

CERTIFIED LIST OF PROPERTY OWNERS WITHIN 200' OF LOTS 10.02 AND 11 BLOCK 320

BLOCK	LOT	OWNER NAME & ADDRESS
320	5	MCCARTHY, KATHLEEN HAYES 128 VAN HOUTEN AVE WYCKOFF, NJ 07481
320	6	CRONLY, CHARLES E & HIGGINS, ANN P 1 PACE DR, WYCKOFF, NJ 07481
320	7	MANNER, DAVID & ANDREA M. 5 PACE DR, WYCKOFF, NJ 07481
320	8	ROUSSOS (ETAL), JACLYN 9 PACE DR, WYCKOFF, NJ 07481
320	9	PORRO, KENNETH & KATHLEEN 15 PACE DR, WYCKOFF, NJ 07481
320	79	LAGUARDIA, VINCENT M & JANICE M 21 GLEN DR, WYCKOFF, NJ 07481
320	12	LOPES, ANA 281 CEDAR HILL AVE WYCKOFF, NJ 07481
320	13	KAMMEN, RICHARD DAVID 271 CEDAR HILL AVE WYCKOFF, NJ 07481
320	15	KWOKA, ADAM & IMAN HAJ YOUNES 202 MAPLE DRIVE WYCKOFF, NJ 07481
320	17	COFFEY, DENNIS C & WENDY R 305 CEDAR HILL AVE WYCKOFF, NJ 07481
320	18	SHARMA, JYOTI & MANJU ETALS 308 CEDAR HILL AVENUE WYCKOFF, NJ 07481
320	114	KARDOS, ANRAS & CASSANDRA K 302 CANTERBURY LANE WYCKOFF, NJ 07481
320	113	HALKOVICH, JEFFREY M 308 CANTERBURY LN WYCKOFF, NJ 07481
320	112	CLARY, DAVE & SHEN, HAN 314 CANTERBURY LANE WYCKOFF, NJ 07481
320	111	MERCHANT, EDWARD & PRIYA 314 CANTERBURY LANE WYCKOFF, NJ 07481
320	110.01	KLIDE, DAVID & LESLIE 328 CANTERBURY LN WYCKOFF, NJ 07481
320	110.02	ZENN, JEFFREY A. & ANNE K. 332 CANTERBURY LANE WYCKOFF, NJ 07481
320	115	KWARTLER, PAMELA 338 CANTERBURY LANE WYCKOFF, NJ 07481
320	116	MORISCO PAUL 346 CANTERBURY LA WYCKOFF, NJ 07481
320	117	LINTERIS, CHRISTOPHER S & ANTONIA M 352 CANTERBURY LANE WYCKOFF, NJ 07481
320	118	MILLER, MARY F 358 CANTERBURY LANE WYCKOFF, NJ 07481
320	108	FLORIANI, FRANK V & CAROL R 368 CANTERBURY LN WYCKOFF, NJ 07481
320	109	FREEMAN, LAURA J 364 CANTERBURY LANE WYCKOFF, NJ 07481
352	1	RAPPAPORT HOMES LLC PROPERTY ADDRESS: 300 CEDAR HILL AVE WYCKOFF, NJ 07481 OWNER ADDRESS: 1100 MAXWELL LANE #326 HOBOKEN, NJ 07030
352	58	REIDY, PATRICK G & CHRISTINE F 306 CEDAR HILL AVE WYCKOFF, NJ 07481
321	12.01	QUINN, MICHAEL & CYNTHIA 367 CANTERBURY LANE WYCKOFF, NJ 07481
321	13	ZORAIAN, HARRY & GLORIA A. 359 CANTERBURY LN WYCKOFF, NJ 07481
321	14	SNYDER, RONALD & PATRICIA 355 CANTERBURY LN WYCKOFF, NJ 07481
321	15	RIZZO, JOSEPH & DEBORAH 349 CANTERBURY LN WYCKOFF, NJ 07481
321	19	FRIEDLAND, EDWARD C & KATHRYN S 329 CANTERBURY LN WYCKOFF, NJ 07481
321	20	MARVEL, GLENN & CHRISTINA 323 CANTERBURY LN WYCKOFF, NJ 07481
321	16	FLORENZO, JOSEPH B & SUSAN 345 CANTERBURY LA WYCKOFF, NJ 07481
321	17	GALASSO, DAVID & KATHLEEN 339 CANTERBURY LANE WYCKOFF, NJ 07481
321	18	MIKELIS, CONSTANTINOS & KARIN 333 CANTERBURY LN WYCKOFF, NJ 07481
331	16	GRUBE, KURT J & KATHY A 174 PACKARD AVE WYCKOFF, NJ 07481
331	39	DALEY, THOMAS J JR & KATHERINE 143 CUMBERLAND CT WYCKOFF, NJ 07481
331	40	SULLING, FREDERICK E 137 CUMBERLAND CT WYCKOFF, NJ 07481
331	41	SETTEDUCATO, JAMES & LAUREN 131 CUMBERLAND CT WYCKOFF, NJ 07481
331	42	L'HEUREUX CHARLES & NANCY L 127 CUMBERLAND CT WYCKOFF, NJ 07481
331	43	FUHR, KEVIN J & SUSAN E 121 CUMBERLAND CT WYCKOFF, NJ 07481
331	44	GILPATRICK, TODD A & HOLLYANN 117 CUMBERLAND CT WYCKOFF, NJ 07481
331	45	SHAVER, DAVID E & NANCY M. 11 CUMBERLAND CT WYCKOFF, NJ 07481
331	46	FOX, PAUL M & JENNIFER L 107 CUMBERLAND CT WYCKOFF, NJ 07481
331	47	MARKS, CARMEN T 103 CUMBERLAND CT WYCKOFF, NJ 07481

