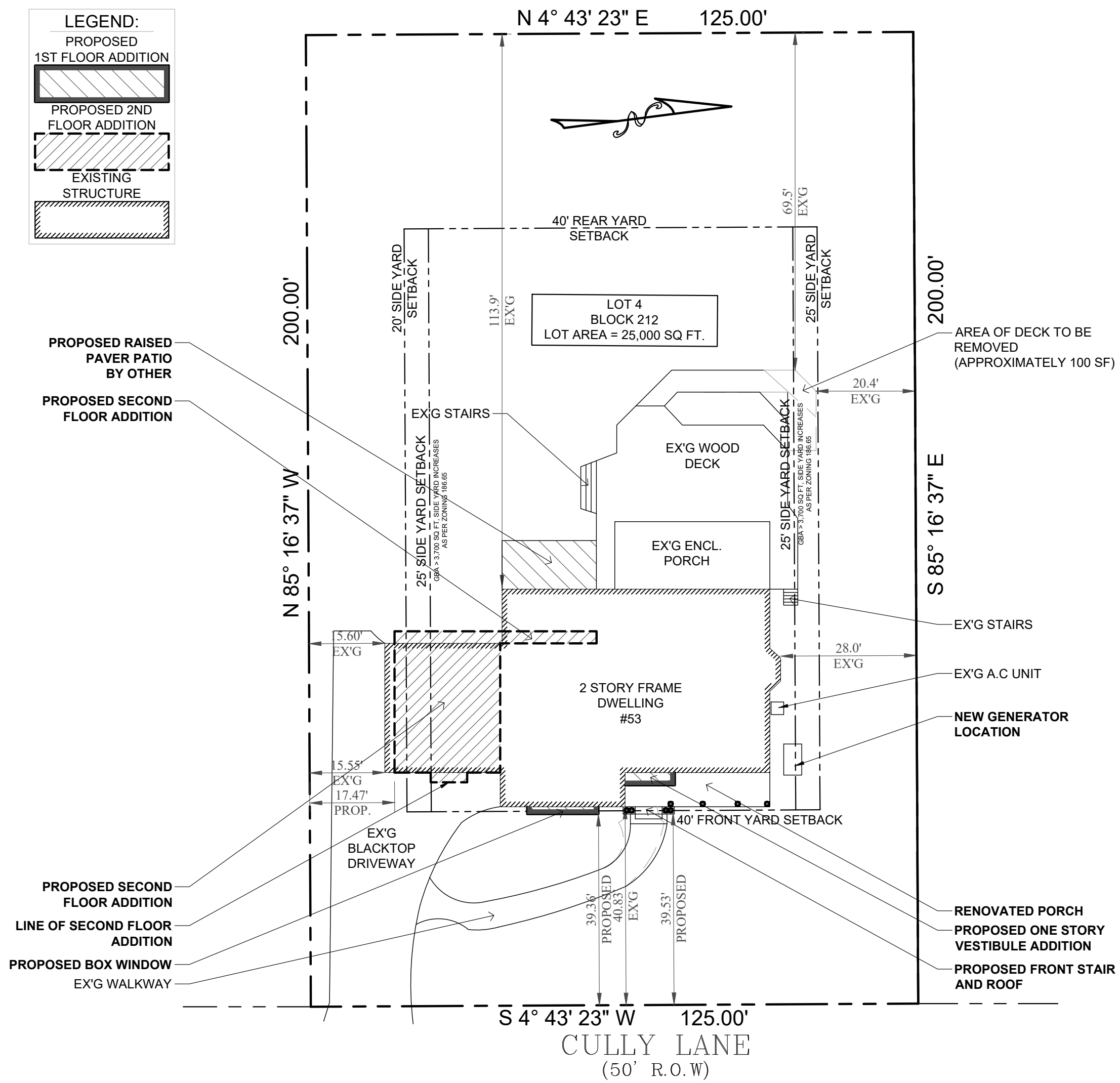
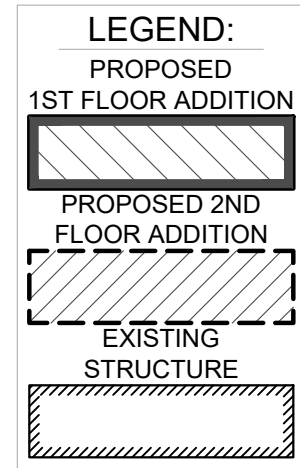


NEW ADDITION / RENOVATION FOR: MS. LYNN VARISANO

53 CULLY LANE
WYCKOFF, NJ

LIST OF DRAWINGS

- SP-1 ZONING REVIEW
- A-1 ELEVATIONS
- A-2 FOUNDATION PLAN
- A-3 FIRST FLOOR PLAN
- A-4 SECOND FLOOR PLAN
- A-5 ELEVATIONS



SITE PLAN
SCALE: 1"=20'

ACCESSORY BUILDING COVERAGE		
STRUCTURE	EXISTING	AREA
EX'G WOOD DECK	+	1,314 SQFT
TOTAL EX'G COVERAGE	=	1,314 SQFT = 5.26%
PROPOSED		
EX'G WOOD DECK		1,314 SQFT
MODIFIED WOOD DECK	-	100 SQFT
TOTAL PROPOSED COVERAGE	=	1,214 SQFT = 4.86%

GROSS BUILDING AREA		
STRUCTURE	EXISTING	AREA
EX'G GARAGE	+	528 SQFT
EX'G FIRST FLOOR	+	2,326 SQFT
EX'G SECOND FLOOR	+	1,424 SQFT
TOTAL EX'G GROSS BUILDING AREA	=	4,278 SQFT
PROPOSED		
EX'G GROSS BUILDING AREA		4,278 SQFT
NEW FIRST FLOOR	+	24 SQFT
NEW SECOND FLOOR	+	753 SQFT
TOTAL GROSS BUILDING AREA	=	5,055 SQFT

BUILDING COVERAGE		
STRUCTURE	EXISTING	AREA
EX'G BUILDING FOOTPRINT		2,918 SQFT
EX'G PORCHES	+	654 SQFT
TOTAL EX'G COVERAGE	=	3,572 SQFT = 14.29%
PROPOSED		
EX'G BUILDING COVERAGE		3,572 SQFT
PROPOSED ADDITION	+	92 SQFT
MODIFIED FRONT PORCH	+	16 SQFT
TOTAL PROPOSED COVERAGE	=	3,680 SQFT = 14.72%

IMPERVIOUS COVERAGE		
STRUCTURE	EXISTING	AREA
EX'G BUILDING COVERAGE		3572 SQFT
EX'G DRIVEWAY	+	1,375 SQFT
EX'G WALKWAY	+	339 SQFT
EX'G WOOD DECK	+	1,314 SQFT
EX'G STAIRS	+	41 SQFT
TOTAL EX'G COVERAGE	=	6,641 SQFT = 25.56%
PROPOSED		
TOTAL EX'G COVERAGE		6,641 SQFT
MODIFIED WOOD DECK	-	100 SQFT
MODIFIED WALKWAY	-	9 SQFT
PROPOSED ADDITION	+	92 SQFT
PROPOSED RAISED PATIO	+	194 SQFT
MODIFIED FRONT PORCH	+	16 SQFT
TOTAL PROPOSED COVERAGE	=	6,834 SQFT = 27.34%

