger than 9 sq. ft., bottom edge is less than 18" above the floor, top edge is more than 36" above the floor, One or more walking surfaces are within 36" of the glazing.
  - Glazing in doors.
  - Glazing adjacent to stairs and ramps. Glazing where the bottom of the bottom exposed edge of glazing is less than 36" above the plane of the adjacent walking surface of stairways, landing between flights of stairs or ramps. Exception: railing, see code.
  - Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36" above the landing and within 60" horizontal arc, less than 180 degrees from the bottom tread nosing.
- 25) All Closets to have one shelf and one clothes pole unless otherwise noted. Linen, Towel and Pantry closets shall have 5 shelves.
- 26) All walls, floors or ceilings separating the Garage from the residence are to be built with a 1 hour fire rating.
- 27) Duct all exhaust fans to the exterior.

- 28) Adhered masonry veneer: Install to manufacturers written specifications. Clearances on exterior stud walls; install a minimum of 4" above earth, a minimum of 2" above paved areas; or a minimum of 1/2" above exterior walking surfaces that are supported by the same foundation that supports the exterior wall.  
A corrosion-resistant screed or flashing of a min. of .019 inch or 26 gage galvanized or plastic with a minimum vertical attachment flange of 3 1/2" shall be installed to extend a minimum of 1" below the foundation plate line or exteriorstud walls in accordance with IRC R703.4.
- 29) Emergency escape. Every sleeping room shall have not less than one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, and emergency escape and rescue opening shall be required in each sleeping room. The windows shall have a sill height not more than 44 inches above the floor. All egress or rescue windows from sleeping rooms must have a minimum net clear opening of 5.7 square feet. The minimum net clear opening height dimension shall be 24 inches. The minimum net clear opening width dimension shall be 20 inches. Where below grade egress windows are required, a window well shall not be less tan 9 sq. ft, with a horizontal projection and width not less than 36". The area of the window well shall allow the emergency escape and rescue opening to be fully opened. Window wells greater than 44" in depth shall have a permanently affixed ladder or steps usable when the window is in the fully open position. See IRC R310.2.3.1 for additional details. Window wells shall be properly drained by connecting to building foundation drain or another approved method.
- 30) All operative windows shall have screens and interior sash locks.
- 31) Floor assemblies that are not required elsewhere in the code to be fire resistance rated, shall be provided with 1/2" gypsum wallboard membrane, 5/8" wood structural panel membrane, or equivalent on the underside of the floor framing member. Penetrations or openings for ducts, vents, electrical outlets, lighting devices, luminaries, wires, speakers, drainage, piping and similar openings and penetrations shall be permitted.  
Exceptions:
  - Floor assemblies located directly over a space protected by an approved automatic sprinkler system.
  - Floor assemblies located directly over a crawl space not intended for storage or fuel-fired appliances.
  - Portions of floor assemblies shall be permitted to be unprotected where complying to the following: The aggregate are of the unprotected portions does not exceed 80 sq ft per story. Also, fireblocking in accordance with IRC R 302.11.1 is installed along the perimeter of the unprotected portion from the remainder of the floor assembly.
  - Wood floor assemblies using dimension lumber or structural composite lumber equal to or greater than 2x10" nominal dimension, or other approved floor assemblies demonstrating equivalent fire performance. (approved spray on or factory installed intumescent coating)
- 32) Provide draft stopping in the following locations :  
Where ceiling is suspended under floor framing, divide the space between the suspended ceiling and the floor framing into max. 1000 s.f. compartments with 1/2" gyp. bd. or 3/8" plywood.
- 33) Provide fire stopping in the following locations :  
In concealed spaces of stud partitions, incl. furred spaces, at the ceiling and floor level. At all interconnections between concealed vertical and horizontal spaces, such as soffits, drop ceilings, etc..  
  
In concealed spaces between stair stringers at the top and bottom of the run.  
  
At openings at pipes, vents, ducts, chimneys and fireplaces at ceiling and floor levels with non combustible materials.  
  
Fire stopping shall consist of 2" nominal lumber or as per the building code.

- 34) When the openings of an operable window is located more than 72" above the finished grade or surface below, the lowest part of the clear opening shall be a minimum of 24" above the finished floor of the room where the window is located. Glazing between the floor and 24" shall be fixed or have openings where a 4" dimter ball can not pass.
- 35) Roof vents: the total net free ventilating area shall not be less than 1/150 of the area to be ventilated, except that the area may be 1/300 provided at least 50% of the required ventilating area is provided by ventilators located in the upper portion of the space to be ventilated at least 3 feet above eaves or cornice vents with balance of the required ventilation provided by cornice vents, 1" min. between insulation and sheathg
- 36) Crawl space : 3'-0" minimum clear from bottom of joists to the top of the concrete floor.

## PLUMBING NOTES

All work to be done in accordance with the "National Standard Plumbing Code" with NJUCC amendments.  
Pipes larger than 3/4" in hot water systems to have R-3 insulation.

## ELECTRICAL NOTES

All work to be done in accordance with the "National Electrical Code, with NJUCC amendments.  
  
Schematic electrical plan shown. Owner to determine final electrical design, and coordinate with contractor.

Ground fault circuit interrupter type receptacles shall be installed in all bathrooms, garages, outdoor receptacles, decks, porches, balconies and receptacles within 6 feet of bar or kitchen sinks | Provide 1 GFCI outlet, in Garage, for each Garage bay.

## MECHANICAL NOTES

All work to be done in accordance with the ICC Residential Code, IECC Energy Code & ICC Mechanical Code, with current NJUCC amendments.

Provide whole house ventilation as per IRC-M1507.  
Install dryer exhaust duct to code.  
Install air exhaust openings to manuf specs and code.  
Cooking appliances must be approved for residential use.  
Provide makeup air for fuel burning appliances to code.

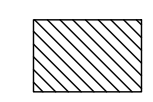
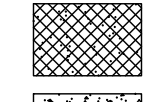

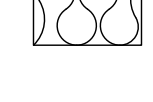
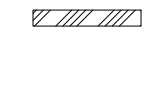
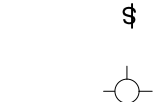
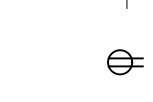

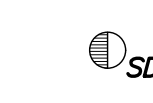




## ENERGY CONSERVATION NOTES

All work to comply with the "N.J. Uniform Construction Code".  
  
Prescriptive method determining energy compliance is used on this project. The Energy Subcode separates New Jersey into two climate zones as follows:  
Zone 4A - Atlantic, Burlington, Camden, Cape May, Cumberland, Essex, Gloucester, Hudson, Middlesex, Monmouth, Ocean, Salem, and Union counties;  
Zone - 5A : Bergen, Hunterdon, Mercer, Morris, Passaic, Somerset, Sussex and Warren counties.  
  
Full stairs to attic to have exterior door, with seals. Pulldown stairs and attic hatches to be boxed in same R-value as ceiling it penetrates.

## AREA STATISTICS

First Floor Addition : Square Feet  
Second Floor Addition: Square Feet  
Total Floor Addition : Square Feet  
(Not Including Unfinished Basement)  
Volume : O Cubic Feet

## LEGEND

	BRICK VENEER (PLAN VIEW)
	CONCRETE BLOCK
	CONCRETE
	FIBERGLASS BATT INSULATION
	WALL BRACING LOCATION
	ELECTRIC SWITCH
	DOWNLIGHT
	DUPLEX ELECTRIC OUTLET
	WALL MOUNTED LIGHT FIXTURE
	SMOKE DETECTOR
	SHEETROCK OPENING
	TRIMMED OPENING
	PARALLAM

## DESIGN LIVE LOADS

First Floor: 40 psf  
Attic w/ fixed stair : 30 psf  
Roof (Snow) : 30 psf  
Deck : 40 psf

## CONSTRUCTION INFO

USE GROUP : R5  
CONSTRUCTION CLASS : 5B



18 SYCAMORE AVENUE  
HOHOKUS, NEW JERSEY 07423  
201.444.8333 | MORPURGOARCHITECTS.COM

NCARB  
NJ C5157  
NY 008270  
CT 9239

*M. Morpurgo*

DATE/REVISION

11/1/21 - 1 - REVISED PER ZONING REVIEW

DATE/ISSUE:

## TITLE SHEET

DRAWING TITLE:

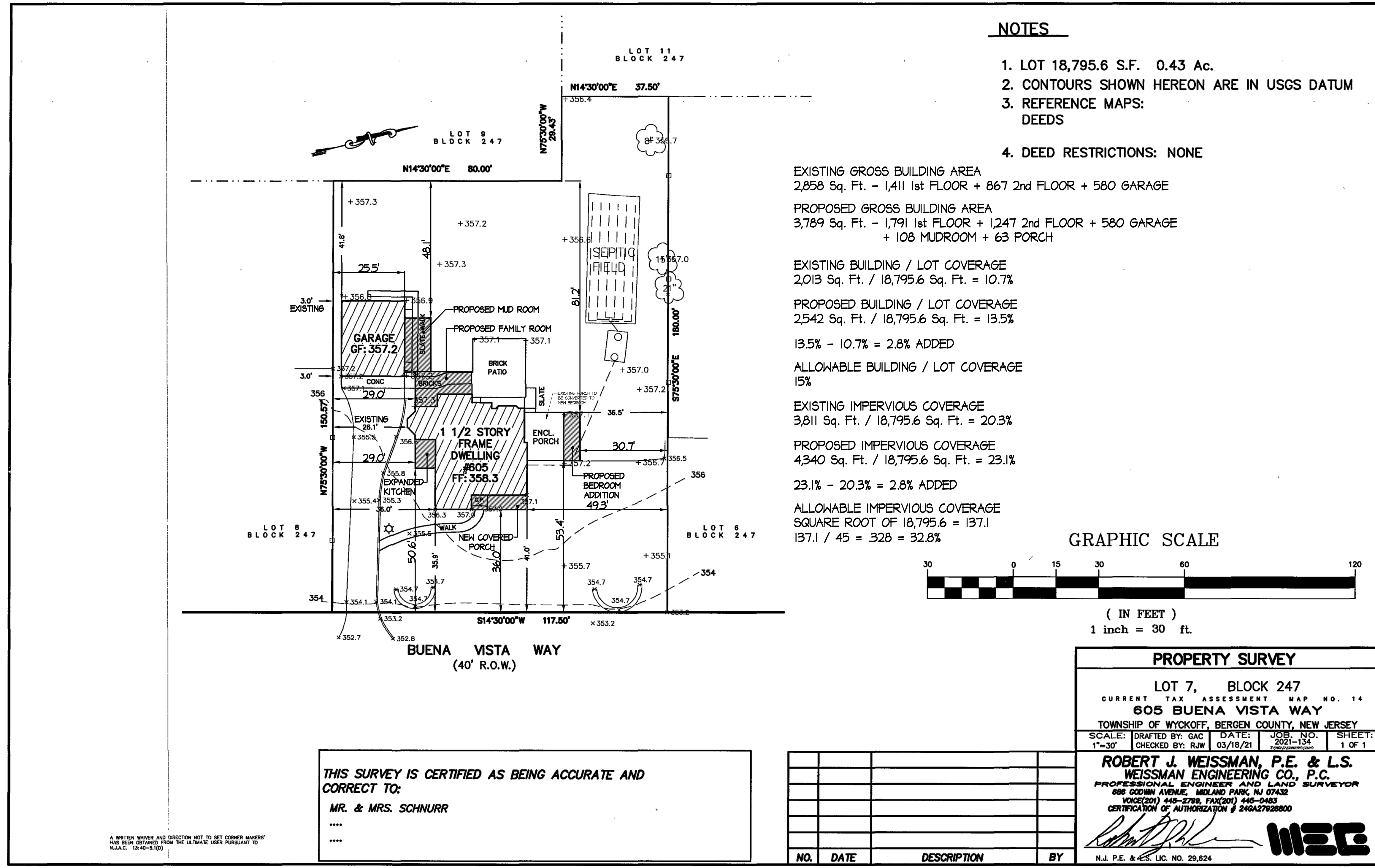
**SCHNURR  
RESIDENCE**  
605 Buena Vista Way  
Wyckoff, New Jersey

PROJECT:  
DATE:  
MARCH 18, 2021  
SCALE:  
AS NOTED

DRAWING No.:

T-1





**NOTES**

1. LOT 18,795.6 S.F. 0.43 Ac.
2. CONTOURS SHOWN HEREON ARE IN USGS DATUM
3. REFERENCE MAPS:  
DEEDS
4. DEED RESTRICTIONS: NONE

EXISTING GROSS BUILDING AREA  
 2,858 Sq. Ft. - 1,411 1st FLOOR + 867 2nd FLOOR + 580 GARAGE

PROPOSED GROSS BUILDING AREA  
 3,789 Sq. Ft. - 1,791 1st FLOOR + 1,247 2nd FLOOR + 580 GARAGE  
 + 108 MUDROOM + 63 PORCH

EXISTING BUILDING / LOT COVERAGE  
 2,013 Sq. Ft. / 18,795.6 Sq. Ft. = 10.7%

PROPOSED BUILDING / LOT COVERAGE  
 2,542 Sq. Ft. / 18,795.6 Sq. Ft. = 13.5%

13.5% - 10.7% = 2.8% ADDED

ALLOWABLE BUILDING / LOT COVERAGE  
 15%

EXISTING IMPERVIOUS COVERAGE  
 3,811 Sq. Ft. / 18,795.6 Sq. Ft. = 20.3%

PROPOSED IMPERVIOUS COVERAGE  
 4,340 Sq. Ft. / 18,795.6 Sq. Ft. = 23.1%

23.1% - 20.3% = 2.8% ADDED

ALLOWABLE IMPERVIOUS COVERAGE  
 SQUARE ROOT OF 18,795.6 = 137.1  
 137.1 / 45 = .328 = 32.8%

**GRAPHIC SCALE**



( IN FEET )  
 1 inch = 30 ft.