# MINOR SUBDIVISION PLAN

## BLOCK 320, LOT 10.02 & 11, TOWNSHIP OF WYCKOFF, BERGEN COUNTY, NEW JERSEY



INDEX OF SHEETS	
SHEET	DESCRIPTION
C-01	COVER SHEET
C-02	MINOR SUBDIVISION PLAN
C-03	ENLARGED SUBDIVISION PLAN & ZONING INFORMATION
C-04	ENLARGED MAPLE AVE ROW PLAN

**NOTES AND REFERENCES:**

- SUBJECT PROPERTY KNOWN AS BLOCK 302, LOT 10.02 & 11, (LOT 10.02 - 204 MAPLE DRIVE WYCKOFF NJ 07481, LOT 11- 285 MAPLE DRIVE WYCKOFF, NJ 07481). AS SHOWN ON THE TOWNSHIP OF WYCKOFF TAX MAP, SHEET 36 DATED OCTOBER 15, 1967 AND LAST REVISED 07/20/67. TOTAL TRACT AREA EQUALS 26.497 ACRES.
- THE BASIS OF THIS PLAT IS NEW JERSEY STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983 (NAD83). VERTICAL DATUM REFERS TO NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
- TOPOGRAPHIC AND PLANIMETRIC INFORMATION IS BASED UPON SURVEY COMPLETED BY THE NADER GROUP ENTITLED BOUNDARY/TOPOGRAPHIC SURVEY DATED JANUARY 16TH 2017
- WETLANDS SHOWN ON THIS PLAN WERE DELINEATED IN THE FIELD BY C&H ENVIRONMENTAL, INC. 224 STIGER STREET HACKETTSTOWN, NEW JERSEY 07840, ON JULY 19, 2016. WETLANDS LOCATIONS WERE FIELD SURVEYED BY THE NADER GROUP, LLC. ON JULY 20, 2016.
- OFFSITE BUILDING AND STRUCTURE LOCATIONS ARE BASED UPON STATE NJ 2015 ORTHOPHOTOGRAPHY
- PROPERTY LINES TO THE NORTH AND WEST OF LOT 10.02 & 11 ARE BASED UPON TOWNSHIP OF WYCKOFF TAX MAP, SHEETS 23 & 36 DATED OCTOBER 15, 1967 AND LAST REVISED 07/20/67.
- BASED ON TOWNSHIP OF WYCKOFF ZONING MAPS, ALL LOTS IN THE SURROUNDING AREA ARE ZONED TO RA-25. BLOCK 320 LOTS 10.02 & 11 ARE ZONED FOR MF/AH7 BASED ON ORDINANCE #1885.