TOWNSHIP OF WYCKOFF				
LOT: 4				
BLOCK: 212				
ZONE: RA-25				
USE: Single Family Dwelling				
BULK REQUIREMENTS:				
ITEM	REQUIRED	EXISTING	PROPOSED	VARIANCE
LOT INFORMATION:				
MINIMUM LOT AREA (ft ²)	25,000	25,000	N/A	NO
MINIMUM LOT FRONTAGE (ft)	125	125	N/A	NO
MINIMUM LOT DEPTH (ft)	200	200	N/A	NO
MAX. PRINCIPAL BUILDING COV. (%)	15	14.29	14.72	NO
MAX. COMBINED BUILDING COV. (%)	20	19.55	19.58	NO
MAX. IMPERVIOUS COVERAGE (%)	28.5	25.56	27.34	NO
PRINCIPAL BUILDING INFORMATION:				
FRONT SIDE YARD (ft)	40	40.83	39.36	YES
REAR SIDE YARD (ft)	40	69.5	NO CHANGE	NO
LEFT SIDE YARDS (ft)	20 / 25	15.55 ENC	17.47	YES
RIGHT SIDE YARDS (ft)	20 / 25	28	NO CHANGE	NO
GROSS BUILDING AREA	X>3,700 sqft	4,278	5,055	NO
HEIGHT (ft)	35	-	30.24	NO
HEIGHT (stories)	2.5	2	NO CHANGE	NO

N/A = NOT AFFECTED BY THIS WORK
ENC = EXISTING NONCONFORMING

SITE PLAN DRAWN FROM SURVEY TAKEN BY:
TROAST SURVEYING ASSOC., INC.
P.O. BOX 808, PARAMUS, NJ, 07653
DATED: DECEMBER 22, 2009
SITE PLAN TO BE USED FOR ZONING AND ARCHITECTURAL PURPOSES ONLY.

William G. Brown, Architects
ARCHITECTURE
PLANNING
241 Madison Avenue
Wyckoff, NJ
07481
PH: 201-891-3285
FAX: 201-891-3695
WEBSITE: WilliamGBrown.com
EMAIL: bill@williamgbrown.com

THESE DRAWINGS ARE NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT WILLIAM G. BROWN.
CT ARCH 8445
NY ARCH 018837
NJ ARCH 10226
PA ARCH RA-011586-B
VA ARCH RA-007125
FL ARCH AR99022

NOT VALID UNLESS SIGNED AND SEALED

WILLIAM G. BROWN, JR., AIA

COVER SHEET
ADDITION / RENOVATION FOR:
MS. LYNN VARISANO
53 CULLY LANE
WYCKOFF, NJ
PROJECT: 21-215 DATE: JUNE 14, 2021
DRAWN BY: NN APRIL 4, 2022
ISSUED FOR PERMIT: NOVEMBER 29, 2021

SP-1 ZONING REVIEW

ICE & SNOW SHIELD NOTES

ICE & SNOW SHIELD
8'-0" UP FROM FASCIA

GENERAL NOTES

1. ALL WORK IS TO COMPLY WITH ALL BUILDING CODES AND ZONING ORDINANCES ADOPTED BY THE TOWNSHIP OF WYCKOFF, BERGEN COUNTY, NEW JERSEY
2. BUILDING HEIGHT/RIDGE HEIGHT TO BE VERIFIED BY SITE ENGINEER PRIOR TO CONSTRUCTION. BUILDING HEIGHT MAXIMUM TO BE: 35'-0" AS PER LOCAL ORDINANCE
3. CONTRACTOR IS TO VERIFY ALL CONDITION IN THE FIELD PRIOR TO STARTING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN PLAN OR ITEMS REQUIRING CLARIFICATION BEFORE PROCEEDING WITH CONSTRUCTION
4. JOB SITE IS TO BE KEPT REASONABLY CLEAN AND ALL CONSTRUCTION DEBRIS IS TO BE CARTED AWAY AT THE END OF THE JOB.
5. ALL WORK IS TO BE DONE BY SKILLED MECHANICS IN A WORKMANLIKE MANNER SET STRAIGHT AND PLUMB.
6. ALL MATERIALS USED TO BE OF FIRST QUALITY FREE FROM DEFECTS.
7. ARCHITECT DOES NOT HAVE FIELD SUPERVISION OR CONSTRUCTION ADMINISTRATION RESPONSIBILITIES FOR THIS PROJECT.
8. CONTRACTOR IS TO LOCATE STRUCTURE AND SET ELEVATIONS AND CONTOURS WITH HIS SURVEYOR AND LICENSED PROFESSIONAL ENGINEER.
9. CONTRACTOR TO VERIFY, IN WRITING, IF STRUCTURE DOES NOT COMPLY WITH LOCAL BUILDING HEIGHT CODE DURING CONSTRUCTION AND PRIOR TO CONSTRUCTION OF THE RIDGE.
10. CONTRACTOR AND/OR HOMEOWNER IS REQUIRED TO HAVE BUILDER'S INSURANCE AND HOMEOWNER'S WARRANTY PROGRAM.
11. GIVEN ANY DISCREPANCIES IN SPECIFICATIONS OR MATERIALS CONTRACTOR MUST USE MATERIAL OF SUPERIOR QUALITY.
12. ALL FRAMED WINDOW OPENINGS TO BE VERIFIED WITH BUILDER AND WINDOW SUPPLIER PRIOR TO ORDERING.
13. CONTRACTOR TO INSTALL RAM BOARD AND TAPE ALL JOINTS FLOOR PROTECTIONS
14. CONTRACTOR TO FOLLOW RESCHECK

NOTE: THESE DRAWINGS ARE NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT WILLIAM G. BROWN. (WILLIAM G. BROWN ARCHITECTS)

NOT VALID UNLESS SIGNED AND SEALED



William G. Brown, Architects
ARCHITECTURE
PLANNING
241 Madison Avenue
Wyckoff, NJ
07481
PH: 201-891-3285
FAX: 201-891-3695
WEBSITE: WilliamGBrown.com
EMAIL: bill@williamgbrown.com

William G. Brown Jr.
CT ARCH 8445
NY ARCH 018837
NJ ARCH 10226
PA ARCH RA-011586-B
VA ARCH RA-007125
FL ARCH AR99022

ADDITION / RENOVATION FOR:
MS. LYNN VARISANO
53 CULLY LANE
WYCKOFF, NJ
BLOCK:212; LOT:4

DRAWING TITLE:
FRONT & SIDE ELEVATIONS

PROJECT NUMBER: 21-215 SCALE: 1/4" = 1'-0"