**PROPERTY SURVEY**

LOT 7, BLOCK 247  
 CURRENT TAX ASSESSMENT MAP NO. 14  
**605 BUENA VISTA WAY**  
 TOWNSHIP OF WYCKOFF, BERGEN COUNTY, NEW JERSEY

SCALE: 1"=30'  
 DRAFTED BY: GAC  
 CHECKED BY: RJW  
 DATE: 03/18/21  
 JOB. NO.: 2021-134  
 SHEET: 1 OF 1

**ROBERT J. WEISSMAN, P.E. & L.S.**  
**WEISSMAN ENGINEERING CO., P.C.**  
 PROFESSIONAL ENGINEER AND LAND SURVEYOR  
 686 GODWIN AVENUE, MIDLAND PARK, NJ 07432  
 VOICE(201) 445-2798, FAX(201) 445-0463  
 CERTIFICATION OF AUTHORIZATION # 246A27928800

N.J. P.E. & L.S. LIC. NO. 29,624

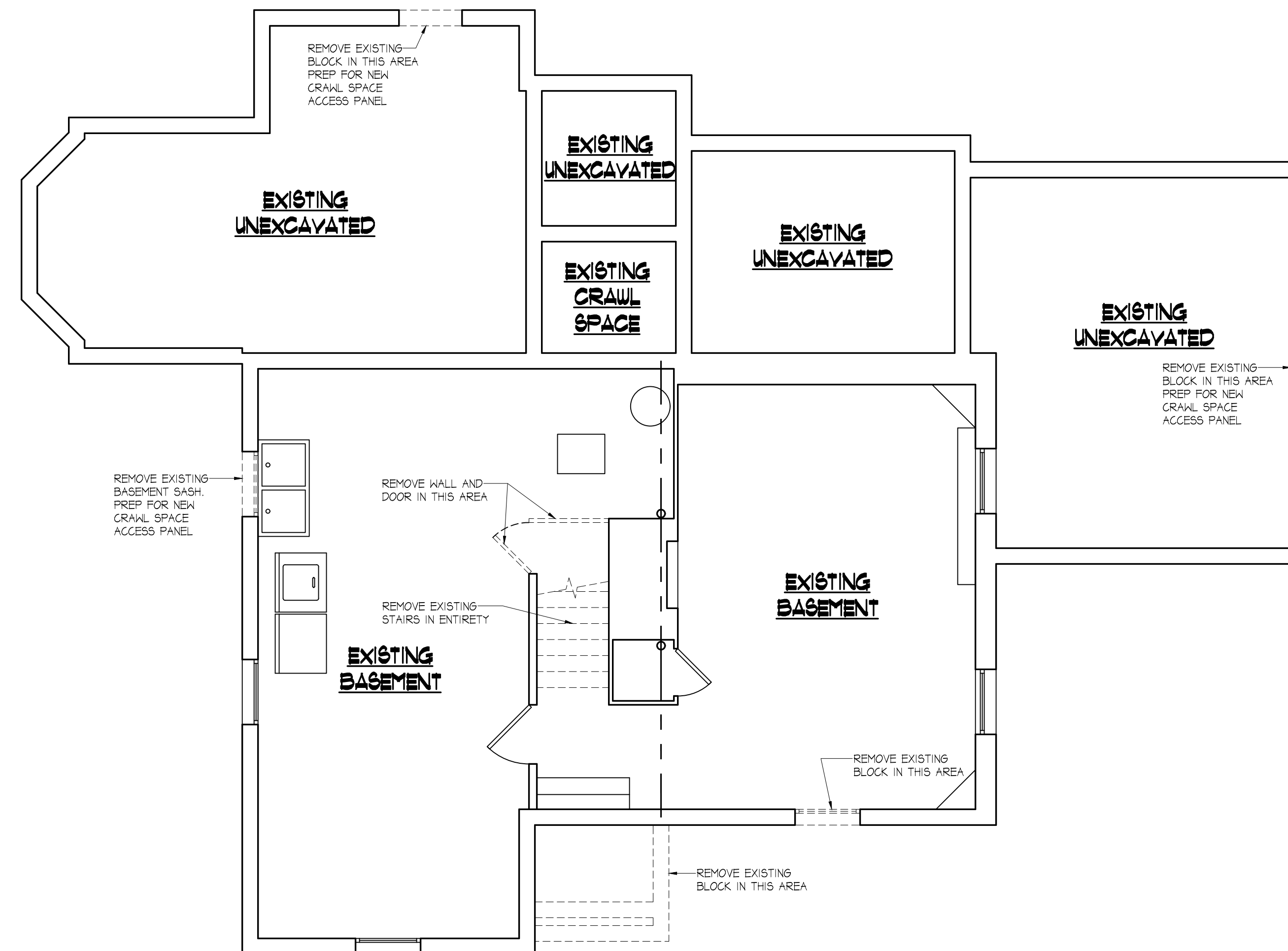
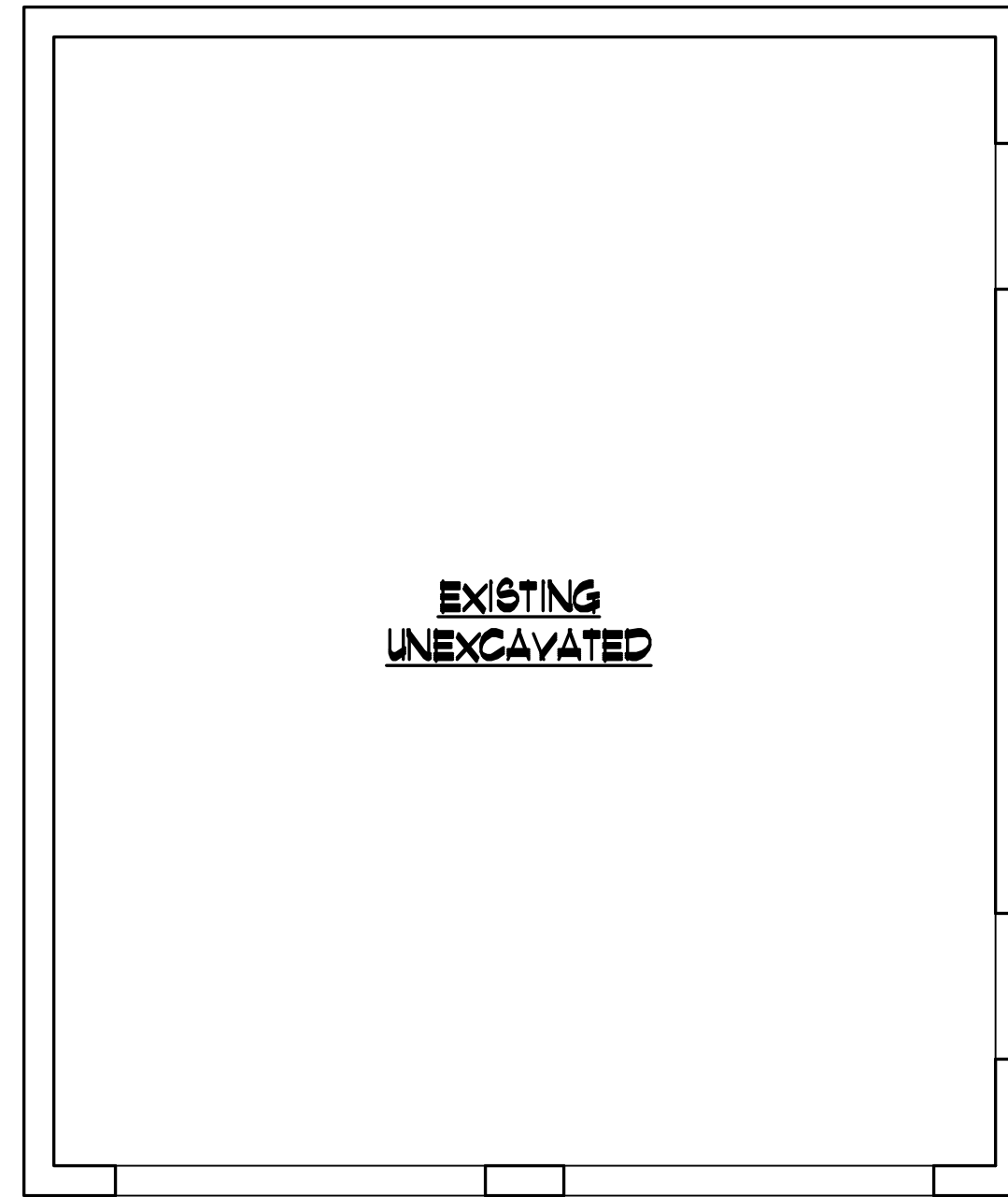
THIS SURVEY IS CERTIFIED AS BEING ACCURATE AND CORRECT TO:  
 MR. & MRS. SCHNURR  
 \*\*\*\*  
 \*\*\*\*

NO.	DATE	DESCRIPTION	BY

**SITE PLAN**  
 SCALE: 1" = 20'

A WRITTEN WAIVER AND DECLARATION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO N.J.A.C. 17:27-5.1(d)





**DEMOLITION NOTES:**

- 1) DEMOLISH AND REMOVE WALLS AS DESIGNATED ON THE DEMOLITION PLAN. PROTECT ALL ADJACENT AS NECESSARY.
- 2) ALL DEMOLITION SHALL BE PERFORMED BY SKILLED MECHANICS, LICENSED IN THEIR TRADE IF REQUIRED.
- 3) REMOVE DOORS, SADDLES AND DOOR FRAMES AS SHOWN ON THE DRAWINGS.
- 4) PROTECT ALL FLOORS WHICH ARE INDICATED ON THE DRAWINGS TO REMAIN.
- 5) ALL ELECTRICAL LINES DISTURBED BY THE DEMOLITION OF WALLS, CEILINGS AND FLOORS SHALL BE PROPERLY REMOVED BACK TO PANEL BOX. COMMUNICATIONS LINES SHALL BE REMOVED, CAPPED, RELOCATED AND / OR MODIFIED AS PER THE OWNER'S INSTRUCTIONS.
- 6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ANY ADDITIONAL DEMOLITION AND REMOVAL AS MAY BE REQUIRED BY THE SCOPE OF THE CONTRACT DOCUMENTS.
- 7) THE CONTRACTOR SHALL TAKE CARE DURING DEMOLITION TO MAINTAIN EXISTING SERVICES (I.E. GAS, ELECTRIC, ETC.) ANY DAMAGE TO THE BUILDING OR FURNITURE AND DECOR WITHIN DURING THE COURSE OF THE WORK, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DEMOLITION SHALL BE PERFORMED WITH MINIMUM INTERFERENCE TO BUILDING CORRIDORS, SIDEWALKS AND FACILITIES.
- 8) THE CONTRACTOR SHALL ASSUME RISK REGARDING DAMAGE OR LOSS WHETHER BY REASON OF FIRE, THEFT OR ANY OTHER CASUALTY TO THE DEMISED PREMISES AFTER THE CONTRACT IS SIGNED. NO SUCH DAMAGE OR LOSS SHALL RELIEVE THE CONTRACTOR FROM CONTRACT OBLIGATION TO COMPLETE THE WORK.
- 9) THE CONTRACTOR SHALL DISPOSE OF ALL DEMOLISHED MATERIAL, INCLUDING CARTING AWAY DEMOLISHED MATERIAL FROM THE SITE, IN A MANNER APPROVED BY THE BUILDING MANAGEMENT AND GOVERNMENT REGULATIONS, IMMEDIATELY AFTER DEMOLITION, UNLESS OTHERWISE INSTRUCTED BY THE ARCHITECT.
- 10) ALL MATERIALS NOTED FOR DEMOLITION BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE. THE CONTRACTOR SHALL CHECK WITH OWNER REGARDING RETAINAGE AND / OR RELOCATION OF ALL EQUIPMENT AND MATERIALS REMOVED.
- 11) ALL ADJACENT BUILDING AREAS TO BE THOROUGHLY PROTECTED DURING REMOVALS. ALL WALLS AND FLOORS TO BE PROTECTED ALONG PASSAGEWAYS TO STREET. ELEVATOR CABS TO BE PROTECTED AS REQUIRED. ALL DUST AND DEBRIS TO BE CONTAINED WITHIN THE AREA OF WORK.
- 12) THE CONTRACTOR IS REQUIRED TO PROVIDE PATCHING AND REPAIR TO ADJACENT WALLS, CEILINGS AND FLOORS DAMAGED IN THE COURSE OF DEMOLITION AND REMOVAL.
- 13) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL FEES, PERMITS AND INSPECTIONS WHEN AND IF REQUIRED IN CONNECTION WITH THE DEMOLITION, REMOVAL AND DISPOSAL OF ALL DEBRIS.
- 14) ALL MOVABLE FURNITURE, AND EQUIPMENT SHALL BE REMOVED FROM THE WORK AREA BY THE OWNER PRIOR TO START OF ANY DEMOLITION WORK.