APPROVAL SIGNATURE LINES:

PLANNING BOARD CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

PLANNING BOARD SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

**APPLICANT**  
TOWNSHIP OF WYCKOFF  
MEMORIAL TOWN HALL,  
340 FRANKLIN AVENUE,  
SCOTT PLAZA, WYCKOFF,  
NJ 07481-1907

**OWNER**  
CANTERBURY  
DEVELOPMENT CORP  
15 ENGLE STREET,  
ENGLEWOOD, NJ 07631

**MINOR SUBDIVISION PLAN**  
**BLOCK 320 LOTS 10.02 & 11**  
**TOWNSHIP OF WYCKOFF**  
**BERGEN COUNTY NEW JERSEY**  
**TAX MAP SHEET 36**

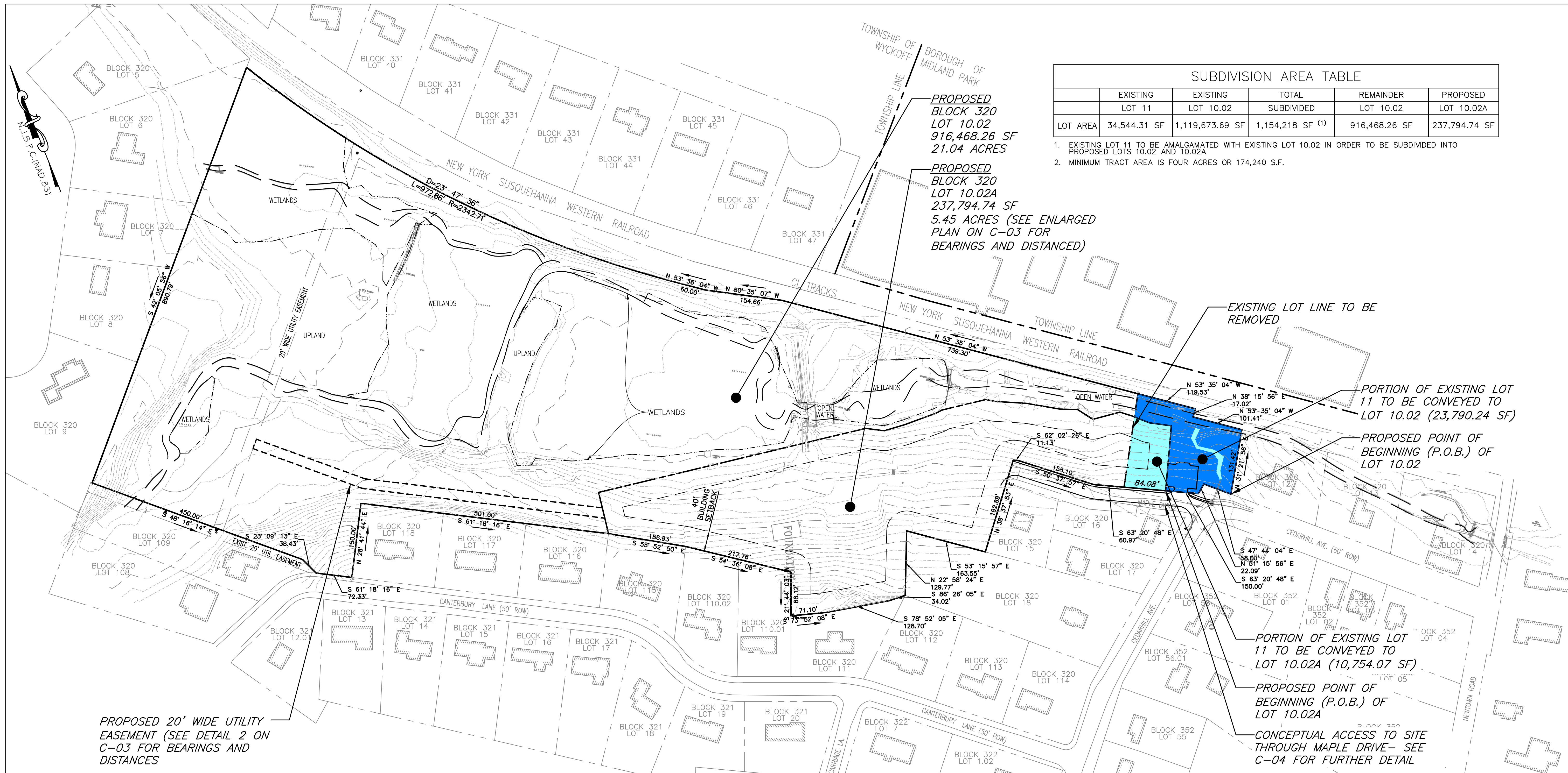
JOSEPH MESSINA, P.L.S.