DRAWN BY: LO/AG CHECKED BY: SUPV

DATE:
JUNE 2, 2021; JUNE 11, 2021; JULY 6, 2021
APRIL 4, 2022

ISSUED FOR PERMIT: NOVEMBER 29, 2021

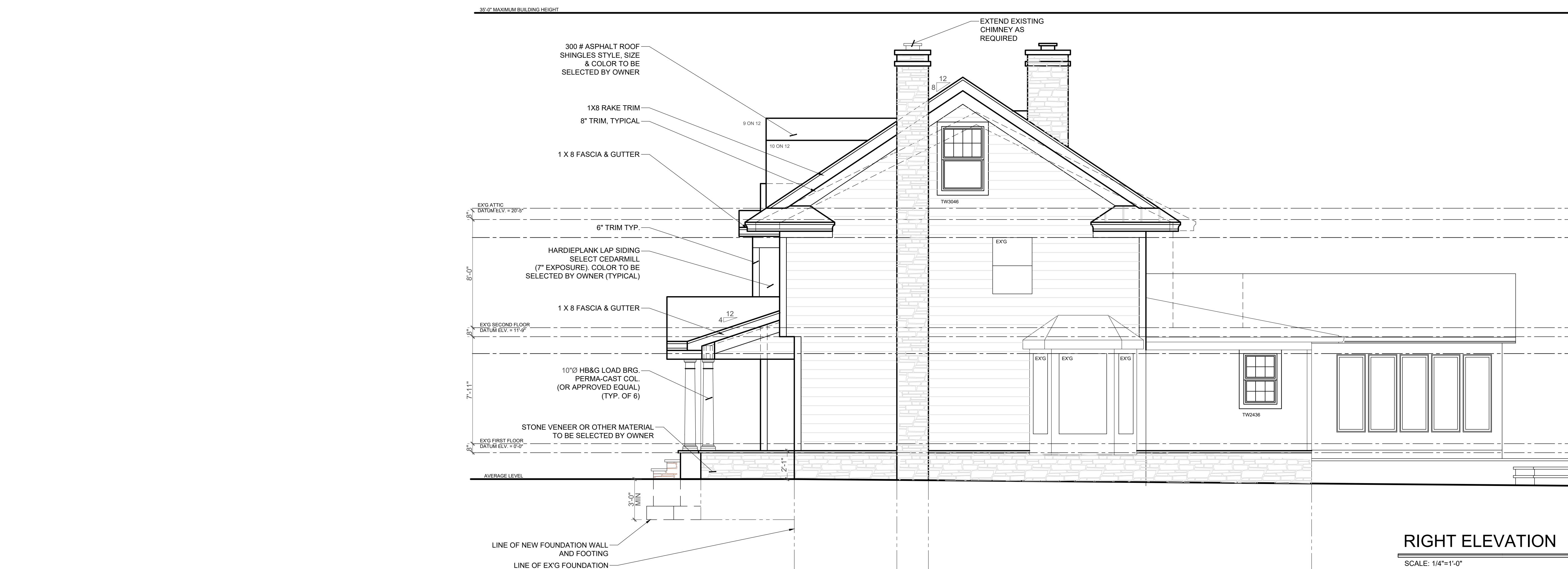
DRAWING #
A-1
2 OF 6

RES 2021



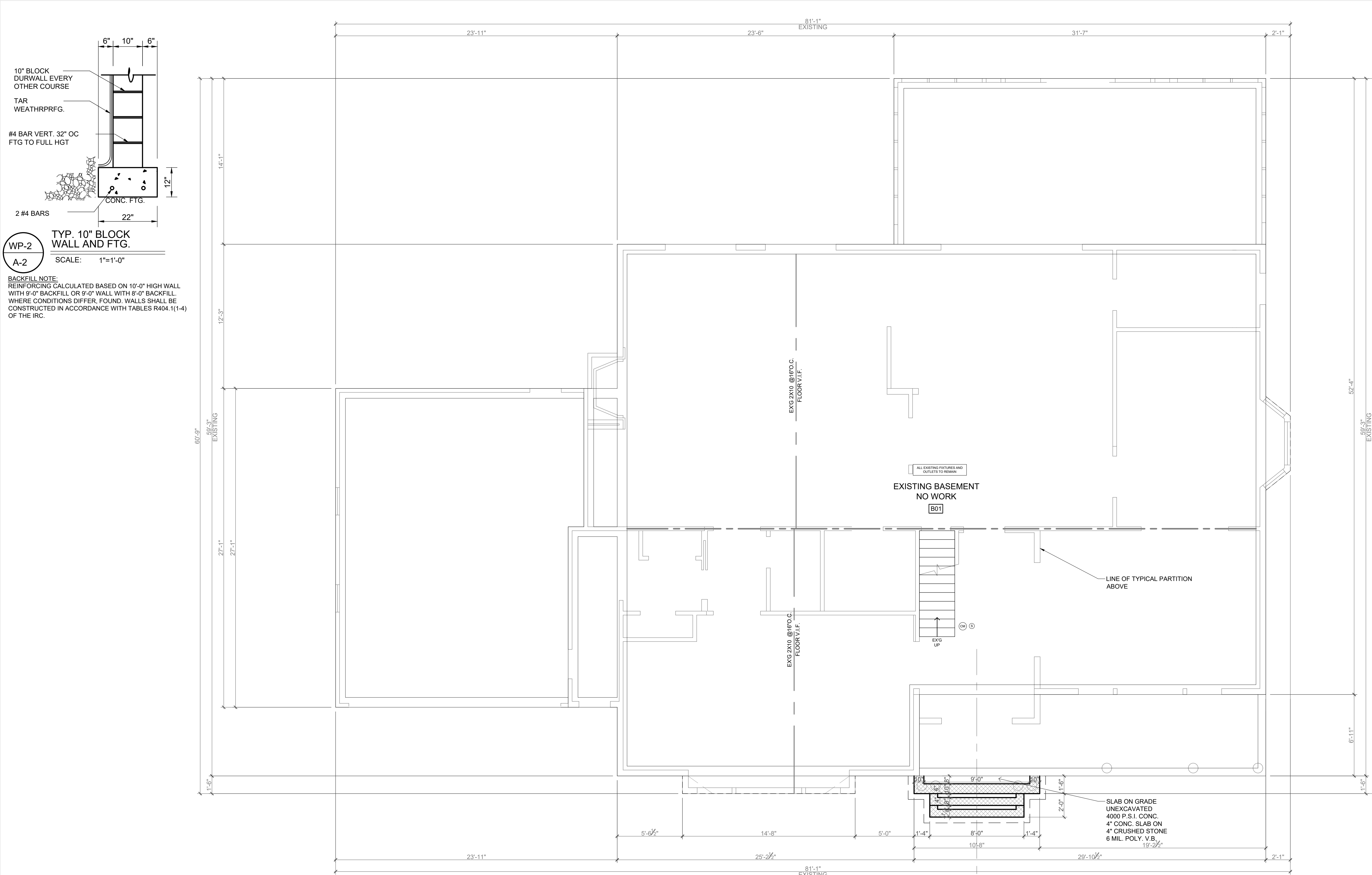
FRONT ELEVATION

SCALE: 1/4"=1'-0"