**FOUNDATION DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"



18 SYCAMORE AVENUE  
HOHOKUS, NEW JERSEY 07423  
201.444.8333 | MORPURGOARCHITECTS.COM

NCARB  
NJ C5157  
NY 008270  
CT 9239

DATE/REVISION:

11/1/21 - 1 - REVISED PER ZONING REVIEW

DATE/ISSUE:

**DEMOLITION PLANS**

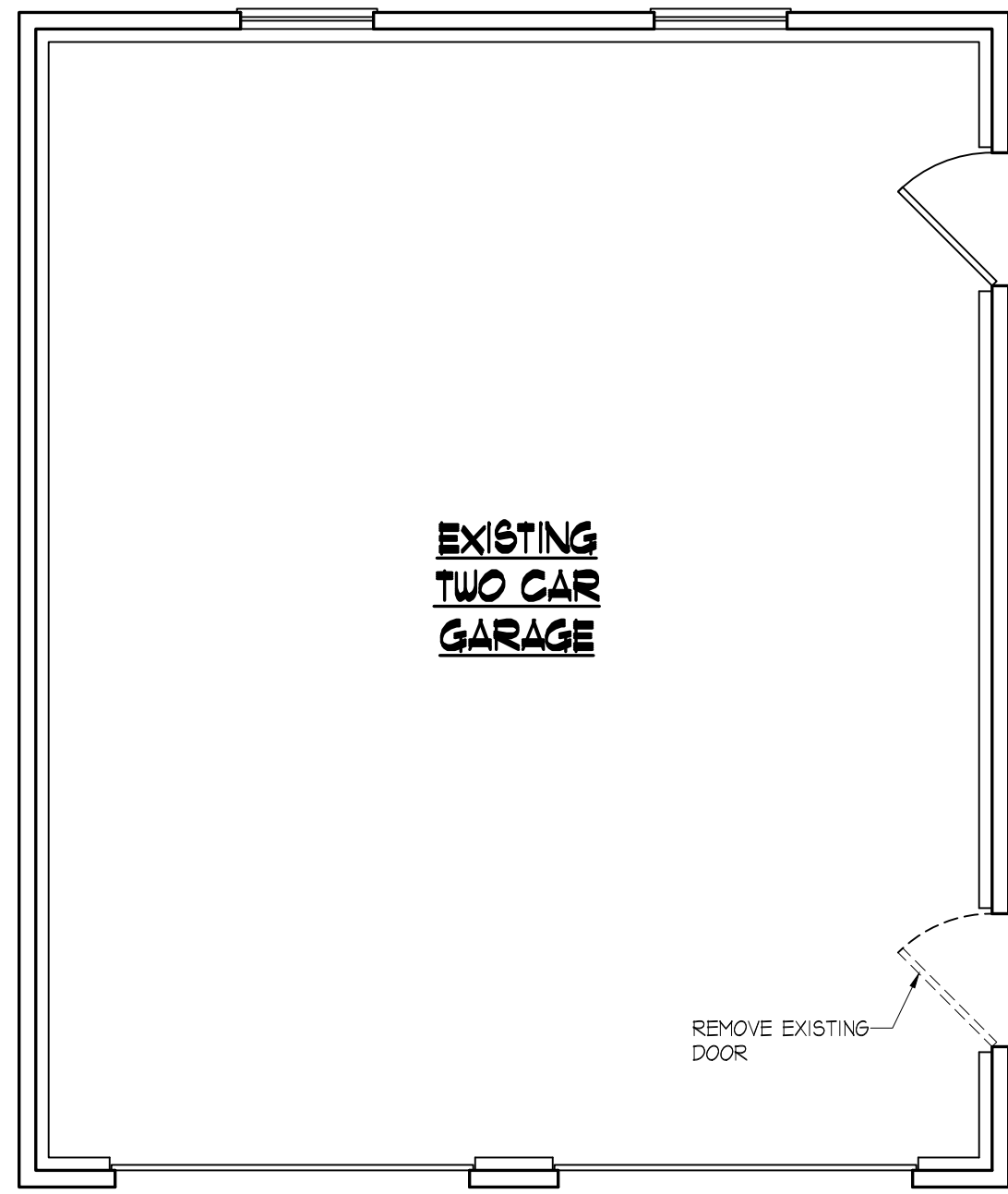
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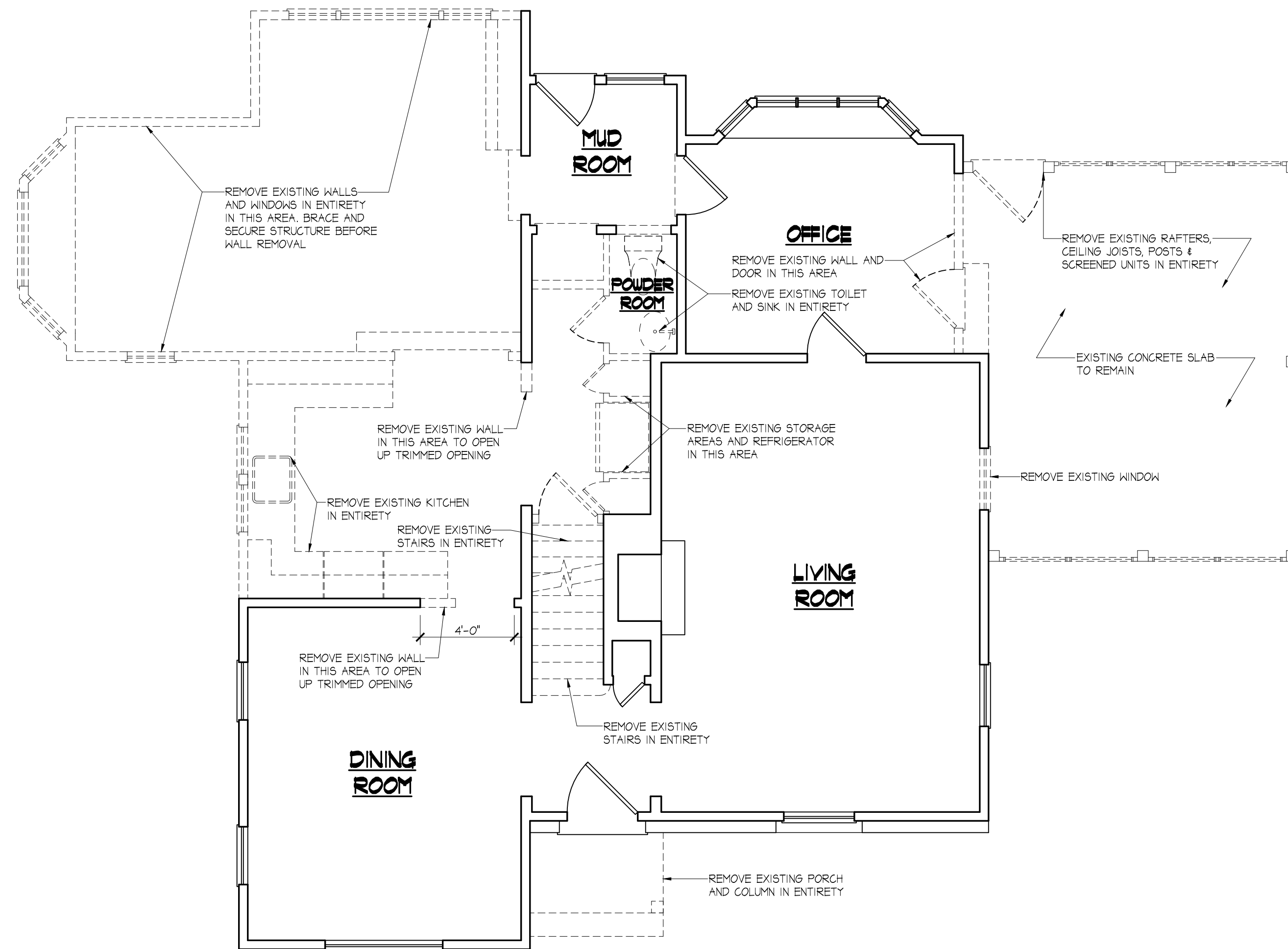
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**D-1**



EXISTING  
TWO CAR  
GARAGE

REMOVE EXISTING  
DOOR



REMOVE EXISTING WALLS  
AND WINDOWS IN ENTIRETY  
IN THIS AREA. BRACE AND  
SECURE STRUCTURE BEFORE  
WALL REMOVAL

MUD  
ROOM

OFFICE

POWDER  
ROOM

REMOVE EXISTING WALL AND  
DOOR IN THIS AREA

REMOVE EXISTING TOILET  
AND SINK IN ENTIRETY

REMOVE EXISTING RAFTERS,  
CEILING JOISTS, POSTS &  
SCREENED UNITS IN ENTIRETY

EXISTING CONCRETE SLAB  
TO REMAIN

REMOVE EXISTING HALL  
IN THIS AREA TO OPEN  
UP TRIMMED OPENING

REMOVE EXISTING STORAGE  
AREAS AND REFRIGERATOR  
IN THIS AREA

REMOVE EXISTING WINDOW

REMOVE EXISTING KITCHEN  
IN ENTIRETY

REMOVE EXISTING  
STAIRS IN ENTIRETY

LIVING  
ROOM

REMOVE EXISTING WALL  
IN THIS AREA TO OPEN  
UP TRIMMED OPENING

4'-0"

REMOVE EXISTING  
STAIRS IN ENTIRETY

DINING  
ROOM

REMOVE EXISTING PORCH  
AND COLUMN IN ENTIRETY

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- 6.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ANY ADDITIONAL DEMOLITION AND REMOVAL AS MAY BE REQUIRED BY THE SCOPE OF THE CONTRACT DOCUMENTS.
- 7.) THE CONTRACTOR SHALL TAKE CARE DURING DEMOLITION TO MAINTAIN EXISTING SERVICES (I.E. GAS, ELECTRIC, ETC.) ANY DAMAGE TO THE BUILDING OR FURNITURE AND DECOR WITHIN DURING THE COURSE OF THE WORK, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DEMOLITION SHALL BE PERFORMED WITH MINIMUM INTERFERENCE TO BUILDING CORRIDORS, SIDEWALKS AND FACILITIES.
- 8.) THE CONTRACTOR SHALL ASSUME RISK REGARDING DAMAGE OR LOSS WHETHER BY REASON OF FIRE, THEFT, OR ANY OTHER CASUALTY TO THE DEMISED PREMISES AFTER THE CONTRACT IS SIGNED. NO SUCH DAMAGE OR LOSS SHALL RELIEVE THE CONTRACTOR FROM CONTRACT OBLIGATION TO COMPLETE THE WORK.
- 9.) THE CONTRACTOR SHALL DISPOSE OF ALL DEMOLISHED MATERIAL, INCLUDING CARTING AWAY DEMOLISHED MATERIAL FROM THE SITE, IN A MANNER APPROVED BY THE BUILDING MANAGEMENT AND GOVERNMENT REGULATIONS, IMMEDIATELY AFTER DEMOLITION, UNLESS OTHERWISE INSTRUCTED BY THE ARCHITECT.
- 10.) ALL MATERIALS NOTED FOR DEMOLITION BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE. THE CONTRACTOR SHALL CHECK WITH OWNER REGARDING RETAINAGE AND / OR RELOCATION OF ALL EQUIPMENT AND MATERIALS REMOVED.
- 11.) ALL ADJACENT BUILDING AREAS TO BE THOROUGHLY PROTECTED DURING REMOVALS. ALL WALLS AND FLOORS TO BE PROTECTED ALONG PASSAGEWAYS TO STREET. ELEVATOR CABS TO BE PROTECTED AS REQUIRED. ALL DUST AND DEBRIS TO BE CONTAINED WITHIN THE AREA OF WORK.
- 12.) THE CONTRACTOR IS REQUIRED TO PROVIDE PATCHING AND REPAIR TO ADJACENT WALLS, CEILINGS AND FLOORS DAMAGED IN THE COURSE OF DEMOLITION AND REMOVAL.
- 13.) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL FEES, PERMITS AND INSPECTIONS WHEN AND IF REQUIRED IN CONNECTION WITH THE DEMOLITION, REMOVAL AND DISPOSAL OF ALL DEBRIS.
- 14.) ALL MOVABLE FURNITURE, AND EQUIPMENT SHALL BE REMOVED FROM THE WORK AREA BY THE OWNER PRIOR TO START OF ANY DEMOLITION WORK.



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*M. Purgo*

DATE/REVISION:

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DATE/ISSUE:

**DEMOLITION PLANS**

DRAWING TITLE:

**SCHNURR  
RESIDENCE**  
605 Buena Vista Way  
Wyckoff, New Jersey

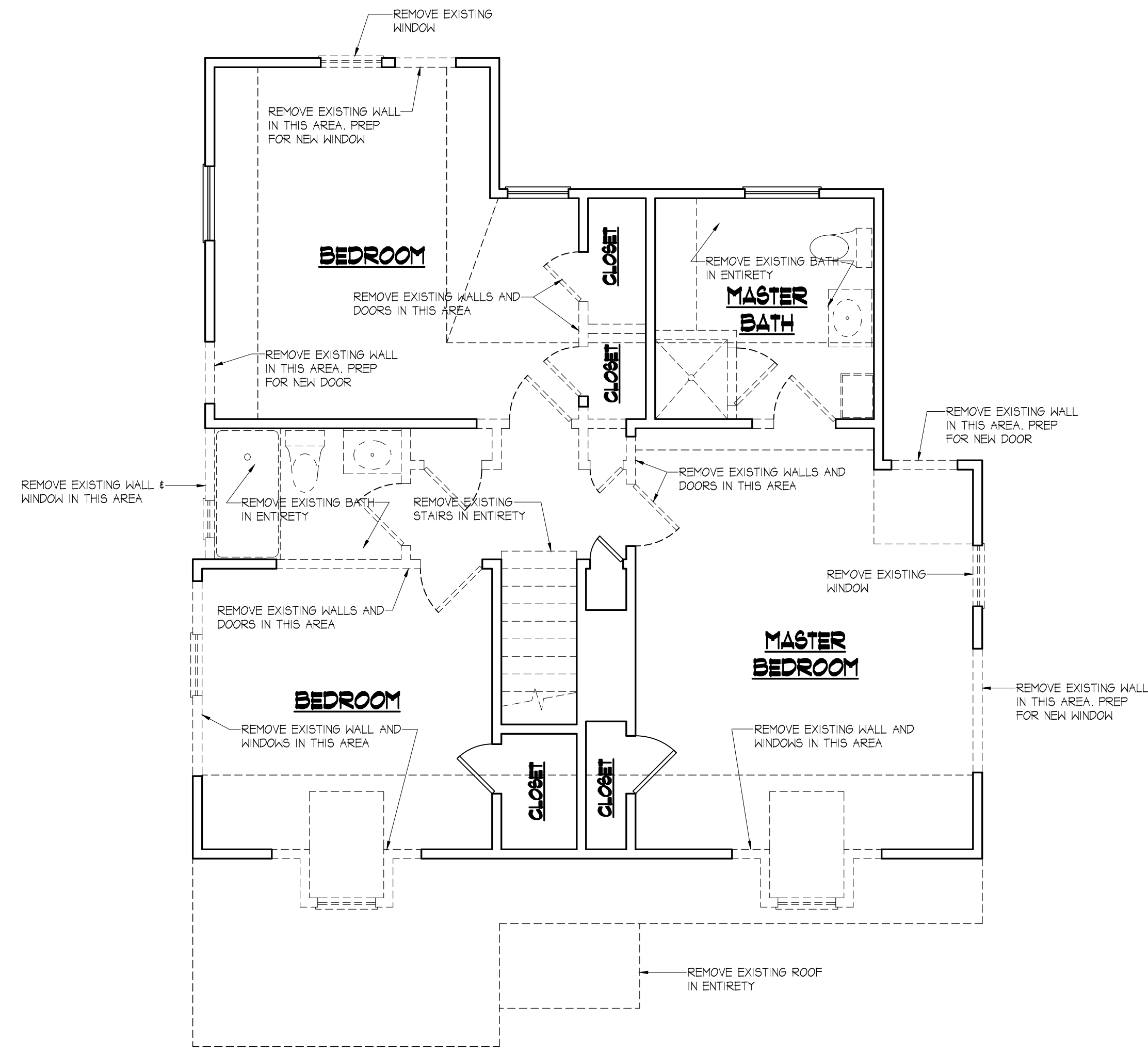
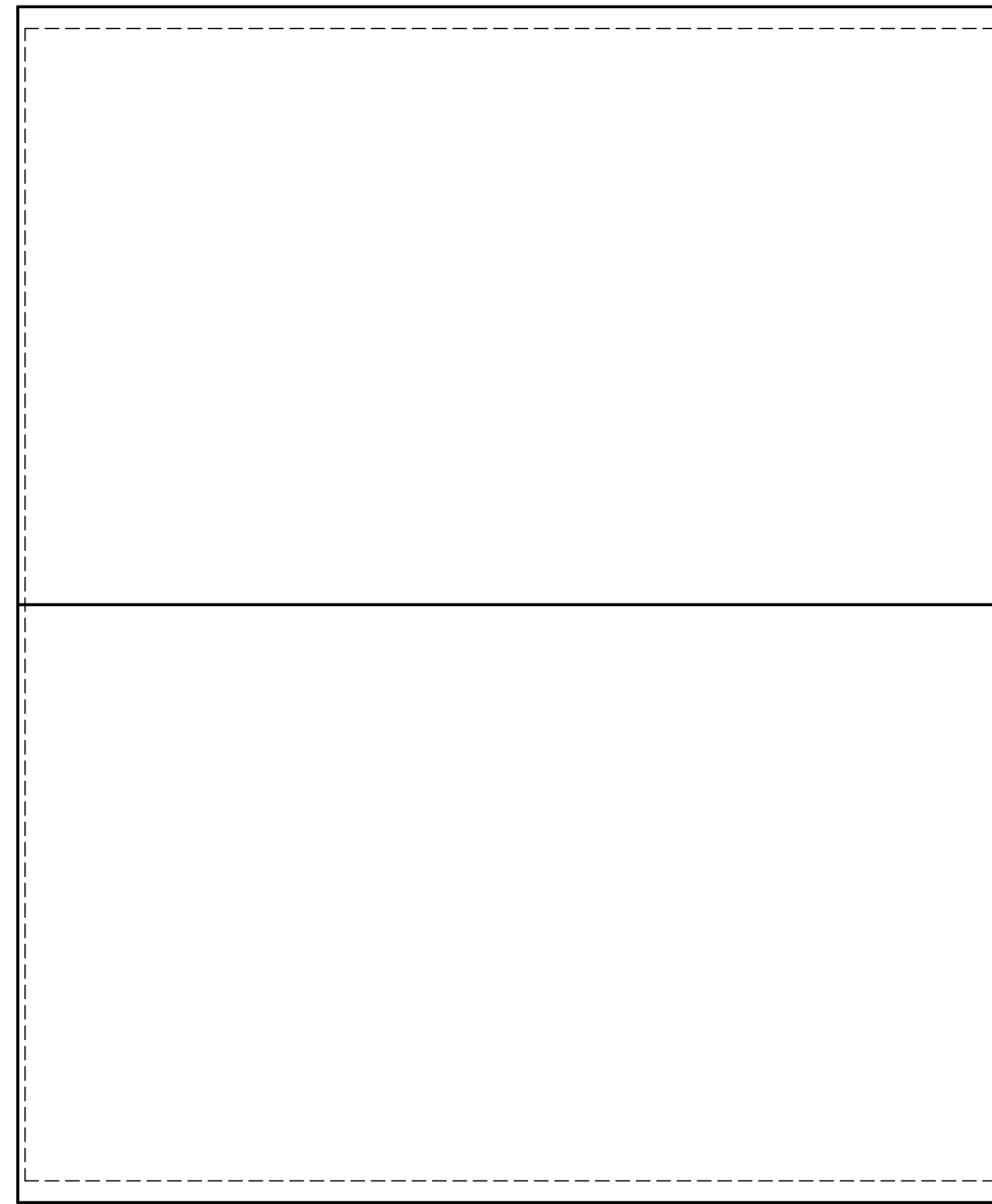
PROJECT:  
DATE:  
MARCH 18, 2021  
SCALE:  
AS NOTED

DRAWING No.:

**D-2**

**FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"





**SECOND FLOOR DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

**DEMOLITION NOTES:**

- 1.) DEMOLISH AND REMOVE WALLS AS DESIGNATED ON THE DEMOLITION PLAN. PROTECT ALL ADJACENT AS NECESSARY.
- 2.) ALL DEMOLITION SHALL BE PERFORMED BY SKILLED MECHANICS, LICENSED IN THEIR TRADE IF REQUIRED.
- 3.) REMOVE DOORS, SADDLES AND DOOR FRAMES AS SHOWN ON THE DRAWINGS.
- 4.) PROTECT ALL FLOORS WHICH ARE INDICATED ON THE DRAWINGS TO REMAIN.
- 5.) ALL ELECTRICAL LINES DISTURBED BY THE DEMOLITION OF WALLS, CEILINGS AND FLOORS SHALL BE PROPERLY REMOVED BACK TO PANEL BOX. COMMUNICATIONS LINES SHALL BE REMOVED, CAPPED, RELOCATED AND / OR MODIFIED AS PER THE OWNER'S INSTRUCTIONS.
- 6.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ANY ADDITIONAL DEMOLITION AND REMOVAL AS MAY BE REQUIRED BY THE SCOPE OF THE CONTRACT DOCUMENTS.
- 7.) THE CONTRACTOR SHALL TAKE CARE DURING DEMOLITION TO MAINTAIN EXISTING SERVICES (I.E. GAS, ELECTRIC, ETC.) ANY DAMAGE TO THE BUILDING OR FURNITURE AND DECOR WITHIN DURING THE COURSE OF THE WORK, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DEMOLITION SHALL BE PERFORMED WITH MINIMUM INTERFERENCE TO BUILDING CORRIDORS, SIDEWALKS AND FACILITIES.
- 8.) THE CONTRACTOR SHALL ASSUME RISK REGARDING DAMAGE OR LOSS WHETHER BY REASON OF FIRE, THEFT, OR ANY OTHER CASUALTY TO THE DEMISED PREMISES AFTER THE CONTRACT IS SIGNED. NO SUCH DAMAGE OR LOSS SHALL RELIEVE THE CONTRACTOR FROM CONTRACT OBLIGATION TO COMPLETE THE WORK.
- 9.) THE CONTRACTOR SHALL DISPOSE OF ALL DEMOLISHED MATERIAL, INCLUDING CARTING AWAY DEMOLISHED MATERIAL FROM THE SITE, IN A MANNER APPROVED BY THE BUILDING MANAGEMENT AND GOVERNMENT REGULATIONS, IMMEDIATELY AFTER DEMOLITION, UNLESS OTHERWISE INSTRUCTED BY THE ARCHITECT.
- 10.) ALL MATERIALS NOTED FOR DEMOLITION BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE. THE CONTRACTOR SHALL CHECK WITH OWNER REGARDING RETAINAGE AND / OR RELOCATION OF ALL EQUIPMENT AND MATERIALS REMOVED.
- 11.) ALL ADJACENT BUILDING AREAS TO BE THOROUGHLY PROTECTED DURING REMOVALS. ALL WALLS AND FLOORS TO BE PROTECTED ALONG PASSAGEWAYS TO STREET. ELEVATOR CABS TO BE PROTECTED AS REQUIRED. ALL DUST AND DEBRIS TO BE CONTAINED WITHIN THE AREA OF WORK.
- 12.) THE CONTRACTOR IS REQUIRED TO PROVIDE PATCHING AND REPAIR TO ADJACENT WALLS, CEILINGS AND FLOORS DAMAGED IN THE COURSE OF DEMOLITION AND REMOVAL.
- 13.) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL FEES, PERMITS AND INSPECTIONS WHEN AND IF REQUIRED IN CONNECTION WITH THE DEMOLITION, REMOVAL AND DISPOSAL OF ALL DEBRIS.
- 14.) ALL MOVABLE FURNITURE, AND EQUIPMENT SHALL BE REMOVED FROM THE WORK AREA BY THE OWNER PRIOR TO START OF ANY DEMOLITION WORK.



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**DEMOLITION PLANS**

DRAWING TITLE:

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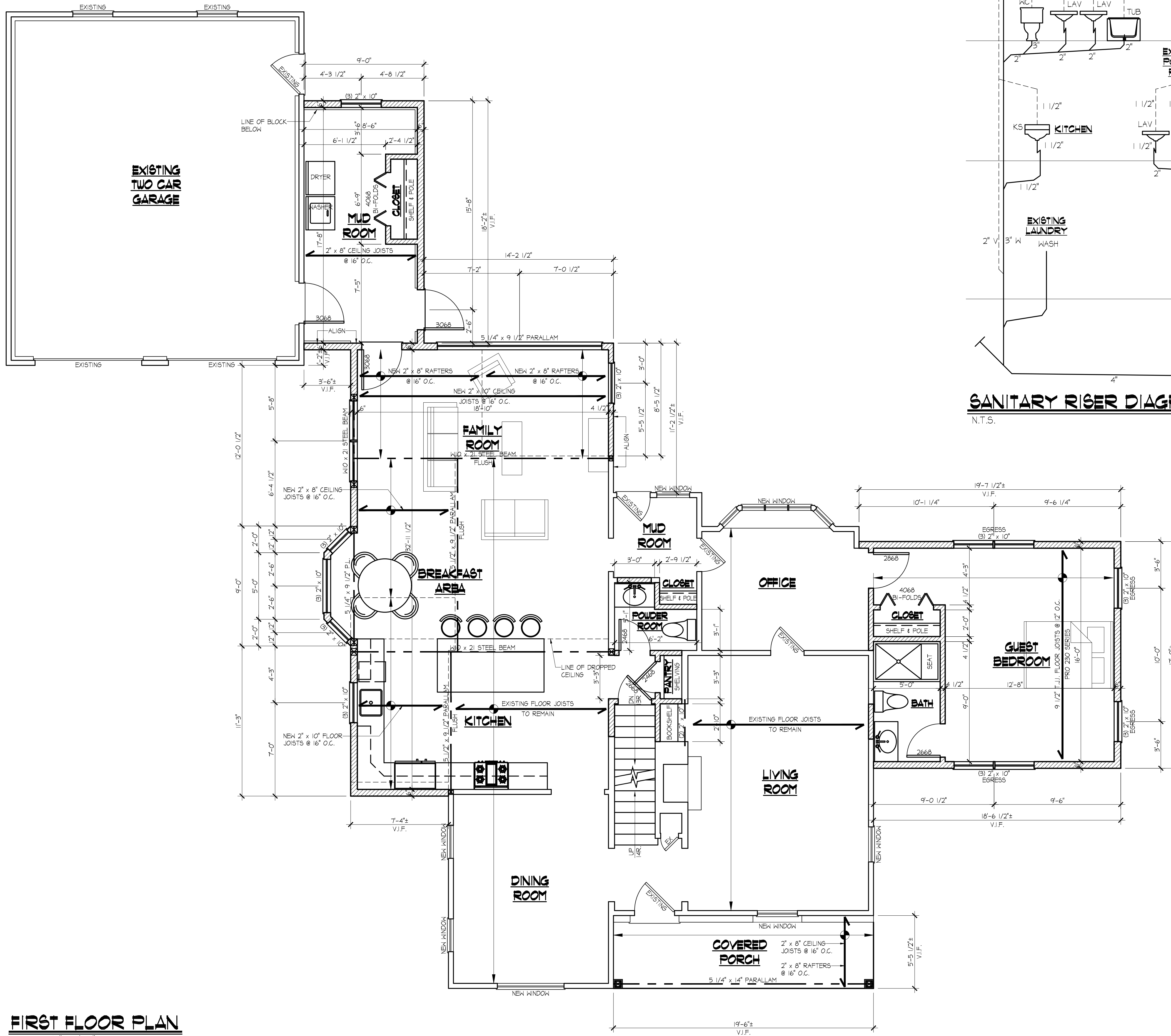
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**D-3**

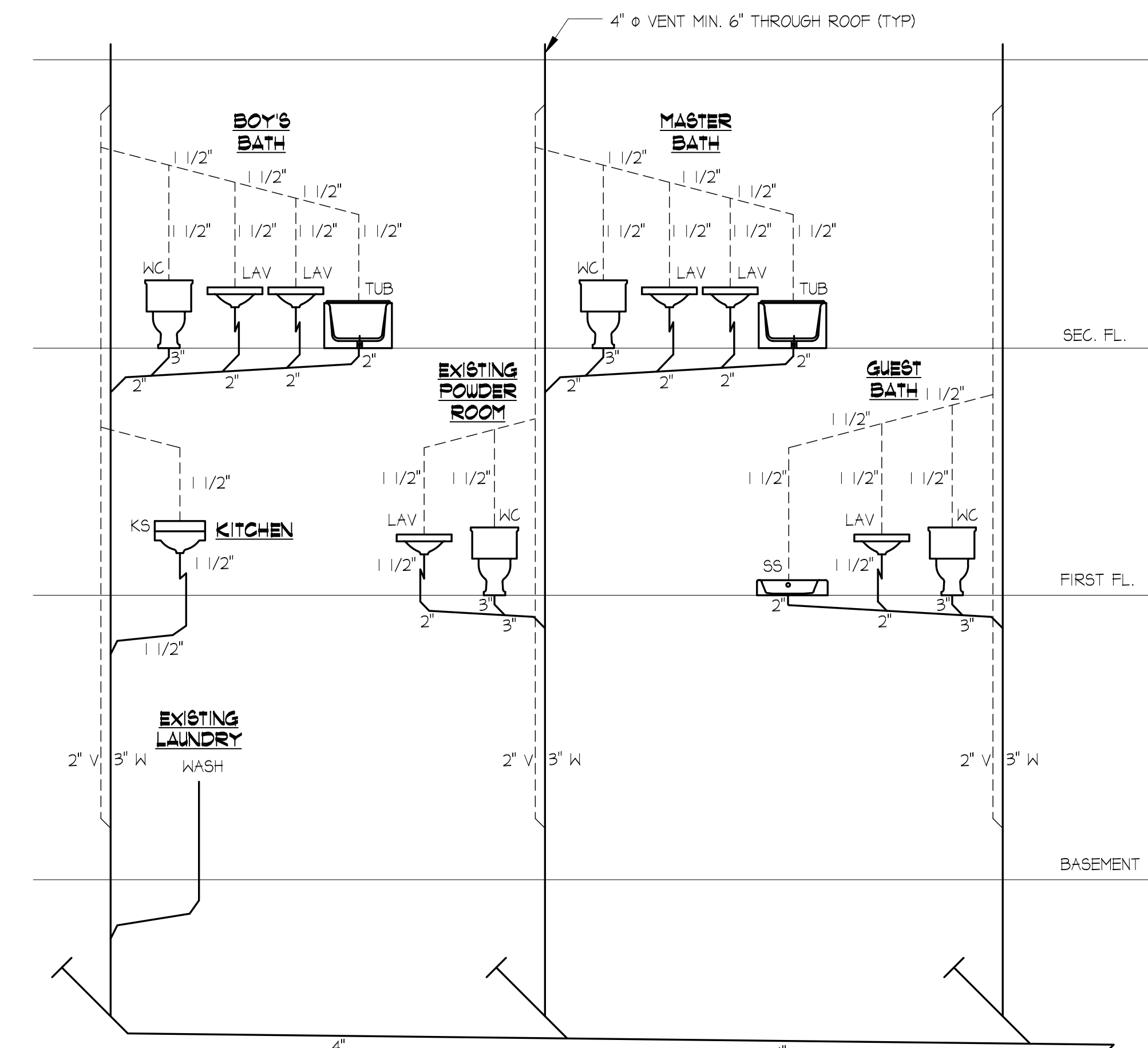








**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**SANITARY RISER DIAGRAM**  
N.T.S.

**GENERAL NOTES:**

- STRUCTURAL NOTES:**
1. GLUE AND NAIL PLYWOOD SUB-FLOOR TO FLOOR JOISTS.
  2. PA DENOTES 'POST ABOVE'. PROVIDE SOLID BLOCKING TO FOUNDATION.
  3. PROVIDE TEMPORARY BRACING PRIOR TO REMOVING ANY LOAD BEARING WALLS OR HEADERS.
  4. VERIFY HEADER SIZES AT LOAD BEARING LOCATIONS FOR ADEQUACY. REPLACE IF NECESSARY.