**N.J. PROFESSIONAL SURVEYOR LICENSE**  
**No. 24GS03836300**  
CAUTION: THIS DOCUMENT MUST CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL TO BE AN AUTHORIZED ORIGINAL.

No.	DATE	REVISION
2	12/30/20	TWN COMMENTS
1	07/29/20	CLIENT COMMENTS
DRW BY: M. CORRENTE		
SCALE: AS SHOWN		
DATE: MAY 08, 2020		
JOB No. 17.TNG022		

COVER SHEET

DRAWING No.  
**C-01**



SUBDIVISION AREA TABLE					
	EXISTING LOT 11	EXISTING LOT 10.02	TOTAL SUBDIVIDED	REMAINDER LOT 10.02	PROPOSED LOT 10.02A
LOT AREA	34,544.31 SF	1,119,673.69 SF	1,154,218 SF <sup>(1)</sup>	916,468.26 SF	237,794.74 SF

- EXISTING LOT 11 TO BE AMALGAMATED WITH EXISTING LOT 10.02 IN ORDER TO BE SUBDIVIDED INTO PROPOSED LOTS 10.02 AND 10.02A
- MINIMUM TRACT AREA IS FOUR ACRES OR 174,240 S.F.

**PROPOSED BLOCK 320 LOT 10.02**  
 916,468.26 SF  
 21.04 ACRES

**PROPOSED BLOCK 320 LOT 10.02A**  
 237,794.74 SF  
 5.45 ACRES (SEE ENLARGED PLAN ON C-03 FOR BEARINGS AND DISTANCED)

PORTION OF EXISTING LOT 11 TO BE CONVEYED TO LOT 10.02 (23,790.24 SF)

PROPOSED POINT OF BEGINNING (P.O.B.) OF LOT 10.02

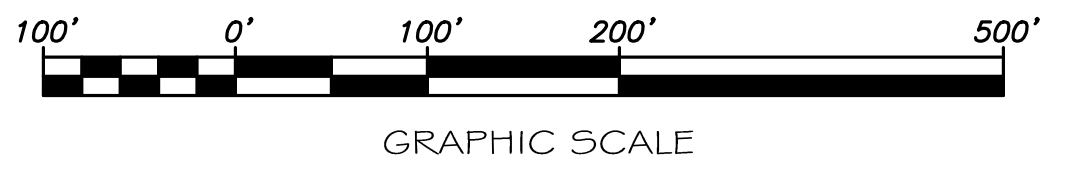
PORTION OF EXISTING LOT 11 TO BE CONVEYED TO LOT 10.02A (10,754.07 SF)