RIGHT ELEVATION

SCALE: 1/4"=1'-0"



CONCRETE & MASONRY NOTES

- ALL CONCRETE USED SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AFTER 28 DAYS. ALL FORMS TO BE STRIPPED PRIOR TO BACKFILLING
- STEEL REINFORCING BARS ARE TO BE USED IN FOOTINGS SIZED AND LOCATED AS SHOWN ON PLANS AND BE FREE FORM GREASE, OIL, RUST OR SCALE
- CONCRETE MASONRY UNITS TO BE OF LOAD BEARING TYPE WITH TOP AND BOTTOM COURSES FILLED SOLID. ANCHOR BOLTS TO BE 1/2" DIAMETER AND INSTALLED AT 6'-0" O.C. MIN.
- ALL TILE FLOORS TO BE SET IN MUD.
- FOR MARBLE OR STONE SAMPLES: CONTACT STONE 100 OUTWATER LANE GARFIELD PH: 201-546-9660 FAX: 201-546-9698
- LANDINGS OUTSIDE EGRESS DOORS TO HAVE MIN. DEPTH OF 36" IN DIRECTION OF TRAVEL AS PER THE NJ EDITION OF INTERNATIONAL RES. CODE 2018 SECTION R11.3
- CONTROL JOINT SPACING OF 16-25 FT SQUARE RECOMMENDED
- FOUNDATION ANCHORAGE: ANCHOR BOLTS SHALL BE EMBEDDED 7" MIN. INTO FOUNDATION WALL, 6FT APART MAX. AND 12" FROM CORNER AND ENDS OF SECTION OF PLATE/SILL (R403.1.6)
- STEEL MANUFACTURER TO FIELD MEASURE PRIOR TO FABRICATION.
- A RETAINING WALL REQUIRES A FOUNDATION WALL TO HAVE SUPPORT ON BOTH THE TOP AND BOTTOM PRIOR TO BACKFILLING. AS PER SECTION R404.1.1

8"x16" LOUVERED VENT=128 SQ INCH

STAIR NOTES

- STAIR SHOP DRAWINGS TO BE PROVIDED TO ARCHITECT PRIOR TO FABRICATION
- STAIRS TO HAVE A MAX. RISER OF 8 1/2" AND A MIN. TREAD OF 9" AS PER R311 AND R311.7.7
- CONTRACTOR TO PROVIDE PULL DOWN STAIR UNIT ON SECOND FLOOR

NOTE: THESE DRAWINGS ARE NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT WILLIAM G. BROWN (WILLIAM G. BROWN ARCHITECTS)

NOT VALID UNLESS SIGNED AND SEALED

William G. Brown, Architects
 ARCHITECTURE
 PLANNING
 241 Madison Avenue
 Wyckoff, NJ
 07481
 PH: 201-891-3285
 FAX: 201-891-3695
 WEBSITE: WilliamGBrown.com
 EMAIL: bill@williamgbrown.com

William G. Brown Jr.
 CT ARCH 8445
 NY ARCH 018837
 NJ ARCH 10226
 PA ARCH RA-011586-B
 VA ARCH RA-007125
 FL ARCH AR99022

ADDITION / RENOVATION FOR:
 MS. LYNN VARISANO
 53 CULLY LANE
 WYCKOFF, NJ
 BLOCK:212; LOT:4

DRAWING TITLE:
FOUNDATION PLAN
 PROJECT NUMBER: 21-215 SCALE: 1/4"=1'-0"
 DRAWN BY: LO/AG CHECKED BY: SUPV
 DATE:
 JUNE 2, 2021; JUNE 11, 2021; JULY 6, 2021

ISSUED FOR PERMIT: NOVEMBER 29, 2021

DRAWING #
A-2
 3 OF 6

PROVIDE THE FOLLOWING LINTELS OVER ALL OPENINGS IN MASONRY WALLS, INCLUDING MECHANICAL OPENINGS UNLESS OTHERWISE NOTED:

FOR EACH 4" THICKNESS OF MASONRY - 1 ANGLE AS FOLLOWS:

- 4 X 3/8" X 5/16" L MAX. M.O. 5'-0"
- 5 X 3/8" X 3/16" L MAX. M.O. 7'-0"
- 6 X 3/8" X 3/16" L MAX. M.O. 9'-0"

FOR EACH 6" THICKNESS OF MASONRY - 1 ANGLE AS FOLLOWS:

- 3/8" X 5 X 3/16" L MAX. M.O. 5'-0"
- 5 X 5 X 3/16" L MAX. M.O. 7'-0"
- 5 X 5 X 3/16" L MAX. M.O. 9'-0"

FOR 4" AND/OR 6" NON-BEARING MASONRY INTERIOR PARTITIONS:

- 4" 3/8" X 5 X 3/16" L MAX. M.O. 5'-0"
- 6" 6/8" X 7/8" LIGHT-WEIGHT CONCRETE
- 6" 6/8" X 7/8" LIGHT-WEIGHT CONCRETE

ALL LINTELS TO HAVE MINIMUM 8" BEARING EACH END.

SUBMIT THREE SETS OF FABRICATION DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE START OF FABRICATION.

INSULATION NOTES:

- R-20 INSULATION IN 6" EXTERIOR WALLS
- R-30 BATT INSULATION IN ALL FLOORS WHICH INCLUDES BASEMENT
- R-49 CEILING OR RAFTERS OR ADJACENT TO THE EXTERIOR OR TO UNHEATED SPACES
- BASEMENT CEILINGS TO BE 1/2" SHEET ROCK
- R-19 BATT INSULATION IN BASEMENT WALLS

CRAWL SPACE VENT NOTE:
 ALL VENTED CRAWL SPACES TO COMPLY WITH SECTION 409, IRC 2018
 1 SQFT OF VENTED SPACE PER 1500 SQFT OF FLOOR SPACE, WITH AN APPROVED CLASS 1 VAPOR RETARDER
 Ⓞ = 16" X 8" VENT (0.78 SQFT)

GRADE DRAINAGE SLOPE:

LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET, AS PER R401.3.