- ATTENTION !: FOR ALL PRESSURE TREATED LUMBER USE:**
1. FASTENERS AND ANCHOR BOLTS FOR ALL TREATED LUMBER, INCLUDING INTERIOR PRESSURE TREATED SILL PLATES, ARE TO BE HOT-DIPPED GALVANIZED WITH A MINIMUM GALVANIZATION RATING OF G-185 OR STAINLESS STEEL APPROVED FOR USE WITH ACQ PRESSURE TREATED LUMBER FOR CORROSION RESISTANCE.

2. BORATE TREATED LUMBER (DOT) WITHOUT NANO2 MAY BE USED IN LIEU OF ACQ FOR INTERIOR MUD SILLS ONLY AND DOES NOT REQUIRE SPECIAL FASTENERS. IN ALL CASES, WHEN USING EITHER HOT DIPPED GALVANIZED OR STAINLESS STEEL CONNECTORS, THE CONNECTORS AND FASTENERS SHALL BE MADE OF THE SAME MATERIAL.

3. ALL JOIST HANGERS AND METAL TIES WHICH ARE USED OR COME IN CONTACT WITH ACQ LUMBER SHALL BE SIMPSON Z-MAX HEAVY DUTY GALVANIZED OR STAINLESS STEEL ONLY.

4. ALL FLASHING WHICH COME IN CONTACT WITH ACQ SHALL BE GALVANIZED OR COPPER.



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**FIRST FLOOR PLAN**

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**SCHNURR RESIDENCE**  
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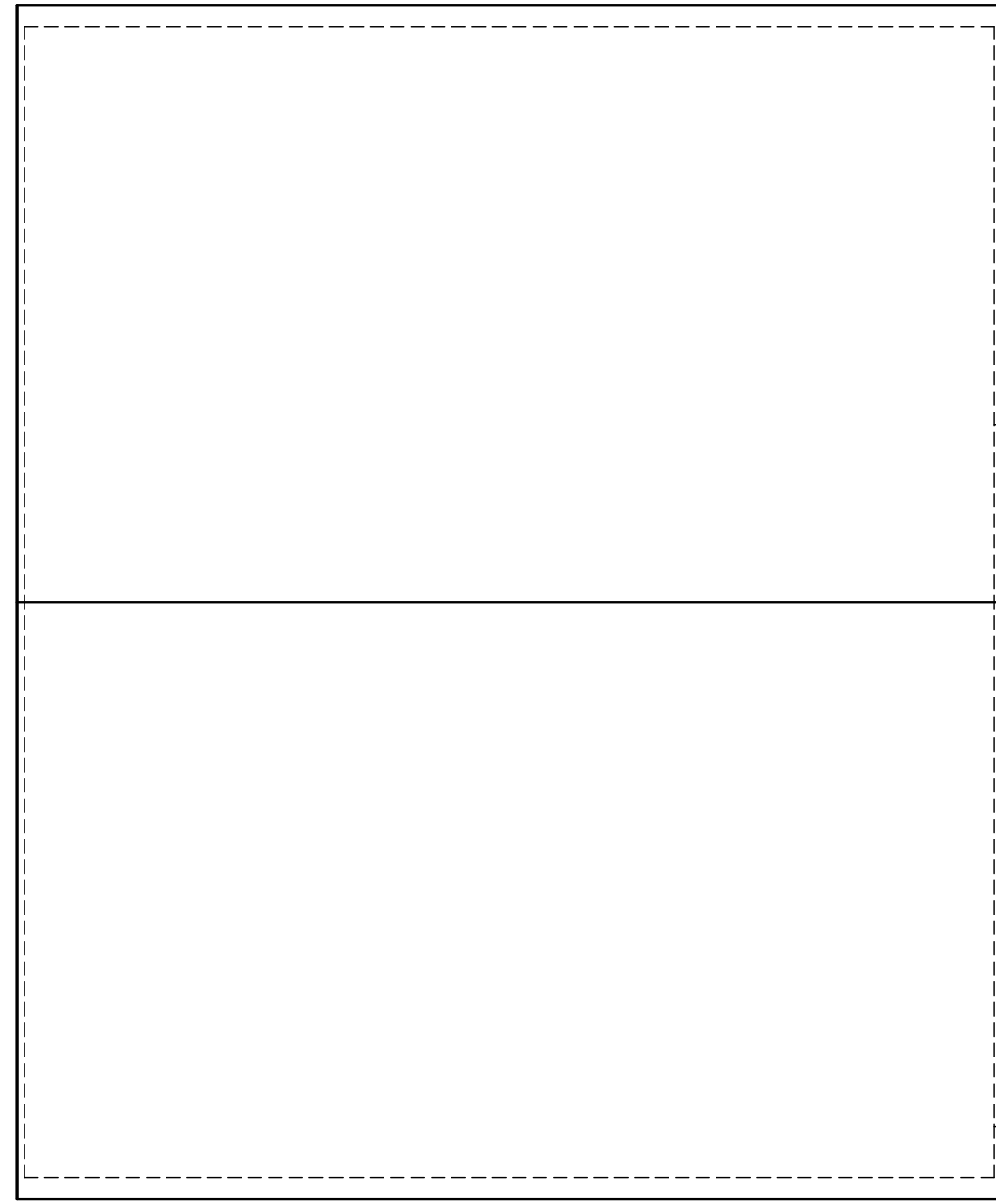
PROJECT:  
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DRAWING No.:

**A-2**





**GENERAL NOTES:**

**STRUCTURAL NOTES:**

1. GLUE AND NAIL PLYWOOD SUB-FLOOR TO FLOOR JOISTS.
2. PA DENOTES 'POST ABOVE'. PROVIDE SOLID BLOCKING TO FOUNDATION.
3. PROVIDE TEMPORARY BRACING PRIOR TO REMOVING ANY LOAD BEARING WALLS OR HEADERS.
4. VERIFY HEADER SIZES AT LOAD BEARING LOCATIONS FOR ADEQUACY. REPLACE IF NECESSARY.

**ATTENTION !: FOR ALL PRESSURE TREATED LUMBER USE:**

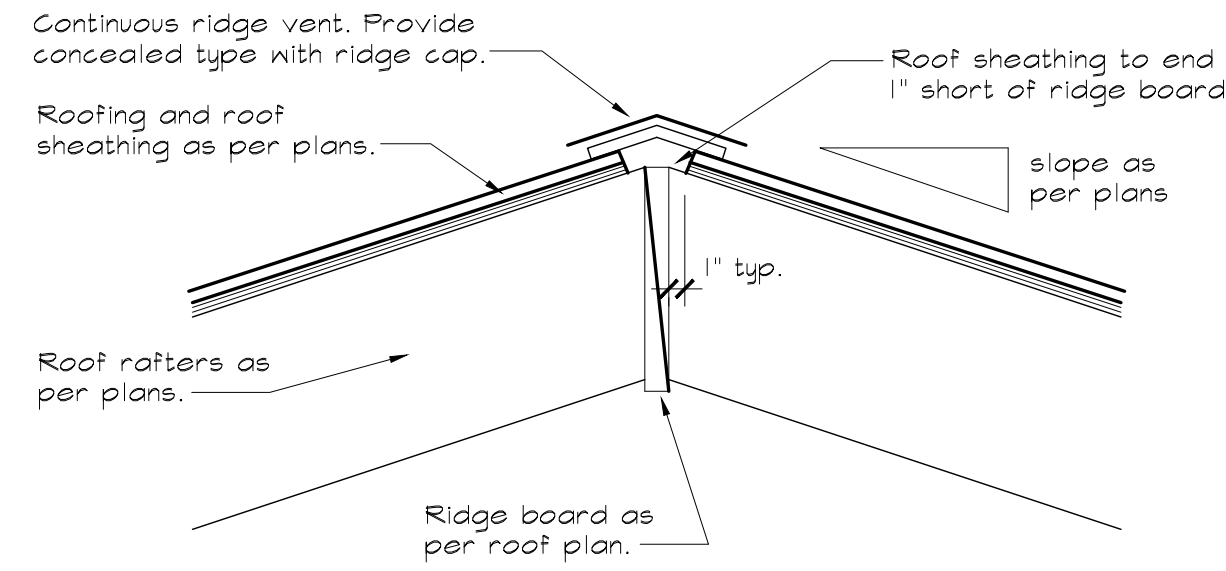
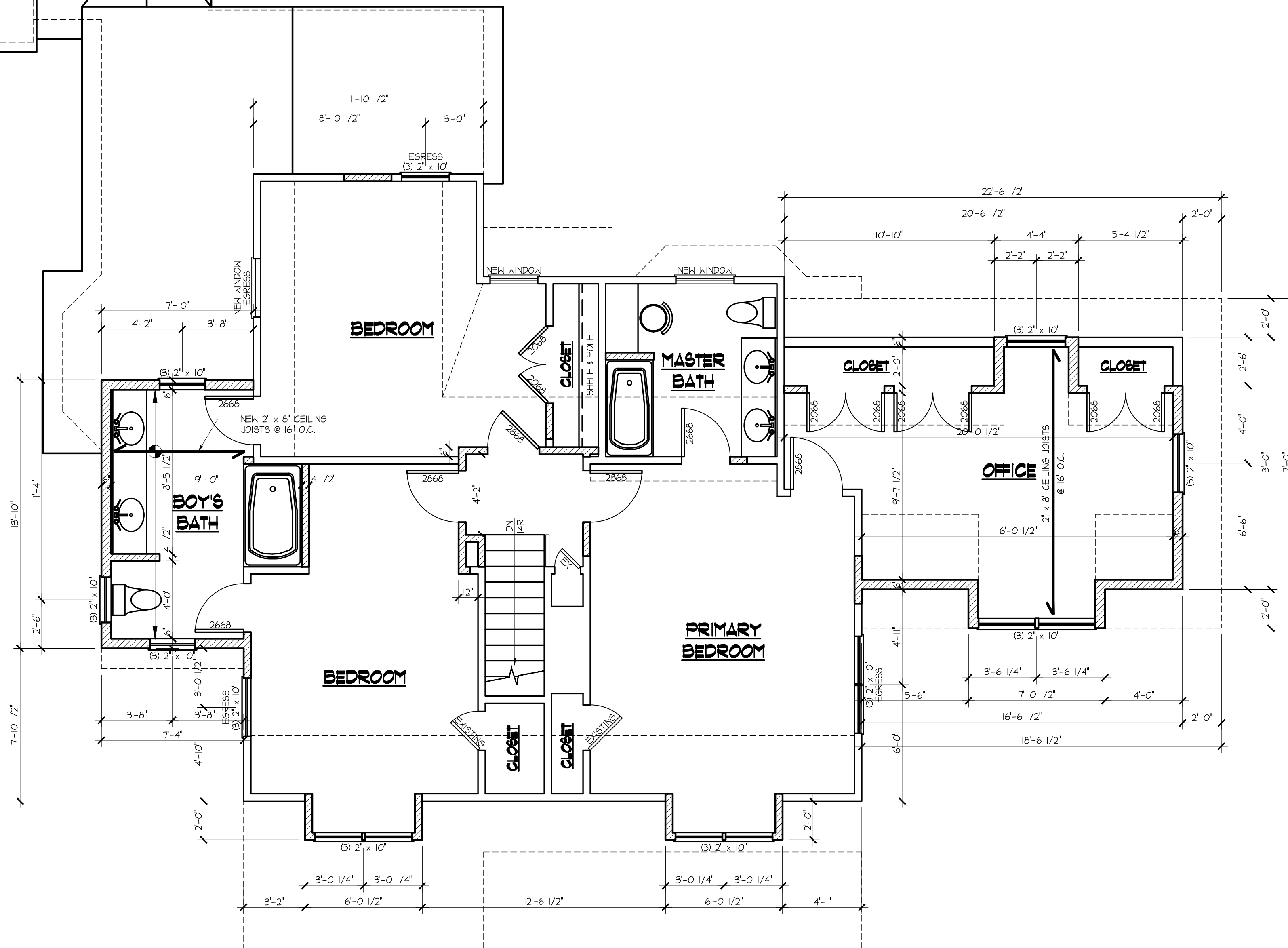
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2. BORATE TREATED LUMBER (DOT) WITHOUT NASIO2 MAY BE USED IN LIEU OF ACQ FOR INTERIOR MUD SILLS ONLY AND DOES NOT REQUIRE SPECIAL FASTENERS. IN ALL CASES, WHEN USING EITHER HOT DIPPED GALVANIZED OR STAINLESS STEEL CONNECTORS, THE CONNECTORS AND FASTENERS SHALL BE MADE OF THE SAME MATERIAL.