PROPOSED POINT OF BEGINNING (P.O.B.) OF LOT 10.02A

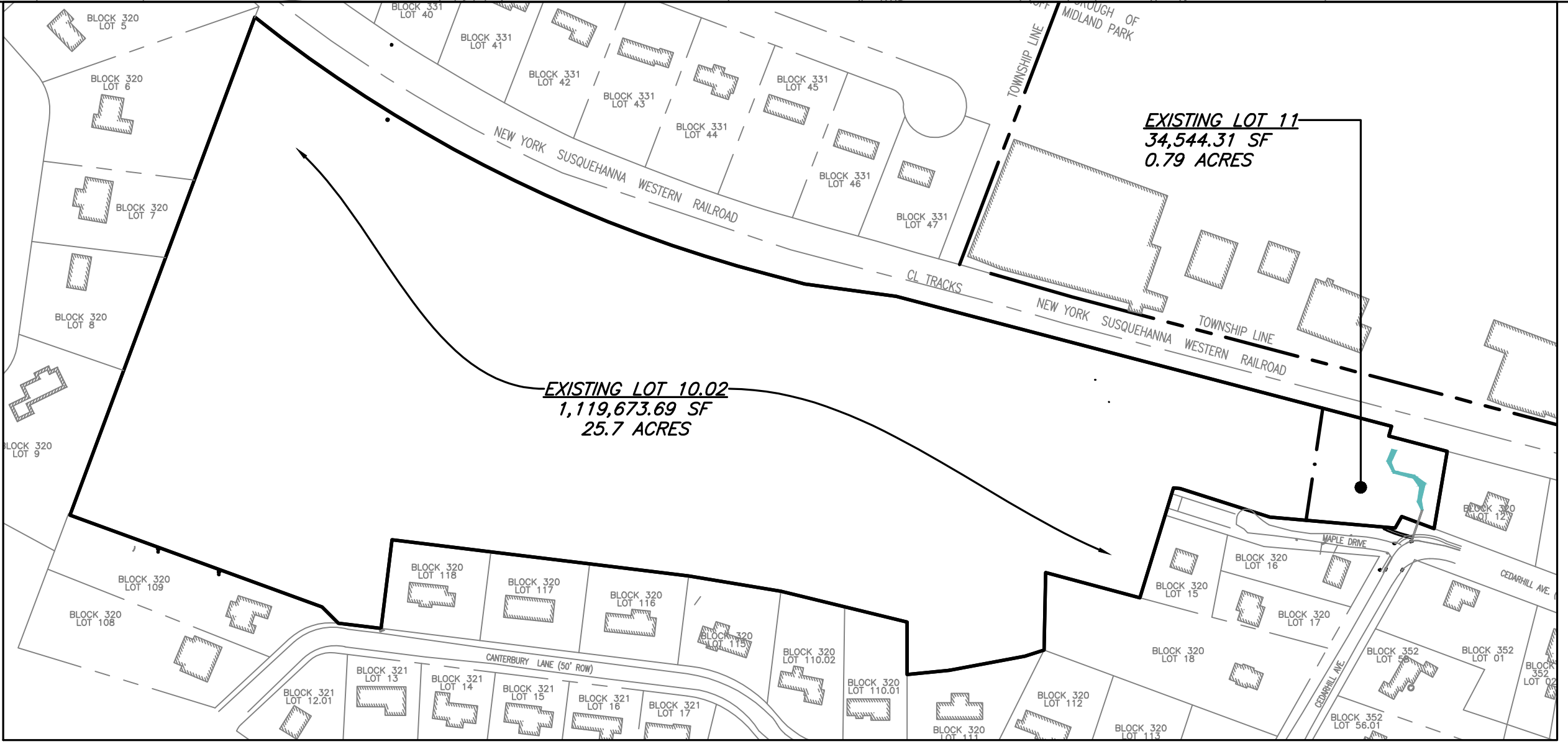
CONCEPTUAL ACCESS TO SITE THROUGH MAPLE DRIVE- SEE C-04 FOR FURTHER DETAIL

PROPOSED 20' WIDE UTILITY EASEMENT (SEE DETAIL 2 ON C-03 FOR BEARINGS AND DISTANCES)

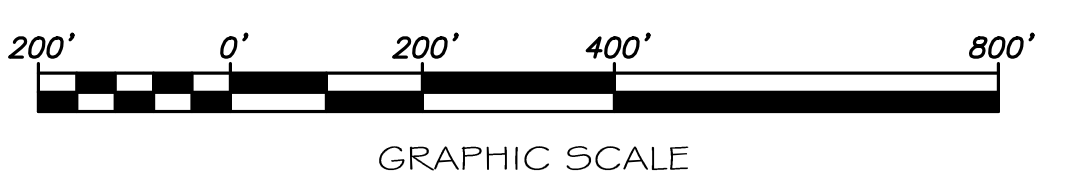
1 SUBDIVISION PLAN  
 C-02 SCALE: 1" = 100'