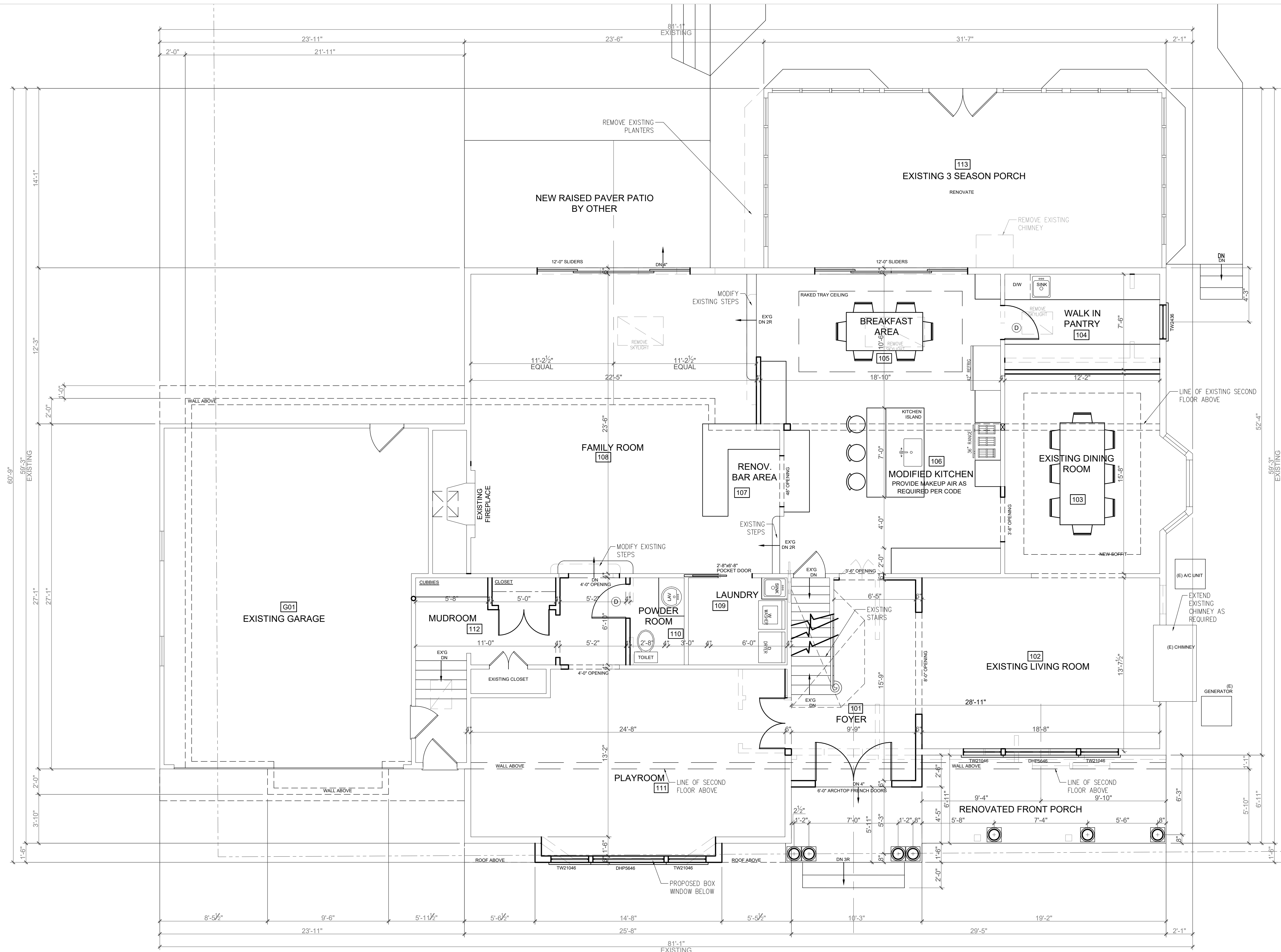
MASON & GENERAL CONTRACTOR TO CHECK DIMENSIONS ON FIRST FLOOR PLAN DURING THE LAYOUT OF FOUNDATION PRIOR TO CONSTRUCTION.

FOUNDATION PLAN

SCALE: 1/4"=1'-0"

GENERAL FRAMING LEGEND :

- = EXISTING CONSTRUCTION TO REMAIN
- = WALLS ABOVE
- = NEW CONSTRUCTION
- = NEW C.M.U. WALL
- = NEW CONCRETE WALL
- = NEW BEAM
- - - = NEW JOIST MEMBER



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

GENERAL LEGEND :	
	= EXISTING CONSTRUCTION TO REMAIN
	= EXISTING CONSTRUCTION TO BE REMOVED
	= NEW CONSTRUCTION
	= NEW C.M.U. WALL
	= NEW CONCRETE WALL

ENERGY STAR REQUIREMENTS

WHOLE HOUSE THERMAL EFFICIENCY: EPA THERMAL BYPASS INSPECTION CHECKLIST & AIR BARRIER, INSULATION CHECKLIST

- ENERGY EFFICIENT LIGHTING: SEE www.njenergystarhomes.com
- MECHANICAL VENTILATION SYSTEM: HVAC INTEGRATED WHOLE-HOUSE VENTILATION SYSTEM
- HIGH EFFICIENCY CENTRAL HEATING AND COOLING SYSTEMS: CENTRAL AIR CONDITIONING SYSTEMS AND HEAT PUMPS MUST BE PROPERLY SIZED PER ACCA MANUAL J
- AIR TIGHT DUCTWORK: BUILDING CAVITIES MAY NOT BE USED AS DUCTS; THE ENTIRE SYSTEMS MUST BE FULLY DUCTED
- INSULATION VERIFIED: INSULATION IS INSPECTED PRIOR TO DRYWALL AND ASSESSED A GRADE LEVEL BASED ON INSULATION QUALITY
- CONTRACTOR TO FOLLOW RESCHECK
- CONTRACTOR TO COMPLY WITH IECC AND ENERGY SUBCODE, NJAC 5.23-3.18

WILLIAM G. BROWN, ARCHITECTS CALCULATES SQUARE FOOTAGE FROM THE INSIDE FRAME LINE DIMENSIONS. GARAGE SQUARE FOOTAGE LINE DIMENSIONS. GARAGE SQUARE FOOTAGE IS NOT INCLUDED IN THE TOTAL LIVABLE SQUARE FOOTAGE. IN ADDITION, STAIRWELLS AND FIREPLACE MASSSES ARE ONLY INCLUDED ONCE WITH THE MAIN LEVEL FIGURES

BUILDING DATA	
USE GROUP	R5
CONSTRUCTION CLASS	VB
BUILDING AREA	
EX'G BUILDING FOOTPRINT	3572 SQFT
NEW BUILDING FOOTPRINT	108 SQFT
TOTAL BUILDING FOOTPRINT	3,680 SQFT
EX'G BASEMENT	
NEW BASEMENT	2,093 SQFT
EX'G GARAGE	528 SQFT
NEW GARAGE	0 SQFT
EX'G FIRST FLOOR	
NEW FIRST FLOOR	2,326 SQFT
EX'G SECOND FLOOR	1,424 SQFT
NEW SECOND FLOOR	753 SQFT
EX'G LIVABLE SFTG.	
NEW LIVABLE SFTG.	3,750 SQFT
TOTAL LIVABLE SFTG.	777 SQFT
CONTAINED VOLUME	17,700 CUFT

NOTE: THESE DRAWINGS ARE NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT WILLIAM G. BROWN. (WILLIAM G. BROWN ARCHITECTS)