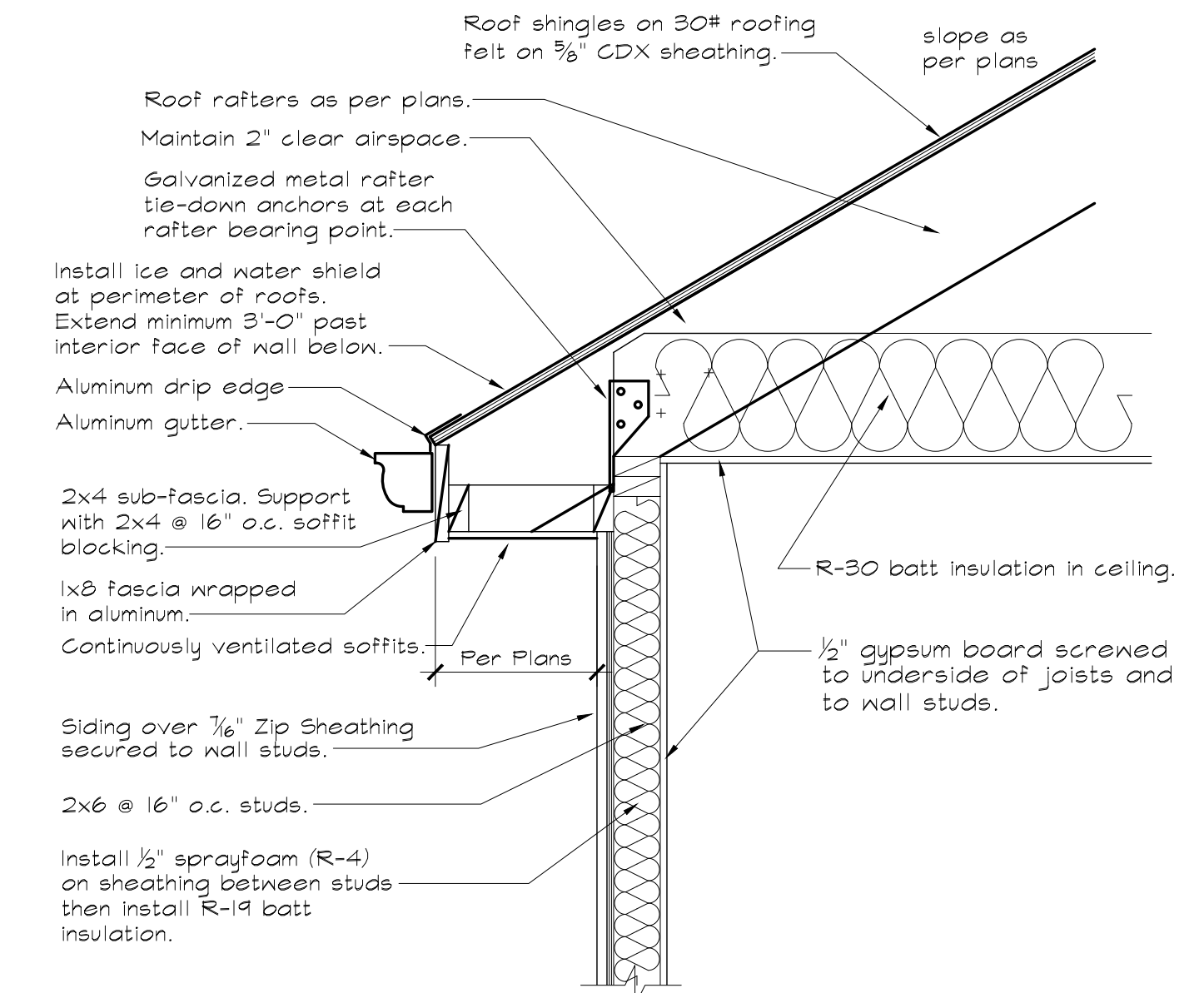
3. ALL JOIST HANGERS AND METAL TIES WHICH ARE USED OR COME IN CONTACT WITH ACQ LUMBER SHALL BE SIMPSON Z-MAX HEAVY DUTY GALVANIZED OR STAINLESS STEEL ONLY.

4. ALL FLASHING WHICH COME IN CONTACT WITH ACQ SHALL BE GALVANIZED OR COPPER.

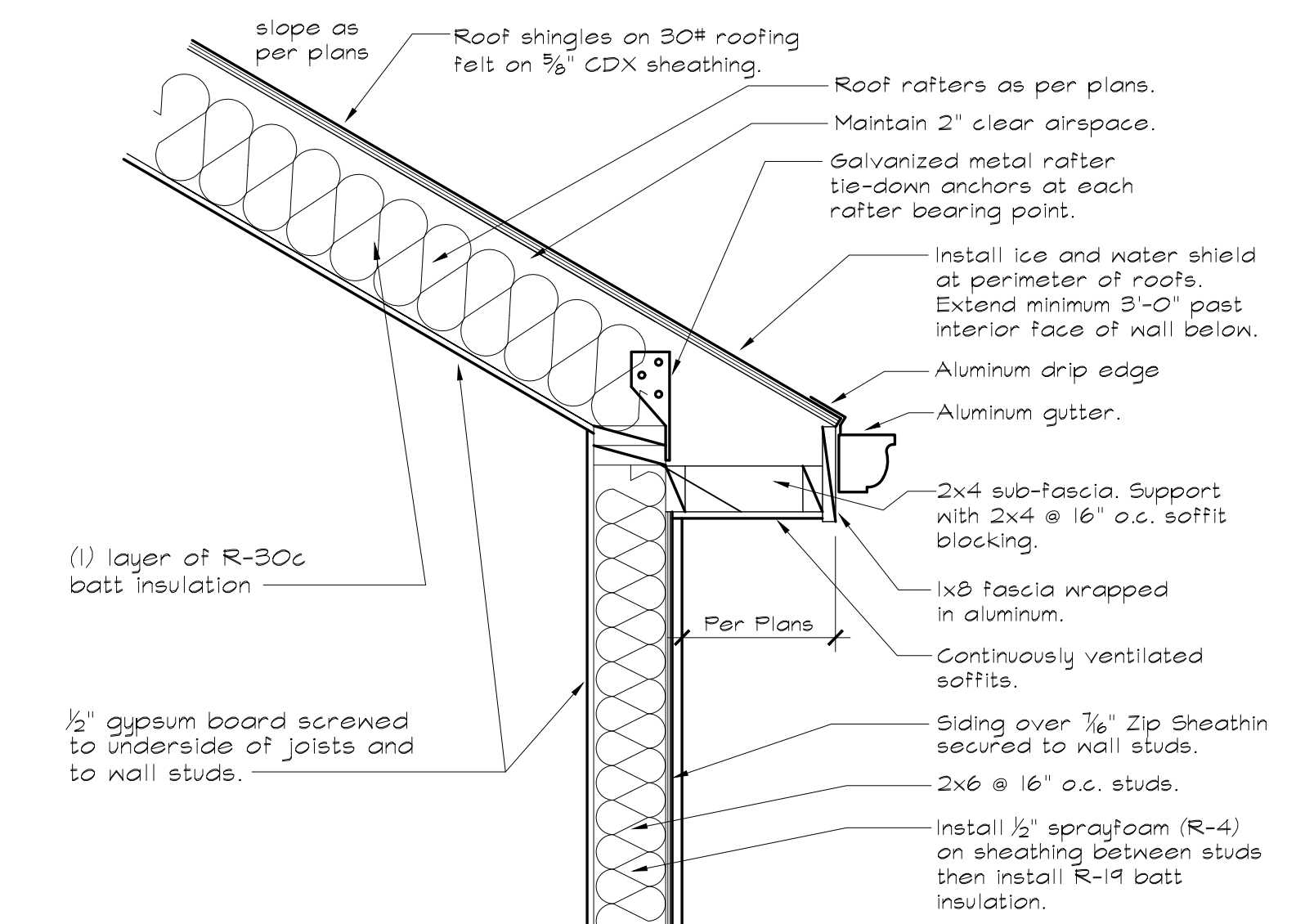
**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



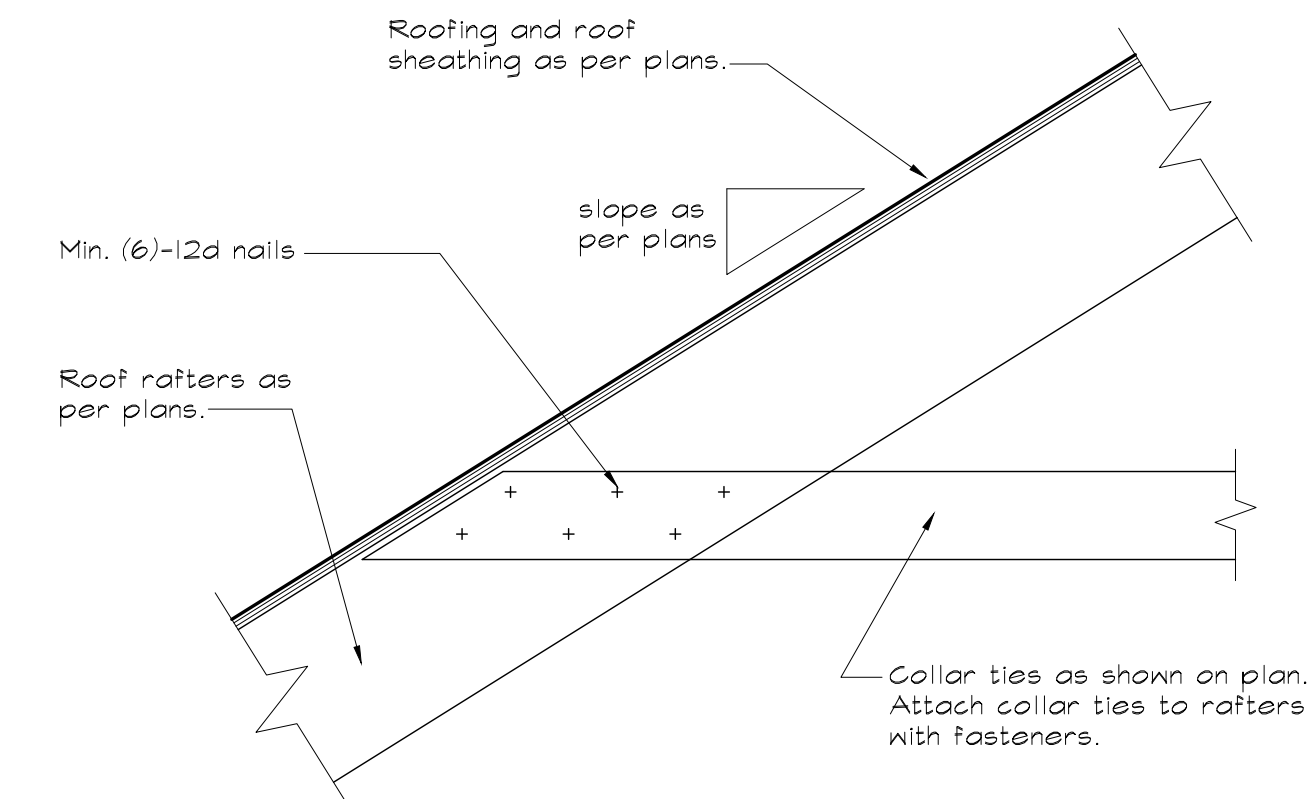
**RIDGE VENT CONSTRUCTION**  
SCALE: 1" = 1'-0"



**RAFTER CONNECTION AT FLAT CEILING**  
SCALE: 1" = 1'-0"



**RAFTER CONNECTION AT SLOPED CEILING**  
SCALE: 1" = 1'-0"



**COLLAR TIE TO RAFTER CONNECTION**  
SCALE: 1" = 1'-0"



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**SECOND FLOOR PLAN**

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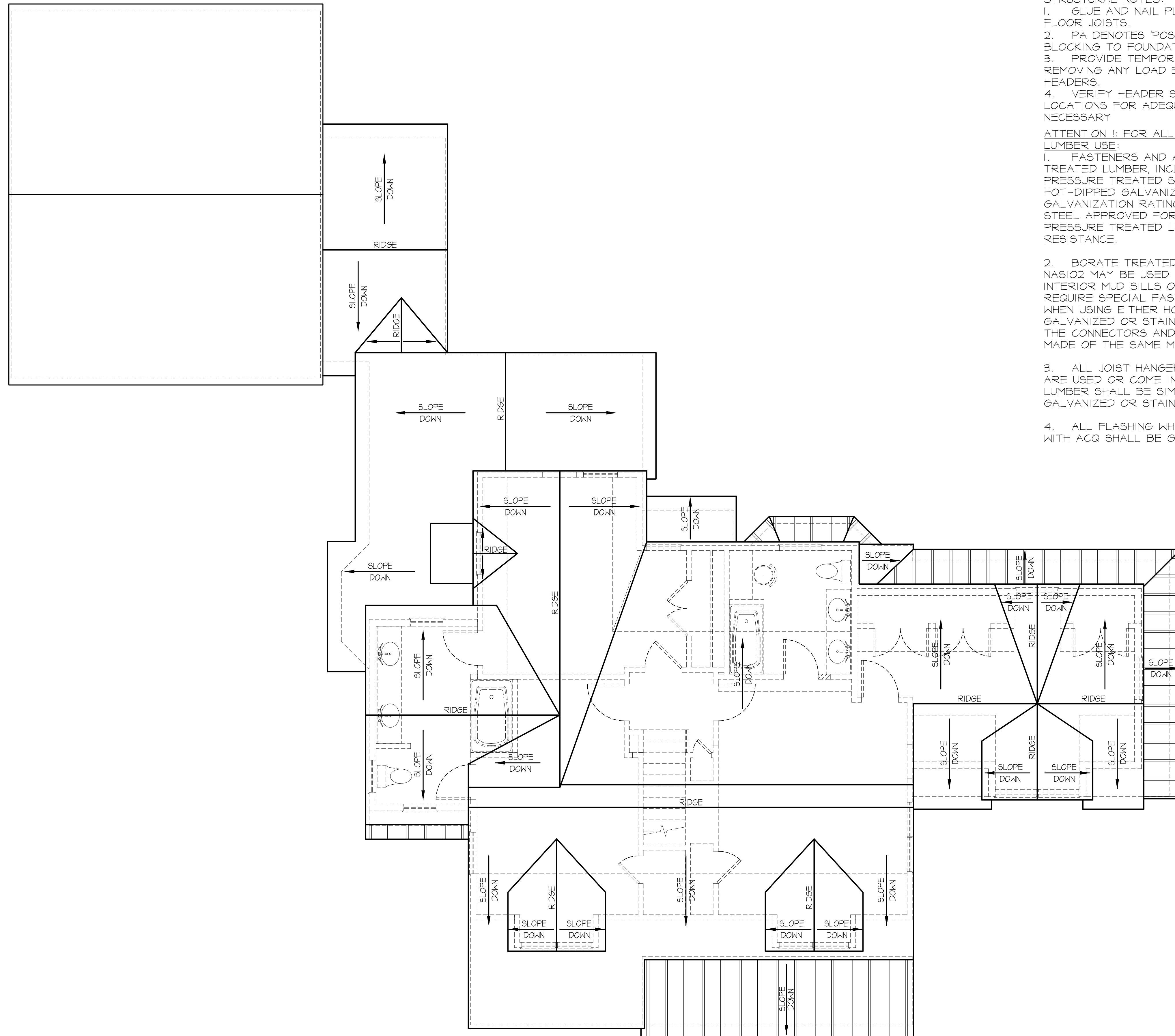
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**A-3**





→ = INDICATES DOWNWARD SLOPE OF ROOF  
 ▨ BUILD THIS ROOF OVER ROOF BELOW USING VALLEY PLATE  
 NOTE: ALL RAFTERS TO FOLLOW DIRECTION OF ARROWS ON ROOF PLAN AND TO BE 2" x 10" @ 16" O.C. UNLESS NOTED OTHERWISE. DOUBLE JOISTS ON ALL SPANS GREATER THAN 16'-2".