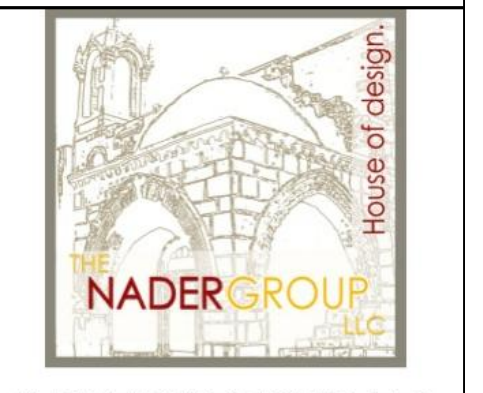
- LEGEND:**
- LOTS 10.02 & 11 PROPERTY LINE
  - EXISTING PROPERTY LINES TO BE REMOVED FOR SITE PLAN AMALGAMATION
  - EXISTING EASEMENT LINE
  - PROPOSED EASEMENT LINE
  - OFFSITE PROPERTY LINE
  - SETBACK BOUNDARY
  - EXISTING STRUCTURE
  - PROPOSED STRUCTURE
  - EXISTING MINOR CONTOUR
  - EXISTING MAJOR CONTOUR
  - EXISTING FENCE
  - EXISTING CURB
  - WETLANDS LINE
  - STATE OPEN WATERS



2 OVERALL EXISTING BOUNDARY PLAN  
 C-02 SCALE: 1" = 200'



**MINOR SUBDIVISION PLAN**  
**BLOCK 320 LOTS 10.02 & 11**  
**TOWNSHIP OF WYCKOFF**  
**BERGEN COUNTY NEW JERSEY**  
**TAX MAP SHEET 36**



THE NADER GROUP, LLC  
 Engineers, Surveyors & Designers  
 111 Mill Street  
 Hackettstown, NJ 07840  
 p.908.850.3500 | f.908.441.5803  
 e.wassim.nader@thenadergroup.com  
 www.naderhouseofdesign.com

JOSEPH MESSINA, P.L.S.