NOT VALID UNLESS SIGNED AND SEALED

William G. Brown, Architects
 ARCHITECTURE
 PLANNING
 241 Madison Avenue
 Wyckoff, NJ
 07481
 PH: 201-891-3285
 FAX: 201-891-3695
 WEBSITE: WilliamGBrown.com
 EMAIL: bill@williamgbrown.com

William G. Brown Jr.
 CT ARCH 8445
 NY ARCH 018837
 NJ ARCH 10226
 PA ARCH RA-011586-B
 VA ARCH RA-007125
 FL ARCH AR99022

ADDITION / RENOVATION FOR:
 MS. LYNN VARISANO
 53 CULLY LANE
 WYCKOFF, NJ
 BLOCK:212; LOT:4

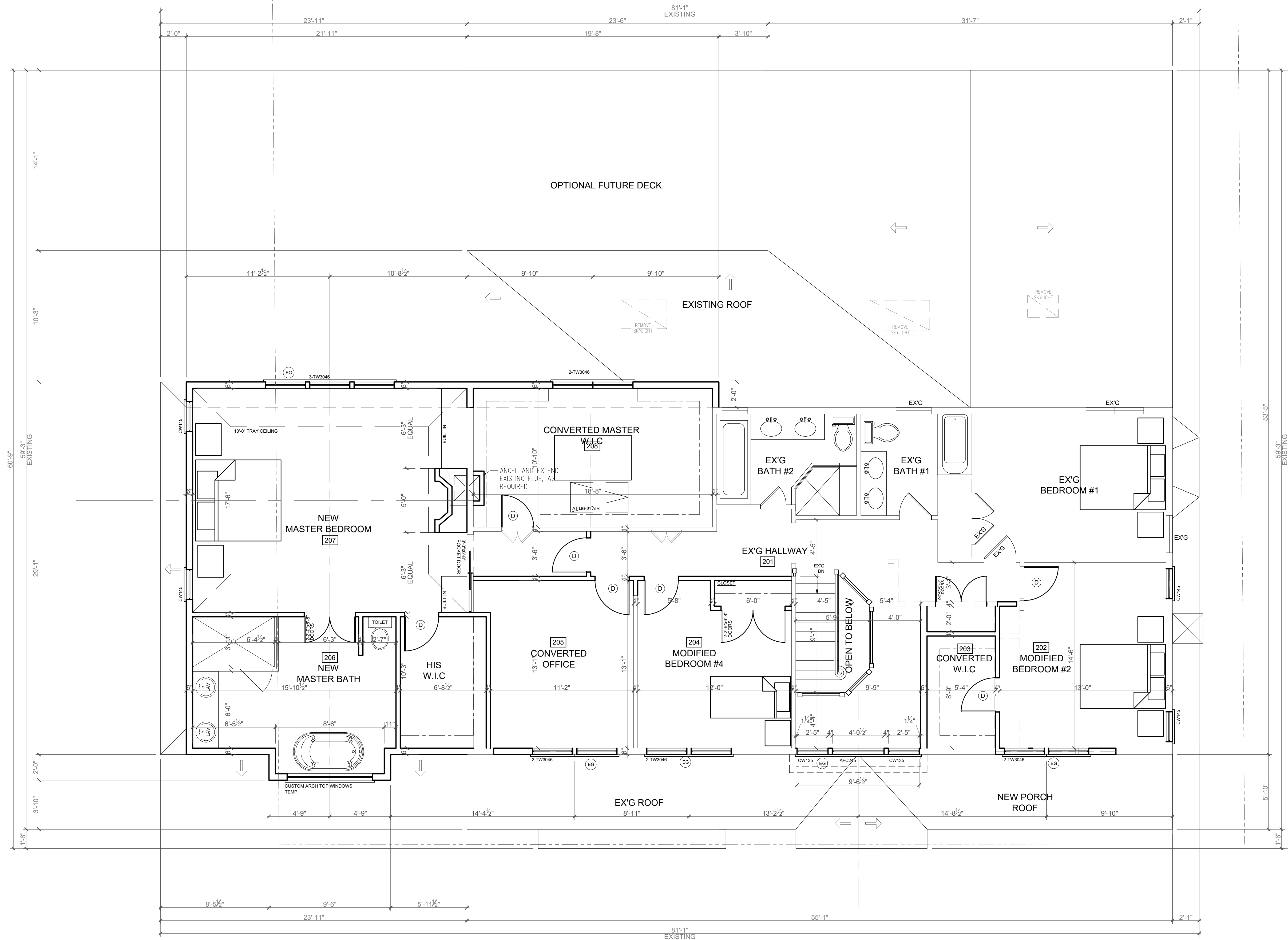
DRAWING TITLE:
 FIRST FLOOR PLAN

PROJECT NUMBER: 21-215 SCALE: 1/4"= 1'-0"
 DRAWN BY: LO/AG CHECKED BY: SUPV

DATE:
 JUNE 2, 2021; JUNE 11, 2021; JULY 6, 2021
 APRIL 4, 2022

ISSUED FOR PERMIT: NOVEMBER 29, 2021

DRAWING #
A-3
 4 OF 6



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

GENERAL LEGEND :	
	= EXISTING CONSTRUCTION TO REMAIN
	= EXISTING CONSTRUCTION TO BE REMOVED
	= NEW CONSTRUCTION
	= NEW C.M.U. WALL
	= NEW CONCRETE WALL

CARPENTRY NOTES

- ALL FRAMING LUMBER IS TO BE DOUGLAS FIR WITH Fb=1500 PSI AND BE OF STRUCTURAL GRADE.
- ALL DOOR AND WINDOW HEADERS TO BE 2-2"x12" UNLESS NOTED OTHERWISE.
- ALL DOORS LABELED (D) ARE TO BE 2'-8"x6'-8" SOLID 6 PANEL MASONITE. AS PER CODE, UNLESS OTHERWISE NOTED.
- ALL DOORS LABELED (D-3) ARE TO BE 2'-8"x8'-0" SOLID CORE 2 PANEL Ovation AS PER CODE, UNLESS OTHERWISE NOTED (1 3/4", 4 HINGES)
- PERIMETER WALLS FRAMING TO BE 2X6 AT 16" O.C WITH SINGLE CONTINUOUS SOLE PLATE AND DOUBLE CONTINUOUS TOP PLATE JOINTS TO BE STAGGERED.
- INTERIOR PARTITION FRAMING TO BE 2X4 AT 16" O.C WITH SINGLE CONTINUOUS SOLE PLATE AND DOUBLE CONTINUOUS TOP PLATE JOINTS TO BE STAGGERED.
- ALL WALLS OVER 8'-0" HIGH ARE TO RECEIVE FIRE BLOCKING AT MIDPOINT.
- SILLS ON BLOCK WALLS TO BE WOLMANIZED.
- WINDOWS AND SLIDING DOORS GLASS DOORS TO BE DONE BY: TOWER WINDOWS 1-800-490-1011
- ALL EXTERIOR WALLS, ROOF OR CEILING TO HAVE FULL-THICK BATT INSULATION.
- WALLS TO BE 6" WHERE ANY 2" OR LARGER HORIZONTAL HOLE IS DRILLED.
- TJI HOLE TO BE DRILLED FOLLOWING MANUFACTURES CALCULATIONS TJI'S CANT BE NOTCHED.
- CONTRACTOR'S MAY USE TJI'S AS AN ALTERNATE, W/ EQUAL OR GREATER STRENGTH MUST NOTIFY ARCHITECT.
- ALL WOOD FRAMING MEMBERS, INCLUDING SHEATHING, WHICH REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM EXPOSED EARTH SHALL BE OF APPROVED NATURALLY DURABLE AND PRESERVATIVE-TREATED WOOD, INCLUDING LUMBER ON CONCRETE
- FIRE BLOCKING SHALL BE PROVIDED AT WALL/CEILING INTERSECTION FOR BOTH INTERIOR PARTITIONS AND PERIMETER WALL; ALSO HORIZONTALLY EVERY TEN FEET.
- INSULATOR TO INSTALL STYROFOAM BAFFLES WHERE NEEDED FOR VENTING