**GENERAL NOTES:**

- STRUCTURAL NOTES:**
1. GLUE AND NAIL PLYWOOD SUB-FLOOR TO FLOOR JOISTS.
  2. PA DENOTES 'POST ABOVE'. PROVIDE SOLID BLOCKING TO FOUNDATION.
  3. PROVIDE TEMPORARY BRACING PRIOR TO REMOVING ANY LOAD BEARING WALLS OR HEADERS.
  4. VERIFY HEADER SIZES AT LOAD BEARING LOCATIONS FOR ADEQUACY. REPLACE IF NECESSARY.

**ATTENTION !: FOR ALL PRESSURE TREATED LUMBER USE:**

1. FASTENERS AND ANCHOR BOLTS FOR ALL TREATED LUMBER, INCLUDING INTERIOR PRESSURE TREATED SILL PLATES, ARE TO BE HOT-DIPPED GALVANIZED WITH A MINIMUM GALVANIZATION RATING OF G-185 OR STAINLESS STEEL APPROVED FOR USE WITH ACQ PRESSURE TREATED LUMBER FOR CORROSION RESISTANCE.
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3. ALL JOIST HANGERS AND METAL TIES WHICH ARE USED OR COME IN CONTACT WITH ACQ LUMBER SHALL BE SIMPSON Z-MAX HEAVY DUTY GALVANIZED OR STAINLESS STEEL ONLY.
4. ALL FLASHING WHICH COME IN CONTACT WITH ACQ SHALL BE GALVANIZED OR COPPER.

**ROOF PLAN**  
SCALE: 1/4" = 1'-0"



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**ROOF PLAN**

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605 Buena Vista Way  
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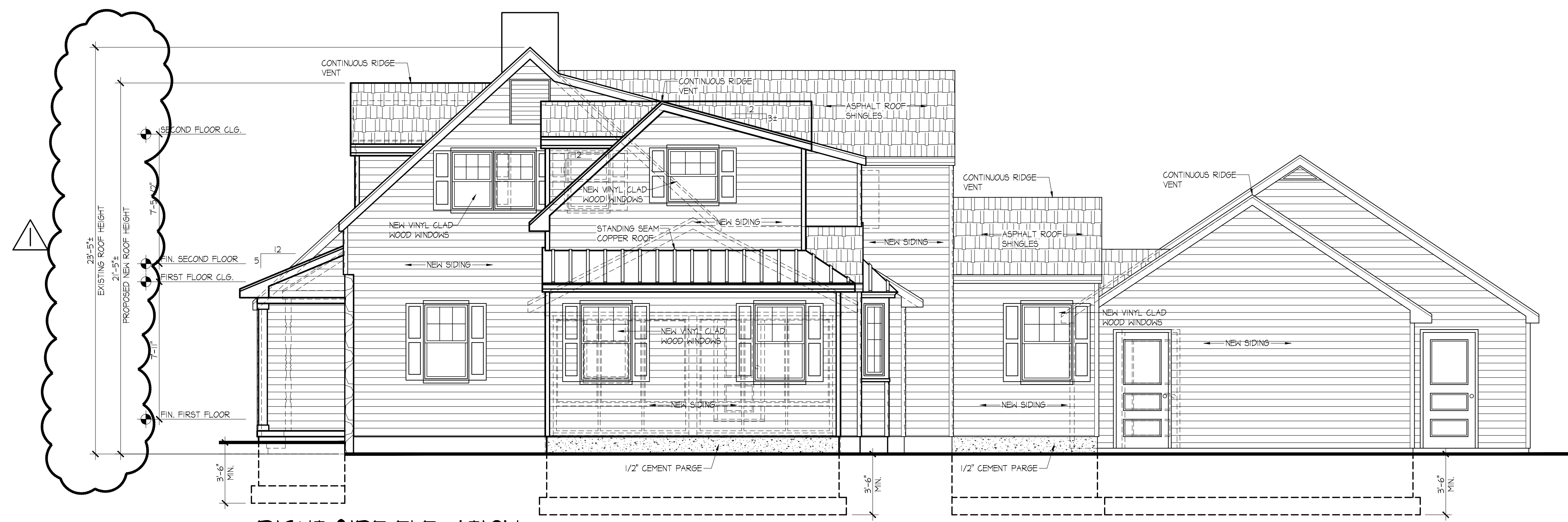
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**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

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**EXTERIOR ELEVATIONS**

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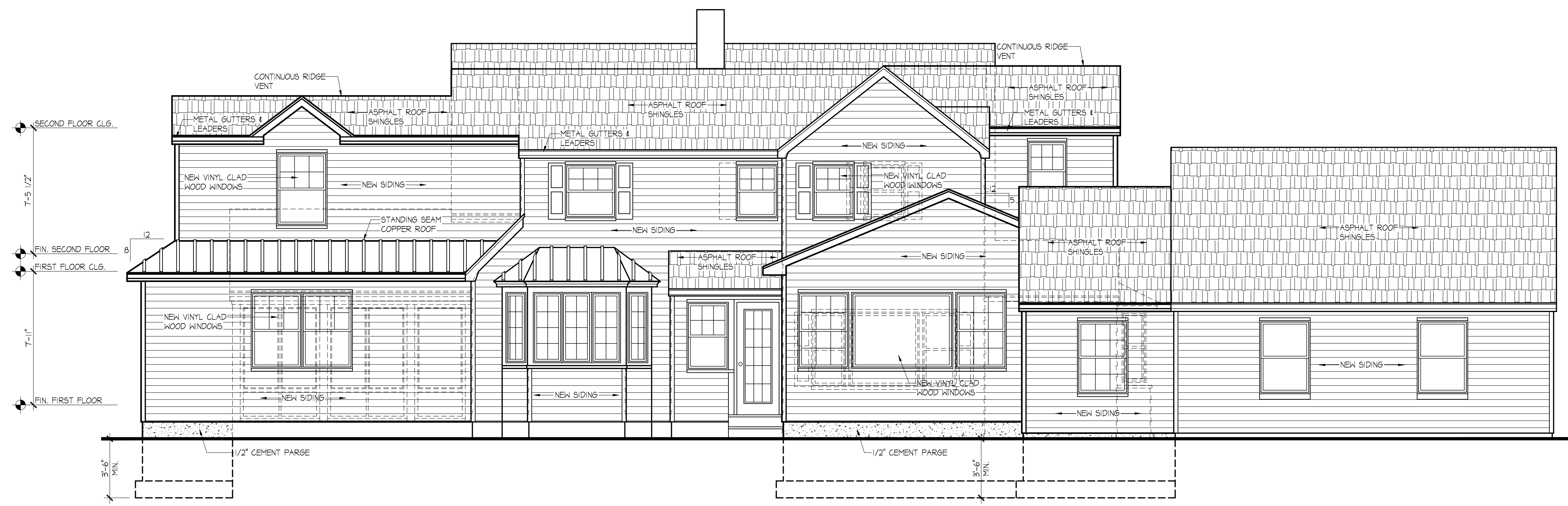
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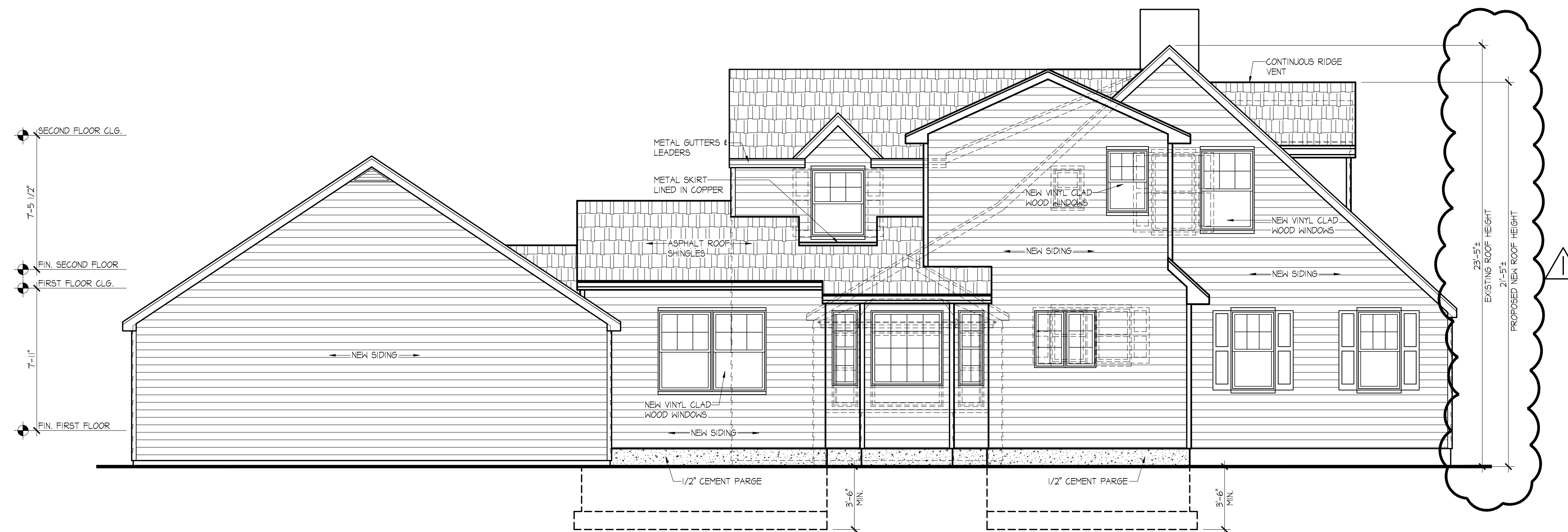
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*M. Purgo*



**REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"

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**EXTERIOR ELEVATIONS**

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**ELECTRICAL  
 PLANS**

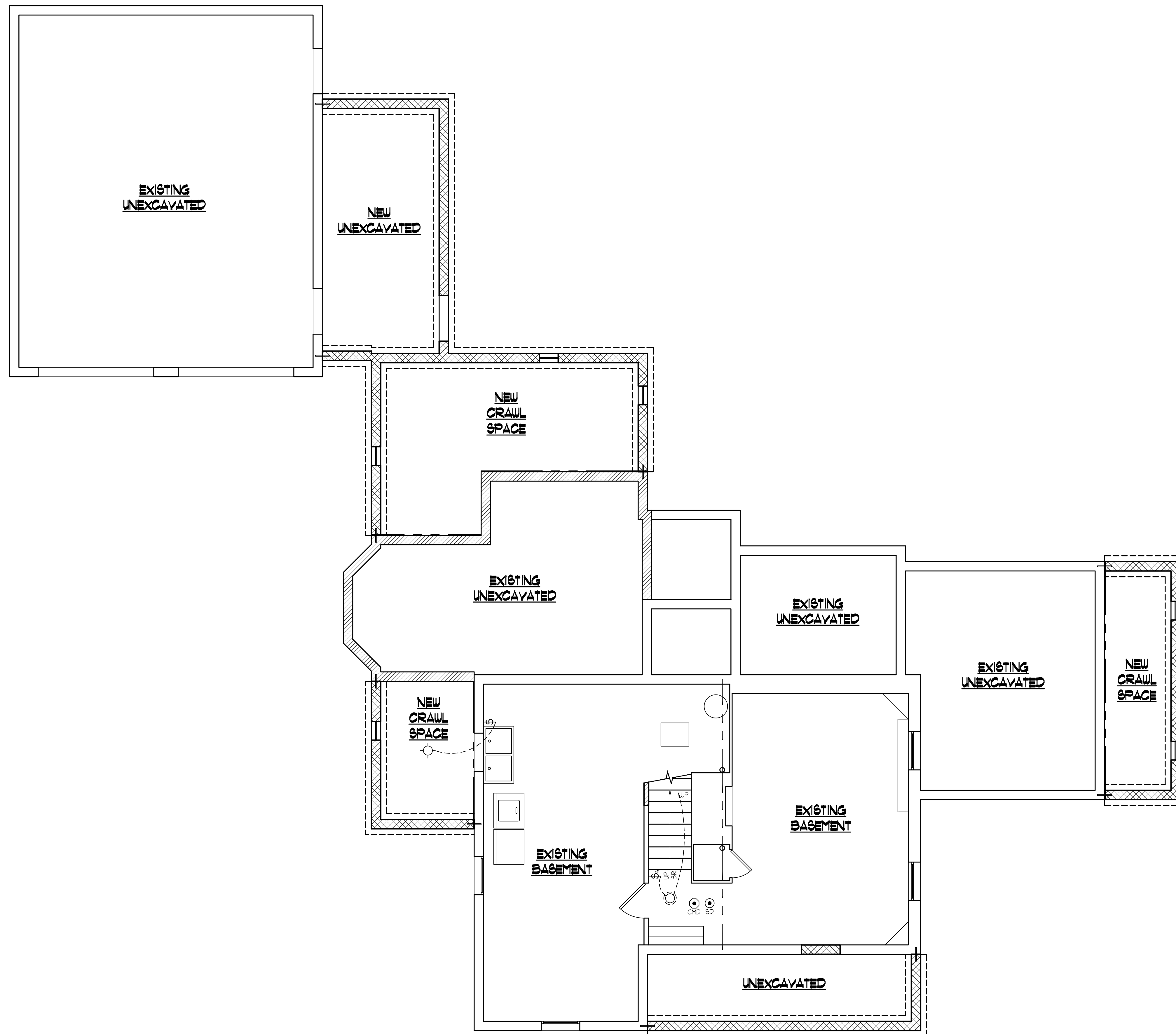
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PROJECT:  
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 MARCH 18, 2021  
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 AS NOTED