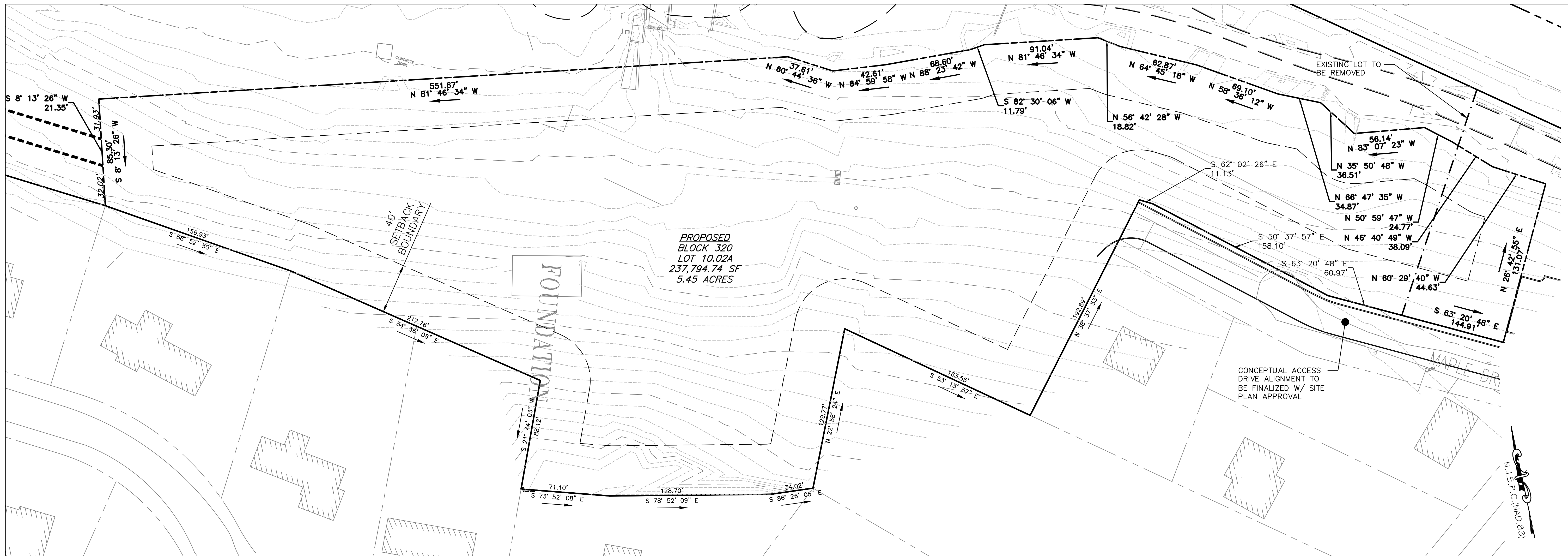
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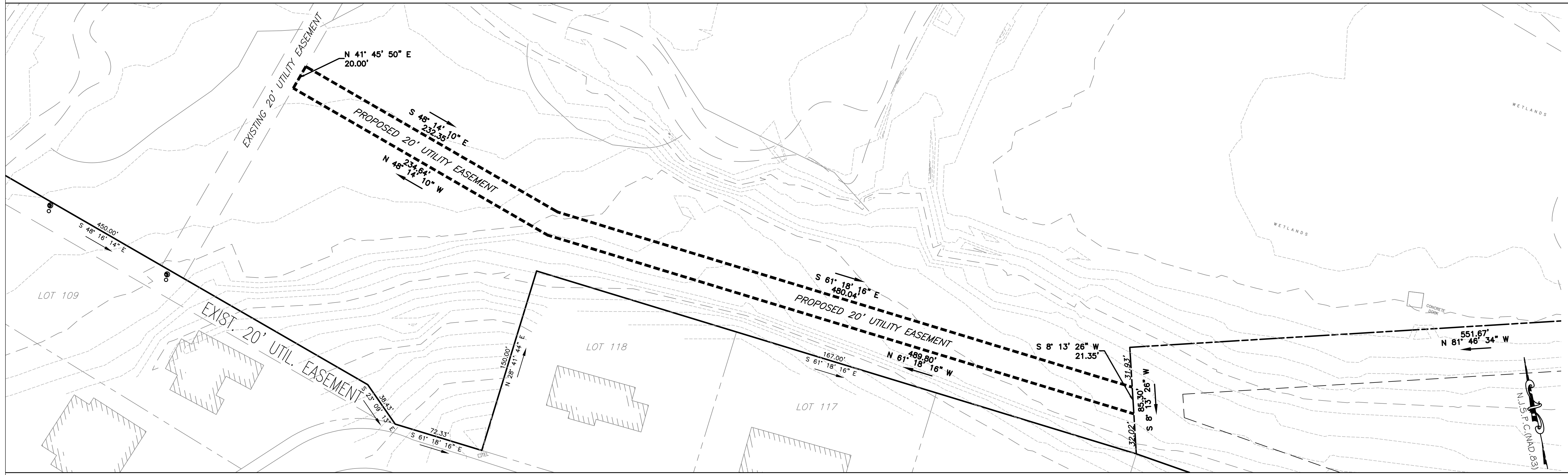
DRW BY: M. CORRENTE  
 SCALE: A5 SHOWN  
 DATE: MAY 08, 2020  
 JOB No. 17.TNG022

MINOR SUBDIVISION PLAN

DRAWING No. **C-02**



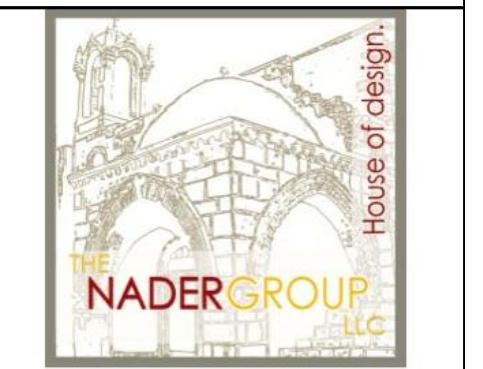
1 ENLARGED LOT 10.02A SUBDIVISION PLAN  
C-02 SCALE: 1"=40'