NOTE: THESE DRAWINGS ARE NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT WILLIAM G. BROWN. (WILLIAM G. BROWN ARCHITECTS)

NOT VALID UNLESS SIGNED AND SEALED

William G. Brown Architects
 ARCHITECTURE
 PLANNING
 241 Madison Avenue
 Wyckoff, NJ
 07481
 PH: 201-891-3285
 FAX: 201-891-3695
 WEBSITE: WilliamGBrown.com
 EMAIL: bill@williamgbrown.com

William G. Brown Jr.
 CT ARCH 8445
 NY ARCH 018837
 NJ ARCH 10226
 PA ARCH RA-011586-B
 VA ARCH RA-007125
 FL ARCH AR99022

ADDITION / RENOVATION FOR:
 MS. LYNN VARISANO
 53 CULLY LANE
 WYCKOFF, NJ
 BLOCK:212; LOT:4

DRAWING TITLE:

SECOND FLOOR PLAN

PROJECT NUMBER: 21-215 SCALE: 1/4"= 1'-0"

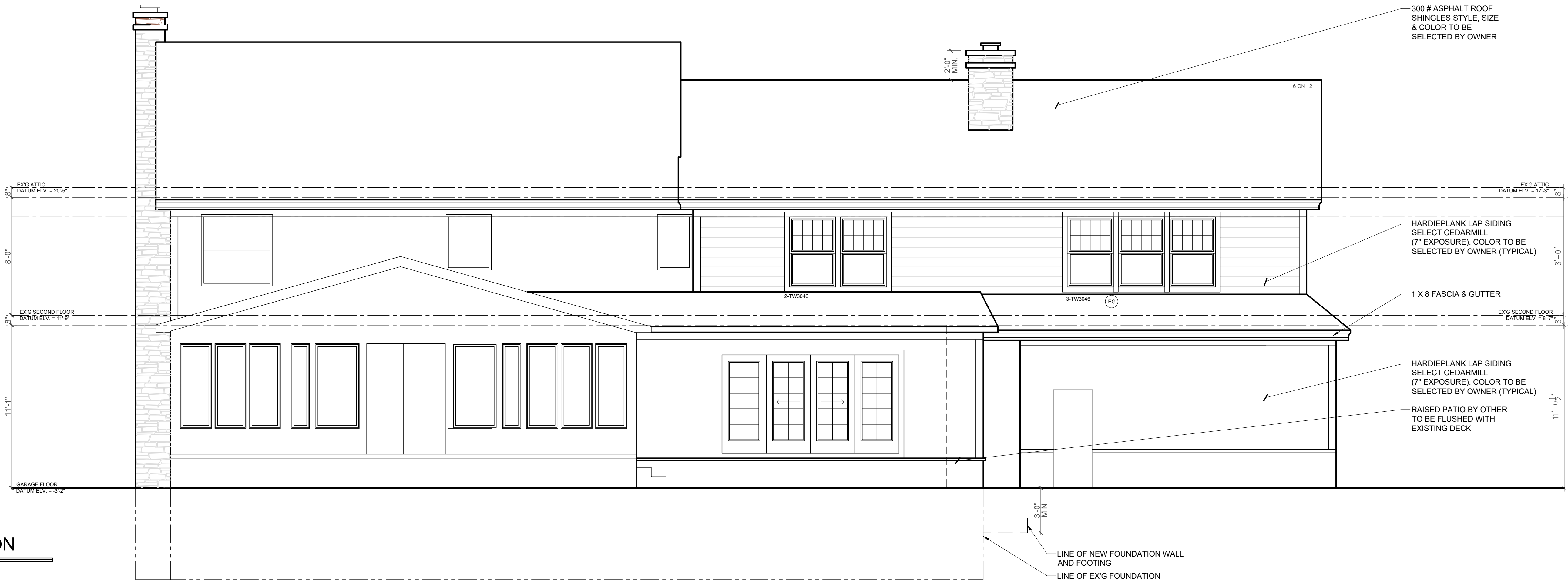
DRAWN BY: LO/AG CHECKED BY: SUPV

DATE: JUNE 2, 2021; JUNE 11, 2021; JULY 6, 2021

ISSUED FOR PERMIT: NOVEMBER 29, 2021

DRAWING #
A-4
 4 OF 6

35'-0" MAXIMUM BUILDING HEIGHT



REAR ELEVATION

SCALE: 1/4"=1'-0"

BUILDING HEIGHT/RIDGE HEIGHT
TO BE VERIFIED BY SITE ENGINEER PRIOR TO CONSTRUCTION. BUILDING HEIGHT MAXIMUM TO BE: 35'-0"
AS PER LOCAL ORDINANCE

DRIP EDGE NOTE:
DRIP EDGE TO BE PROVIDED ON EAVES AND RAKES ON ALL SHINGLE ROOFS, AS PER R905.2.8.5.

KICK OUT FLASHING:
KICK OUT FLASHING TO BE PROVIDED ON ALL AT ROOF FASCIA TO WALL / ROOF INTERFACE. AS PER R905.2.8.3

NOTE:
MIN 6" PROTECTION CLEARANCE FROM GRADE AS PER SECTION R317.1 NOTE 5 WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6" FROM THE GROUND OR LESS THAN 2 INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER

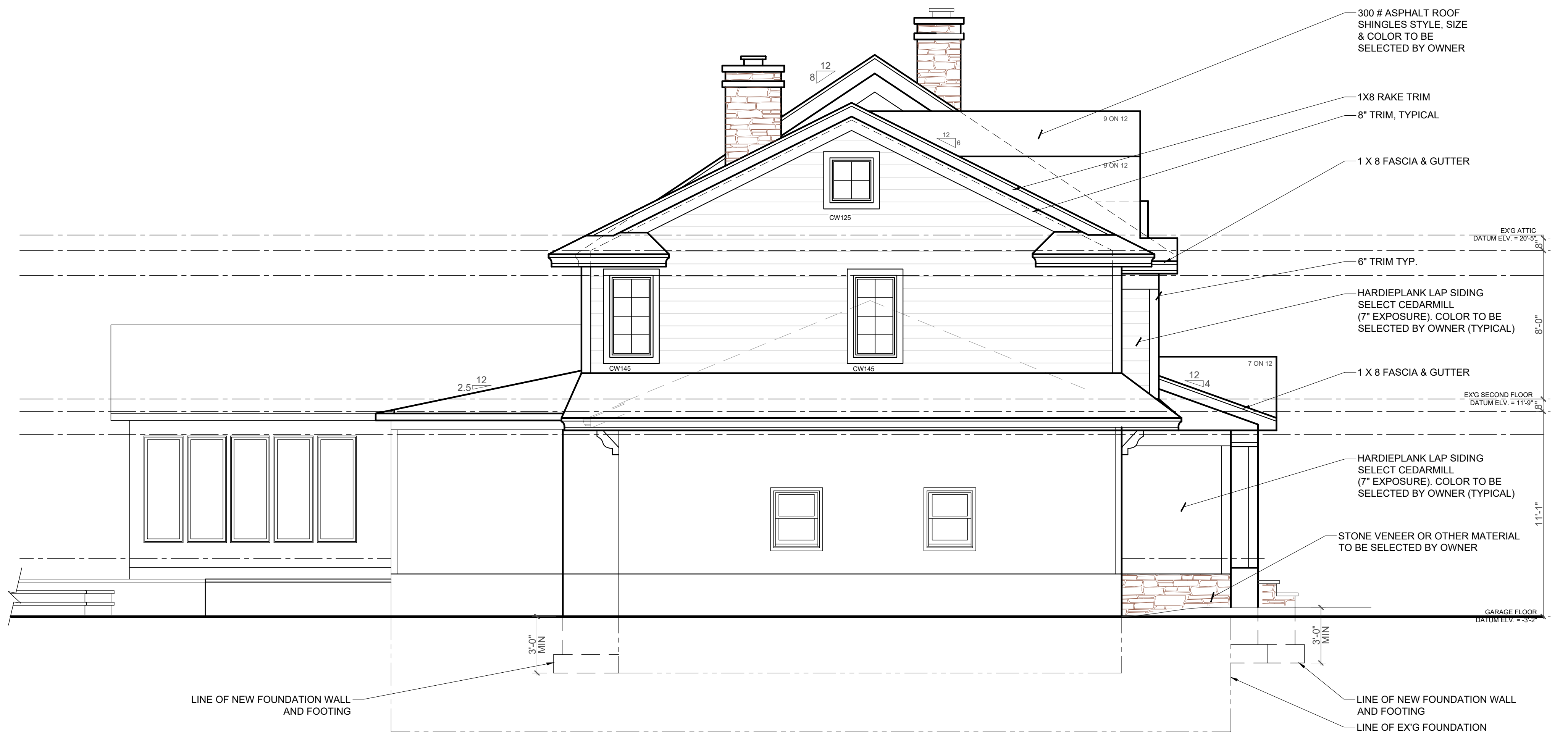
NOTE: WINDOW HEAD HT. MAY BE ADJUSTED FOR 8', 9', OR 10' CEILING HEIGHT.

GRADE DRAINAGE SLOPE:
LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET, AS PER R401.3.

LEFT ELEVATION

SCALE: 1/4"=1'-0"

35'-0" MAXIMUM BUILDING HEIGHT



WINDOW NOTES

- EG INDICATES AN EGRESS WINDOW AS PER THE N.J. EDITION OF THE INTERNATIONAL RESIDENTIAL CODE-2018
- 1. EGRESS WINDOWS SHALL HAVE NO LESS THAN 5.7 SQFT CLEAR OPENING. THE BOTTOM OF THE CLEAR OPENING SHALL BE NO MORE THAN 44" A.F.F.
- 2. WINDOW SUPPLIER TO VERIFY THAT THERE IS AT LEAST ONE EGRESS WINDOW UNIT IN EACH BEDROOM.
- 3. ALL TEMPERED WINDOWS TO BE AS PER THE N.J. EDITION OF THE INTERNATIONAL RESIDENTIAL CODE-2018
- 4. WINDOW HEAD HT. MAY BE ADJUSTED FOR 8', 9' OR 10' CLG HEIGHT.
- 5. CONTRACTOR SHALL NOT ORDER WINDOWS WITHOUT PROVIDING WINDOW MANUFACTURER WITH ALL FLOOR PLANS AND ELEVATIONS TO DETERMINE SIZES, TEMPERING, AND EGRESS REQUIREMENTS AS PER CODE.
- 6. WINDOW SILLS: IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4" DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR. R312.2.1
- 6.1. EXCEPTIONS:
 - 6.1.1. WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE OPENING IS IN ITS LARGEST OPENED POSITION.
 - 6.1.2. OPENINGS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R612.3.
 - 6.1.3. OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
 - 6.1.4. WINDOWS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R312.2.2
 - 6.1.5. ALL NEW WINDOWS MUST BE AT LEAST 24" OVER FINISHED FLOOR R.312.2
- 7. IN ZONE A FLOOD HAZARD AREAS REQUIRE A MINIMUM OF ONE FOOT OF FREEBOARD FOR DWELLINGS AS PER SECTION R322.2.1 IRC 2018

CHIMNEY NOTE

MASONRY CHIMNEY OUTLETS SHALL TERMINATE NO LESS THAN 3'-0" FROM THE HIGHEST POINT THAT THE CHIMNEY PENETRATES THE ROOF. CHIMNEYS SHALL TERMINATE NOT LESS THAN 2'-0" ABOVE ANY PORTION OF THE BUILDING WITH IN 10'-0" AS PER INT. RES CODE 2018 SEC. R100.3

NOTE: THESE DRAWINGS ARE NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT WILLIAM G. BROWN. (WILLIAM G. BROWN ARCHITECTS)

NOT VALID UNLESS SIGNED AND SEALED

William G. Brown, Architects
ARCHITECTURE
PLANNING
241 Madison Avenue
Wyckoff, NJ
07481
PH: 201-891-3285
FAX: 201-891-3695
WEBSITE: WilliamGBrown.com
EMAIL: bill@williamgbrown.com

William G. Brown Jr.
CT ARCH 8445
NY ARCH 018837
NJ ARCH 10226
PA ARCH RA-011586-B
VA ARCH RA-007125
FL ARCH AR99022

ADDITION / RENOVATION FOR:
MS. LYNN VARISANO
53 CULLY LANE
WYCKOFF, NJ
BLOCK:212; LOT:4

DRAWING TITLE:
REAR & SIDE ELEVATIONS

PROJECT NUMBER: 21-215 SCALE: 1/4"= 1'-0"
DRAWN BY: LO CHECKED BY: SUPV
DATE: JUNE 2, 2021

ISSUED FOR PERMIT: NOVEMBER 29, 2021

DRAWING #
A-5
5 OF 6