DRAWING No.:

**E-1**



**ELECTRICAL LEGEND**

- NOTE: PROVIDE AIR SEALED ELECTRIC DATA. PHONE BOXES INSTALLED IN EXTERIOR WALLS.
- = TAMPER RESISTANT DUPLEX OUTLET
  - = TAMPER RESISTANT GROUND FAULT INTERRUPT OUTLET
  - = TAMPER RESISTANT DUPLEX OUTLET WITH USB JACK
  - = TAMPER RESISTANT QUAD OUTLET
  - = TAMPER RESISTANT WATERPROOF OUTLET
  - = PHONE/ETHERNET JACK
  - = COAXIAL CABLE
  - = HIGH EFFICIENCY LED LIGHT FIXTURE OR EQUAL
  - = HIGH EFFICIENCY RECESSED LIGHT FIXTURE OR EQUAL
  - = HIGH EFFICIENCY CHANDELIER LIGHT FIXTURE OR EQUAL
  - = HIGH EFFICIENCY LED OUTDOOR LIGHT FIXTURE OR EQUAL
  - = SINGLE POLE SWITCH
  - = THREE WAY SWITCH
  - = DIMMER SWITCH
  - = THERMOSTAT CONTROL
  - = COMBINATION LIGHT & 75 CFM EXHAUST FAN EXHAUST TO EXTERIOR
  - = SMOKE DETECTOR - TO BE HARDWIRED, INTERCONNECTED W/ BATTERY BACK-UP IN EACH UNIT
  - = CARBON MONOXIDE DETECTOR - TO BE HARDWIRED, INTERCONNECTED WITH BATTERY BACK-UP
  - = FAN / INCANDESCENT LIGHT FIXTURE COMBINATION

**FOUNDATION ELECTRICAL PLAN**  
 SCALE: 1/4" = 1'-0"



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**ELECTRICAL PLANS**

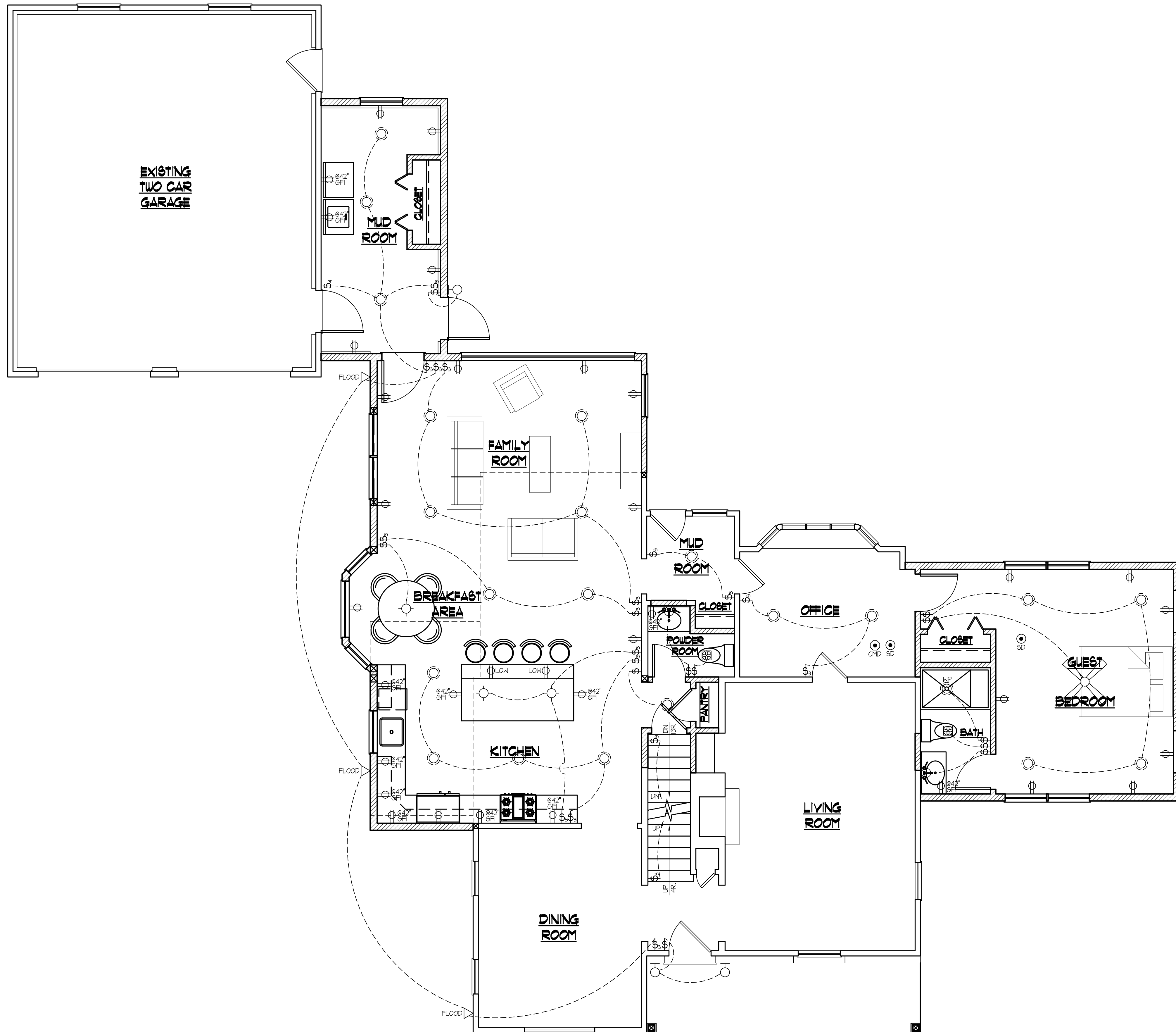
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DRAWING No.:

**E-2**



**ELECTRICAL LEGEND**

- NOTE: PROVIDE AIR SEALED ELECTRIC, DATA, PHONE BOXES INSTALLED IN EXTERIOR WALLS
- = TAMPER RESISTANT DUPLEX OUTLET
  - = TAMPER RESISTANT GROUND FAULT INTERRUPTER OUTLET
  - = TAMPER RESISTANT DUPLEX OUTLET WITH USB JACK
  - = TAMPER RESISTANT QUAD OUTLET
  - = TAMPER RESISTANT WATERPROOF OUTLET
  - = PHONE/ETHERNET JACK
  - = COAXIAL CABLE
  - = HIGH EFFICIENCY LED LIGHT FIXTURE OR EQUAL
  - = HIGH EFFICIENCY RECESSED LIGHT FIXTURE OR EQUAL
  - = HIGH EFFICIENCY CHANDELIER LIGHT FIXTURE OR EQUAL
  - = HIGH EFFICIENCY LED OUTDOOR LIGHT FIXTURE OR EQUAL
  - = SINGLE POLE SWITCH
  - = THREE WAY SWITCH
  - = DIMMER SWITCH
  - = THERMOSTAT CONTROL
  - = COMBINATION LIGHT & 75 CFM EXHAUST FAN, EXHAUST TO EXTERIOR
  - = SMOKE DETECTOR - TO BE HARDWIRED, INTERCONNECTED W/ BATTERY BACK-UP IN EACH UNIT
  - = CARBON MONOXIDE DETECTOR - TO BE HARDWIRED, INTERCONNECTED WITH BATTERY BACK-UP
  - = FAN / INCANDESCENT LIGHT FIXTURE COMBINATION

**FIRST FLOOR ELECTRICAL PLAN**  
 SCALE: 1/4" = 1'-0"



**ELECTRICAL  
 PLANS**

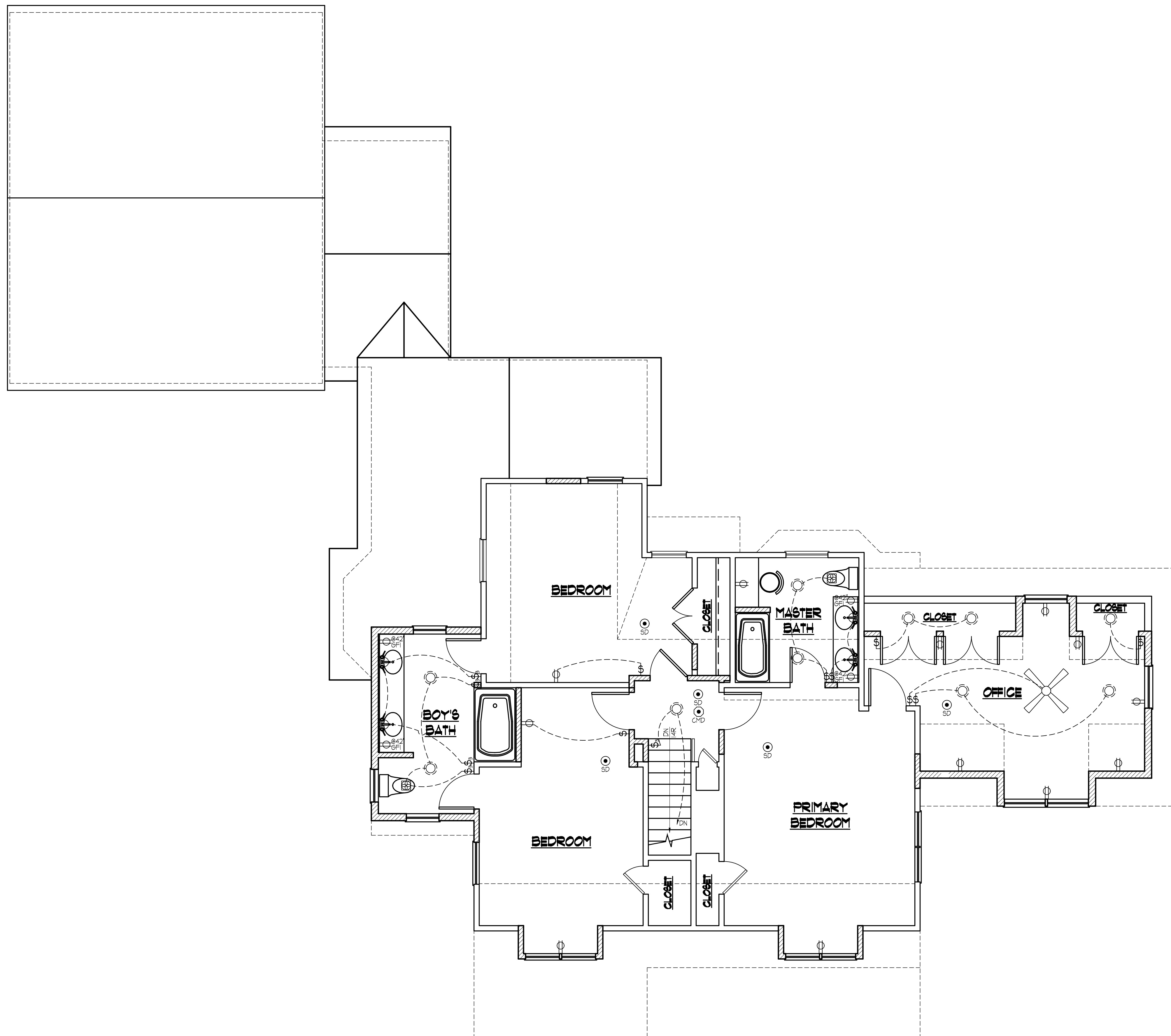
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


















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DRAWING No.:

**E-3**



**ELECTRICAL LEGEND**

- NOTE: PROVIDE AIR SEALED ELECTRIC, DATA, PHONE BOXES INSTALLED IN EXTERIOR WALLS
-  = TAMPER RESISTANT DUPLEX OUTLET
  -  = TAMPER RESISTANT GROUND FAULT INTERRUPT OUTLET
  -  = TAMPER RESISTANT DUPLEX OUTLET WITH USB JACK
  -  = TAMPER RESISTANT QUAD OUTLET
  -  = TAMPER RESISTANT WATERPROOF OUTLET
  -  = PHONE/ETHERNET JACK
  -  = COAXIAL CABLE
  -  = HIGH EFFICIENCY LED LIGHT FIXTURE OR EQUAL
  -  = HIGH EFFICIENCY RECESSED LIGHT FIXTURE OR EQUAL
  -  = HIGH EFFICIENCY CHANDELIER LIGHT FIXTURE OR EQUAL
  -  = HIGH EFFICIENCY LED OUTDOOR LIGHT FIXTURE OR EQUAL
  -  = SINGLE POLE SWITCH
  -  = THREE WAY SWITCH
  -  = DIMMER SWITCH
  -  = THERMOSTAT CONTROL
  -  = COMBINATION LIGHT & 75 CFM EXHAUST FAN, EXHAUST TO EXTERIOR
  -  = SMOKE DETECTOR - TO BE HARDWIRED, INTERCONNECTED W/ BATTERY BACK-UP IN EACH UNIT
  -  = CARBON MONOXIDE DETECTOR - TO BE HARDWIRED, INTERCONNECTED WITH BATTERY BACK-UP
  -  = FAN / INCANDESCENT LIGHT FIXTURE COMBINATION

**SECOND FLOOR ELECTRICAL PLAN**  
 SCALE: 1/4" = 1'-0"