2 ENLARGED UTILITY EASEMENT PLAN  
C-02 SCALE: 1"=40'



**MINOR SUBDIVISION PLAN**  
**BLOCK 320 LOTS 10.02 & 11**  
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 e. wassim.nader@thenadergroup.com  
 www.naderhouseofdesign.com

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1	07/29/20	CLIENT COMMENTS
DRW BY: M. CORRENTE		
SCALE: AS SHOWN		
DATE: MAY 08, 2020		
JOB No. 17.TNG022		

ENLARGED SUBDIVISION PLAN & ZONING INFORMATION

DRAWING No.  
**C-03**

PROPOSED  
BLOCK 320  
LOT 10.02A

APPROXIMATE  
LOCATION OF  
PROPOSED  
PARKING LOT

EXISTING MAILBOX  
AND SIGNS TO BE  
RELOCATED  
CONCEPTUAL ACCESS  
ROADWAY ALIGNMENT  
TO BE FINALIZED W/  
SITE PLAN APPROVAL

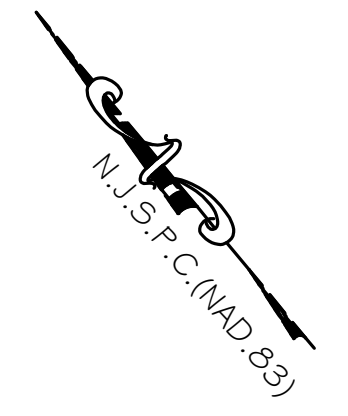
EXISTING STORM  
INLETS AND PIPES TO  
BE RELOCATED.  
LOCATION TO BE  
FINALIZED DURING  
SITE PLAN APPROVAL

MAPLE AVE  
(45' WIDE ROW)

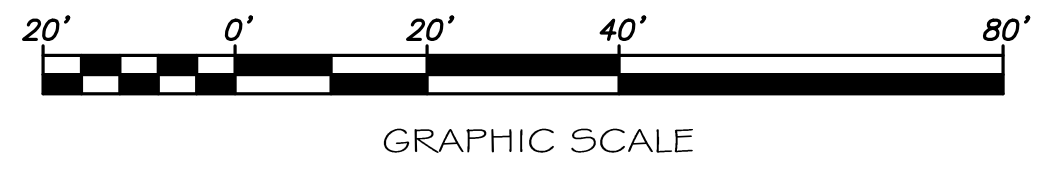
EXISTING OVERHEAD  
WIRE (TYP)

BLOCK 320  
LOT 15

BLOCK 320  
LOT 16

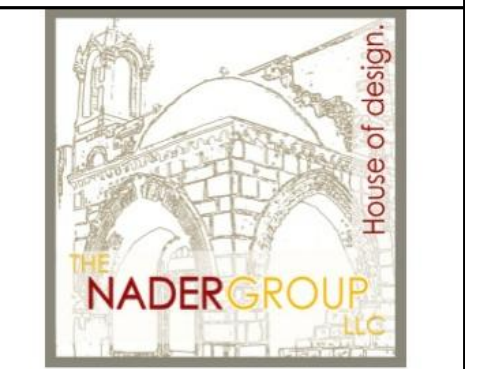


1  
C-02 ENLARGED MAPLE AVE ROW PLAN  
SCALE: 1"=20'



**NOTE**  
EXACT ALIGNMENT AND LAYOUT OF PROPOSED ACCESS ROADWAY  
AND PARKING AREA TO BE FINALIZED DURING SITE PLAN  
APPROVAL

MINOR SUBDIVISION PLAN  
BLOCK 320 LOTS 10.02 & 11  
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ENLARGED MAPLE  
AVE ROW PLAN

DRAWING No.  
**C-04**